

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

Schwemer Hall
7200 North Santa Monica Blvd.
Fox Point, WI 53217

Wednesday
September 8, 2021
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/86054984353?pwd=RTNoQWU5SVU3dnhkZHNSNmQvcXJidz09>

Meeting ID: 860 5498 4353

Passcode: 7200

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the August 19, 2021 Building Board meeting.
3. Ken Masur, 7829 N Regent Rd, resubmittal of proposed detached garage.
4. Trygve Hansen, 8329 N Whitney Rd, proposed freestanding deck.
5. Brian League, 8321 N Whitney Rd, proposed amended addition.
6. Chris Maertz, 8049 N Poplar Dr, proposed patio door and siding.
7. Adjourn.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

OFFICE USE ONLY
Issuance Date
Zoning

BUILDING PERMIT

Job Address 7829 N. Regent Rd.	Building Type: Residential - Commercial
Description of Work	
Build New Wood Frame Detached Garage 32'-0" x 24'-0"	
Estimated Cost of Project \$47,836.00	

Owner/Occupant	
Name Ken Masur	Business Name
Address 7829 N. Regent Rd.	City/State/Zip Fox Point, WI 53217
Phone (917) 753-5046	Email kdmassur@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name JD Griffiths Company, Inc	Contractor Name Brad Karazsia
Address 8401 W. Calumet Rd	City/State/Zip Milwaukee, WI 53224
Phone (414) 362-7222	Email bradk@jdgriffiths.com
Dwelling Contractor # 12107	Dwelling Contractor Qualifier # 081900898

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage 768 sq.ft.

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$9.50	454.45
Building Board	\$75.00	75.00
Footing early start - \$210.00 one and two family; \$280.00 commercial		
Plan Review - \$250.00 one and two family; New Construction \$300.00 plus \$27.00/unit commercial; New Construction		
State Seal	\$65.00	
Razing, Interior Demolition \$85.00 minimum plus	\$0.12/sqft	
Moving buildings over public ways \$230.00 plus	\$0.12/sqft	
Fuel tanks - Per 1,000 gallons	\$24.00	
Re-inspection	\$100.00	
Work started without permit Double Fee		
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$ 529.43

Applicant Signature

Rev 0619

Date

06/28/2021

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Thursday, August 19, 2021, at 5:00 pm. Those present included:

Justin Racinowski
Jeff Weber
Matt Amman-Absent
Kristin Dufek
Lori Rosenthal-Absent
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by Kristin Dufek to approve the minutes from July 27, 2021. Motion was seconded by Jeff Weber. Motion Passed.

AGENDA

- **James Barton, 8057 N Links Way, proposed addition of three dormers to garage.** It was the consensus of the Building Board to approve as submitted.
- **Rachel Piper, 8320 N Santa Monica Blvd, proposed 10 X 14 shed.** It was the consensus of the Building Board to approve as submitted subject to show location on survey with proper setback.
- **Phonso Smith, 7623 N Fairchild Rd, proposed egress windows.** It was the consensus of the Building Board to approve as submitted.
- **David Grove, 7320 N Bridge Ln, proposed hot tub.** It was the consensus of the Building Board to approve as submitted.
- **Renee Kirchner, 7250 N Beach Dr, proposed garage and outbuilding.** It was the consensus of the Building Board to approve as submitted.
- **Ken Masur, 7829 N Regent Rd, proposed detached garage.** It was the consensus of the Building Board to table for resubmittal.

ADJOURN

Motion to adjourn Building Board was made by Jeff Weber. Motion seconded by Kristin Dufek. Motion Passed. Building Board adjourned at 5:53 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point

J.D. Griffiths Garages

"Wisconsin's Largest Garage Builder"

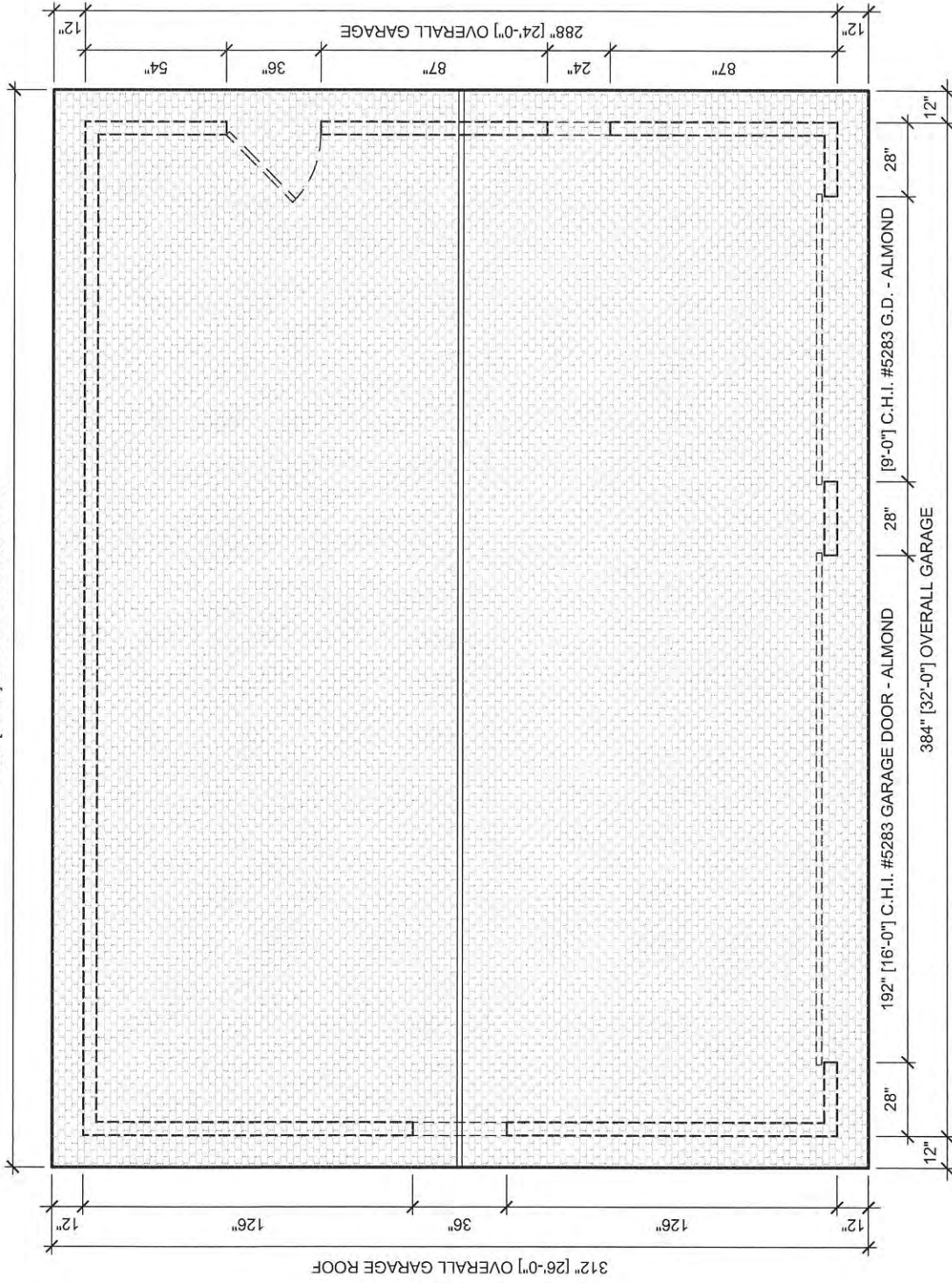
Requested changes to garage project for Ken Masur residence at

7829 N. Regent Rd., Fox Point.

- 1. Exposed Rafter tails in lieu of closed soffits.**
- 2. Board & Batten Siding on all elevations.**
- 3. Windows to match house windows.**
- 4. Pitch of roof to remain as originally planned.**
- 5. Garage to be minimum 10' from house.**

Please see attached revised drawings dated 8/25/21.

408" [34'-0"] OVERALL GARAGE ROOF



NOTE: SEE PAGE 6 FOR
TYPICAL DETAILS



PLAN VIEW	DATE:	REV 1:	REV 2:
	02.17.2021	06.28.2021	08.25.2021
SCALE: 3/16"=1'-0"			
PAGE: 1 OF 6			

PLAN VIEW	DATE:	REV 1:	REV 2:
	02.17.2021	06.28.2021	08.25.2021
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PAGE: 1 OF 6			

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PAGE: 1 OF 6			

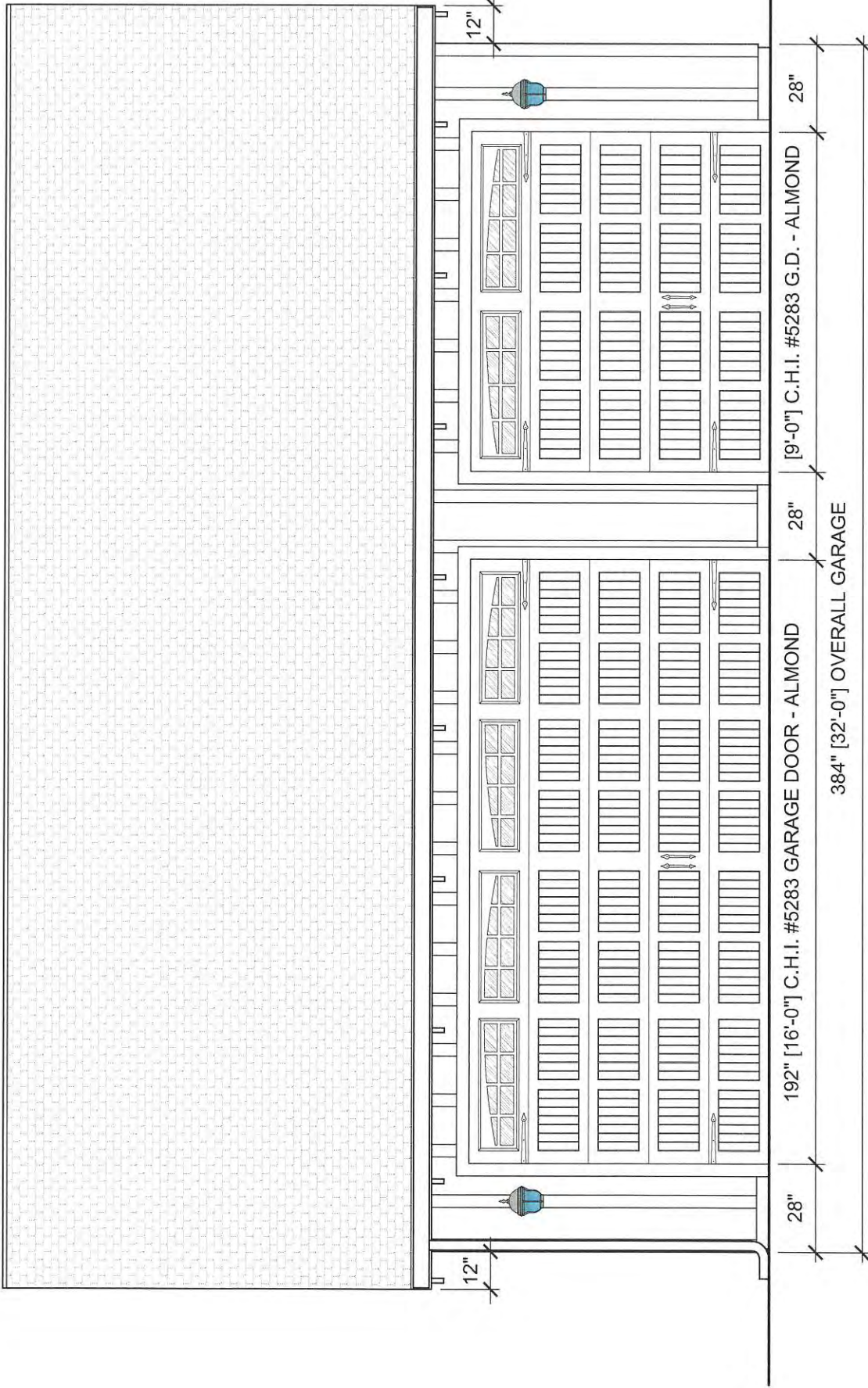
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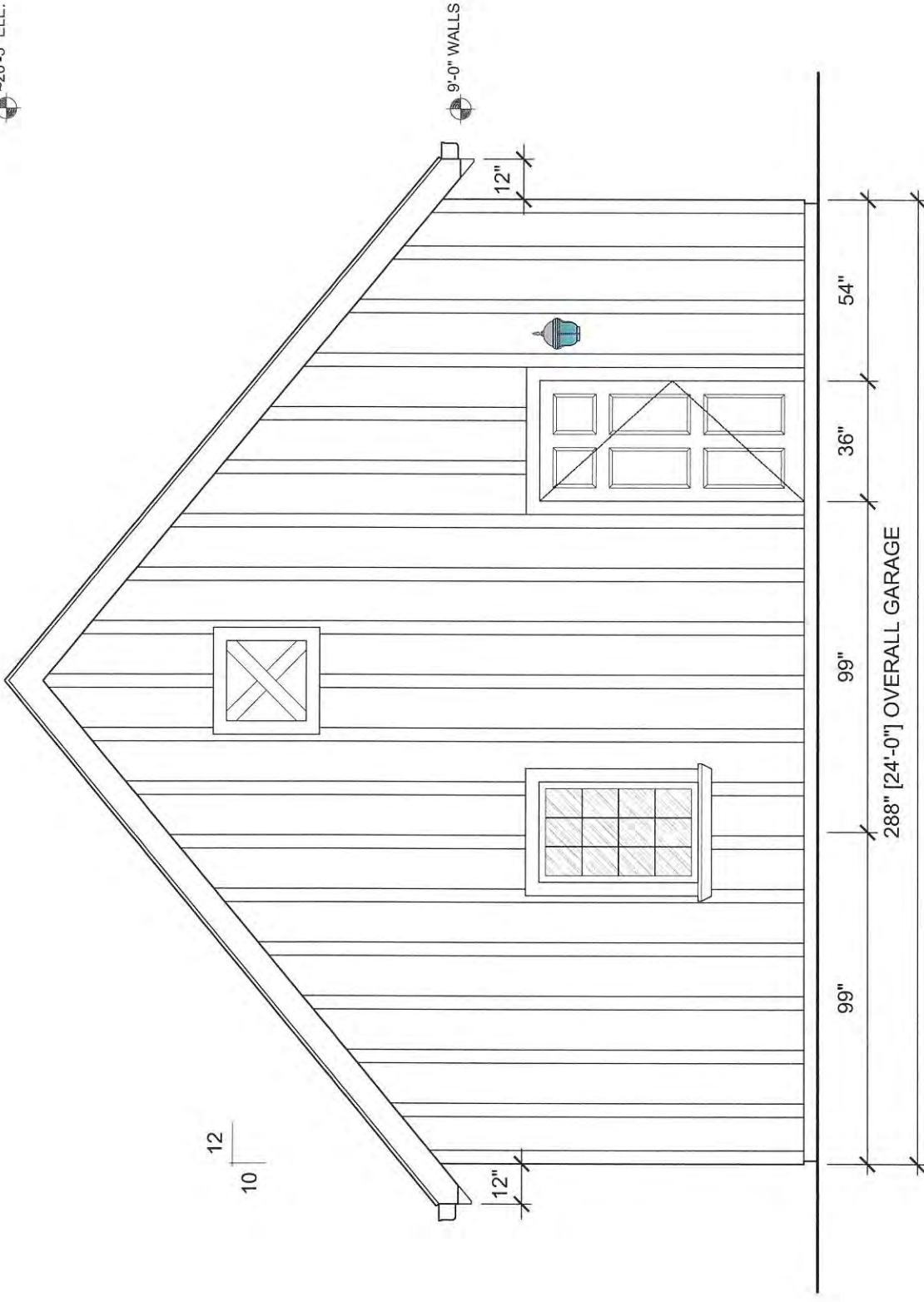
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	02.17.2021	06.28.2021	08.25.2021
SCALE: 3/16"=1'-0"			
PAGE: 1 OF 6			

≈20'-5" ELE.



9'-0" WALLS
8'-0" DOOR

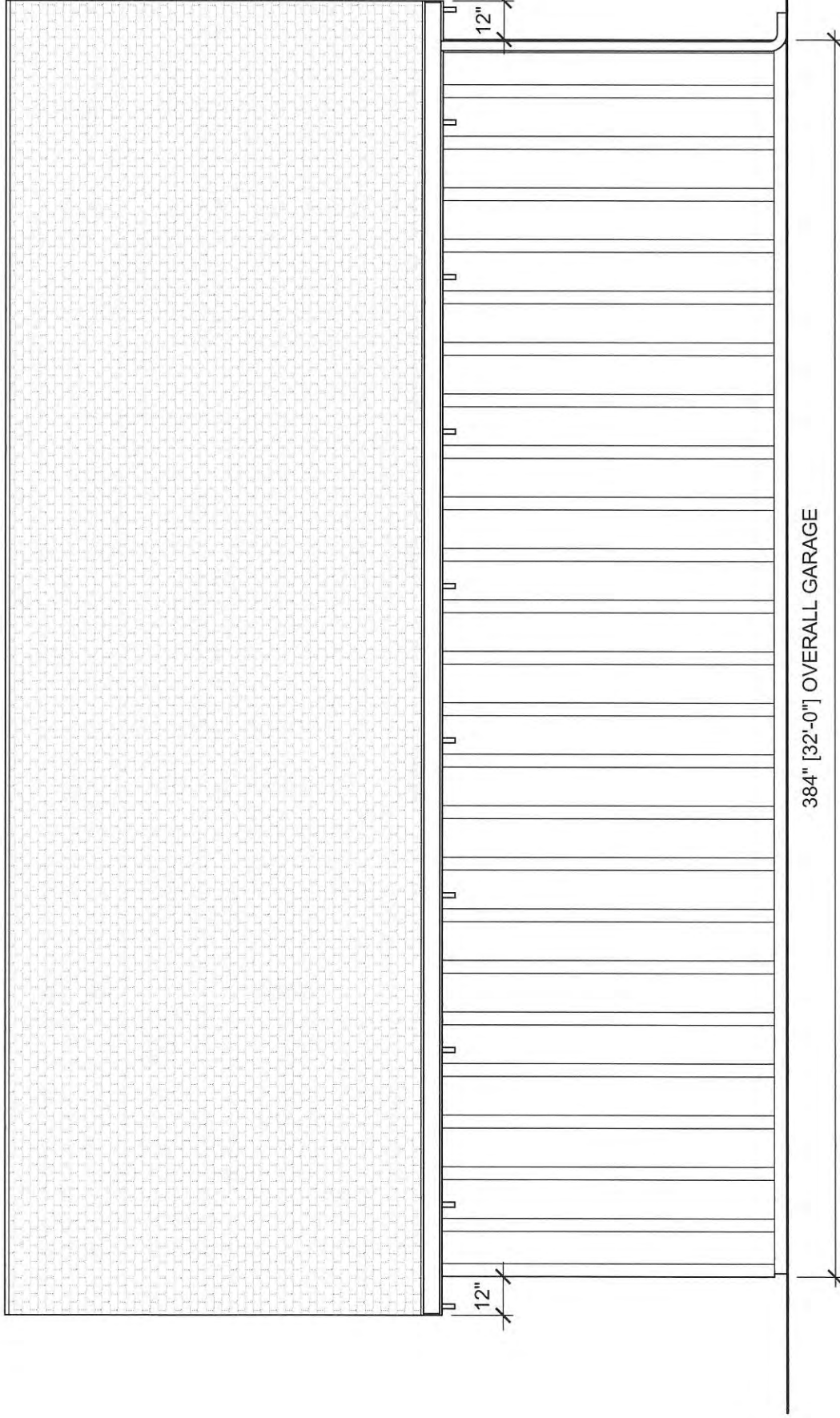
≈20'-5" ELE.



KEN MASUR RESIDENCE		ELEVATION	DATE: 02.17.2021	REV 1: 06.28.2021	REV 2: 08.25.2021
		SCALE: 1/4" = 1'-0"		PAGE: 3 OF 6	



≈20'-5" ELE.

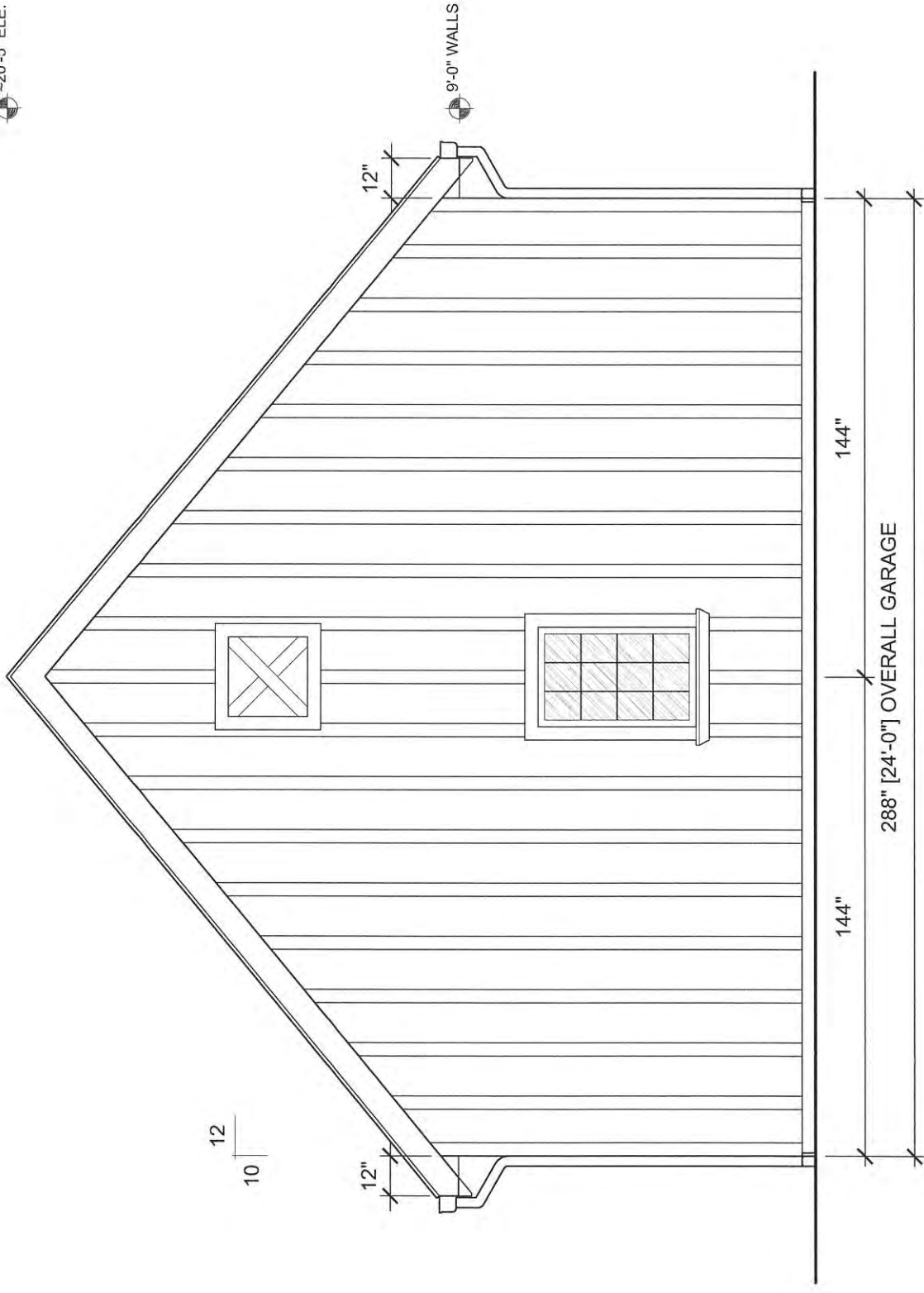


KEN MASUR RESIDENCE

ELEVATION	DATE:	REV 1:	REV 2:
	02.17.2021	06.28.2021	08.25.2021
SCALE: 1/4" = 1'-0"			
PAGE: 4 OF 6			



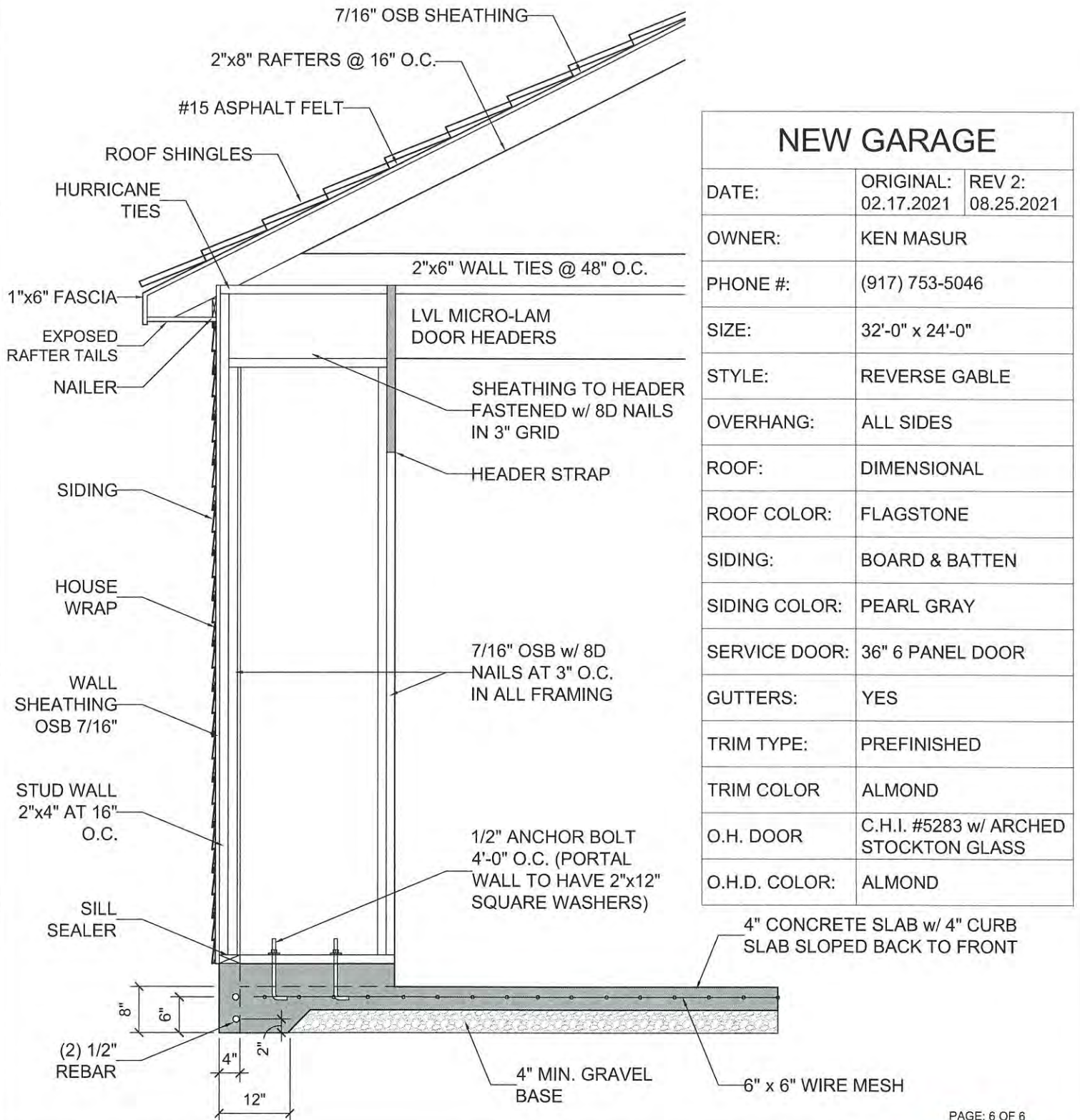
≈20'-5" ELE.



KEN MASUR RESIDENCE		ELEVATION	DATE: 02.17.2021	REV 1: 06.28.2021	REV 2: 08.25.2021
		SCALE: 1/4" = 1'-0"		PAGE: 5 OF 6	



TYPICAL CROSS SECTION



NEW GARAGE

DATE:	ORIGINAL: 02.17.2021	REV 2: 08.25.2021
OWNER:	KEN MASUR	
PHONE #:	(917) 753-5046	
SIZE:	32'-0" x 24'-0"	
STYLE:	REVERSE GABLE	
OVERHANG:	ALL SIDES	
ROOF:	DIMENSIONAL	
ROOF COLOR:	FLAGSTONE	
SIDING:	BOARD & BATTEN	
SIDING COLOR:	PEARL GRAY	
SERVICE DOOR:	36" 6 PANEL DOOR	
GUTTERS:	YES	
TRIM TYPE:	PREFINISHED	
TRIM COLOR	ALMOND	
O.H. DOOR	C.H.I. #5283 w/ ARCHED STOCKTON GLASS	
O.H.D. COLOR:	ALMOND	

PAGE: 6 OF 6

OWNER:	KEN MASUR	GARAGE SIZE:	32'-0" x 24'-0"
ADDRESS:	7829 N. REGENT RD. FOX POINT, WI 53217	GARAGE SYTLE:	REVERSE GABLE
		DRAWING SCALE:	1/2" = 1'-0"











PLAT OF SURVEY

LOCATION: 7829 North Regent Road, Fox Point, Wisconsin

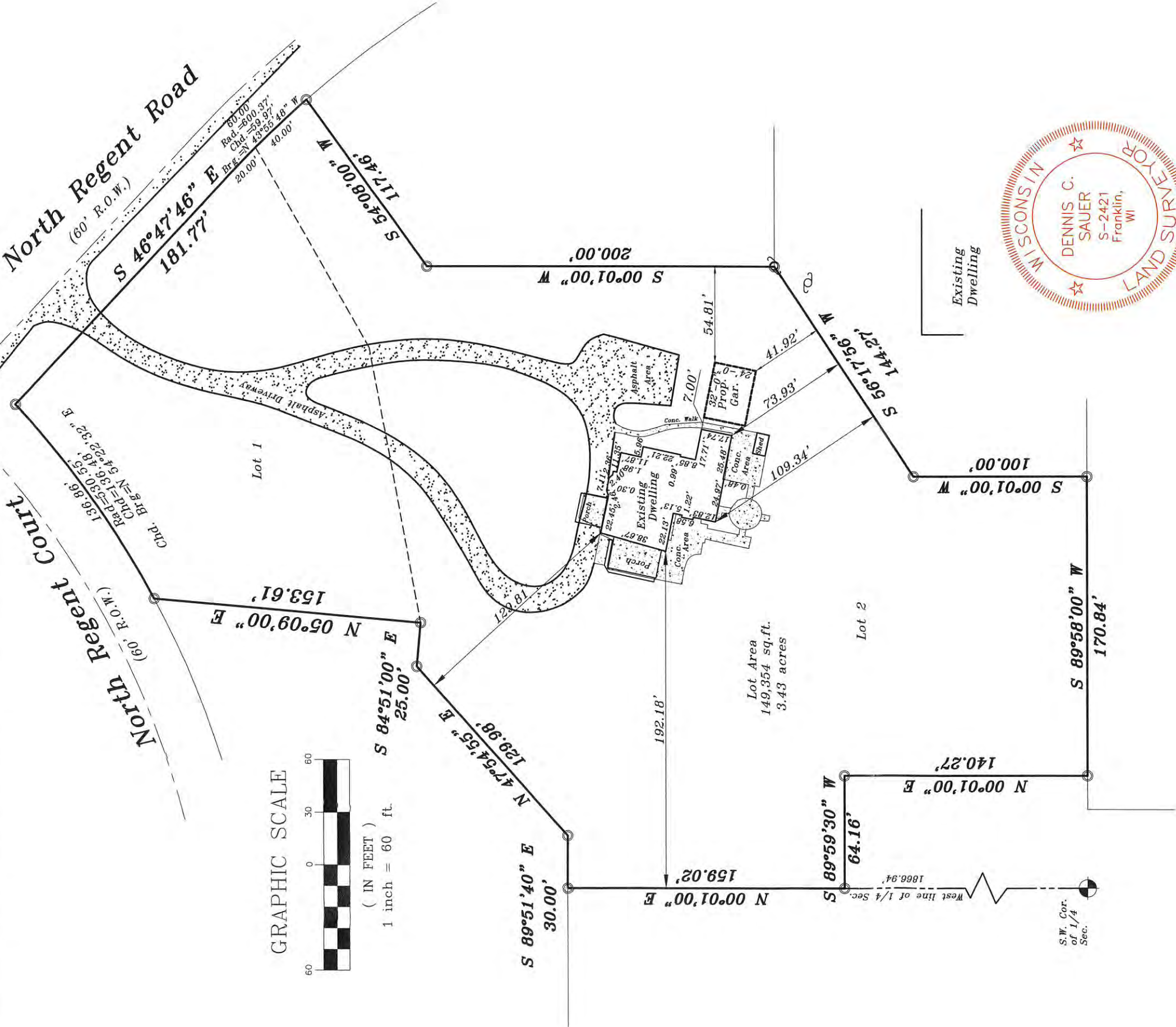
LEGAL DESCRIPTION:

Lots 1 and 2 in CERTIFIED SURVEY MAP NO. 147, being a resubdivision of Lots 2 and 3 Block 5, Bacon Homesites, and lands in the Northwest 1/4 of Section 16, Town 8 North, Range 22 East, in the Village of Fox Point, Milwaukee County, Wisconsin.

June 1, 2021

Survey No. 112627

June 14, 2021 Added Proposed Garage (Not Staked)



METROPOLITAN SURVEY SERVICE, INC.

PROFESSIONAL LAND SURVEYORS

9415 West Forest Home Avenue, Suite 202

Hales Corners, Wisconsin 53130

PH. (414) 529-5380

survey@metropolitansurvey.com

www.metropolitansurvey.com

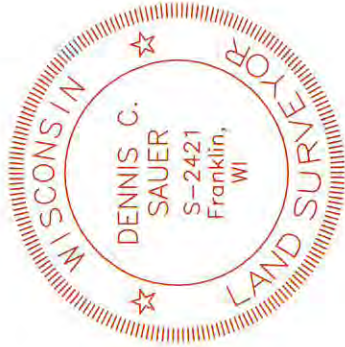
⊙ — Denotes Iron Pipe Found

○ — Denotes Iron Pipe Set



I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.



Dennis C. Sauer

SIGNED

Dennis C. Sauer

Professional Land Surveyor S-2421



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

OFFICE USE ONLY
Issued Date
Zoning

BUILDING PERMIT

Job Address 8329 N Whitney Rd	Building Type Residential - Commercial
Description of Work	
Free standing deck adjacent garage.	
Estimated Cost of Project \$4,000	

Owner/Occupant	
Contact Name Trygve Hansen	Business Name
Address 8329 N Whitney Rd	City/State/Zip Fox Point, WI 53217
Phone 1(651)4686337	Email thansen@hga.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Self	Contact Name
Address	City/State/Zip
Phone	Email
Dwelling Contractor #	Dwelling Contractor Qualifier #

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$9.50	38.00 70.00
Building Board	\$75.00	75.00 75.00
Footing early start - \$210.00 one and two family; \$280.00 commercial		
Plan Review - \$250.00 one and two family; New Construction \$300.00 plus \$27.00/unit commercial; New Construction		
State Seal	\$65.00	
Razing, Interior Demolition \$85.00 minimum plus	\$0.12/sqft	
Moving buildings over public ways \$230.00 plus	\$0.12/sqft	
Fuel tanks - Per 1,000 gallons	\$24.00	
Re-inspection	\$100.00	
Other		
Work started without permit Double Fee		
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$113

Applicant Signature

Rev 09/20

Date

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.058583

Aug 31, 2021

8329 N Whitney Rd

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	
LICENSES & PERMITS - BUILDING PERMIT	38.00
24-44460 BUILDING PERMIT	
Total:	113.00
CHECK	113.00
Check No: 1431	
Payor: Trygve Hansen	
Total Applied:	113.00
Change Tendered:	.00

08/31/2021 9:33 AM



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

TRYGVE HANSEN

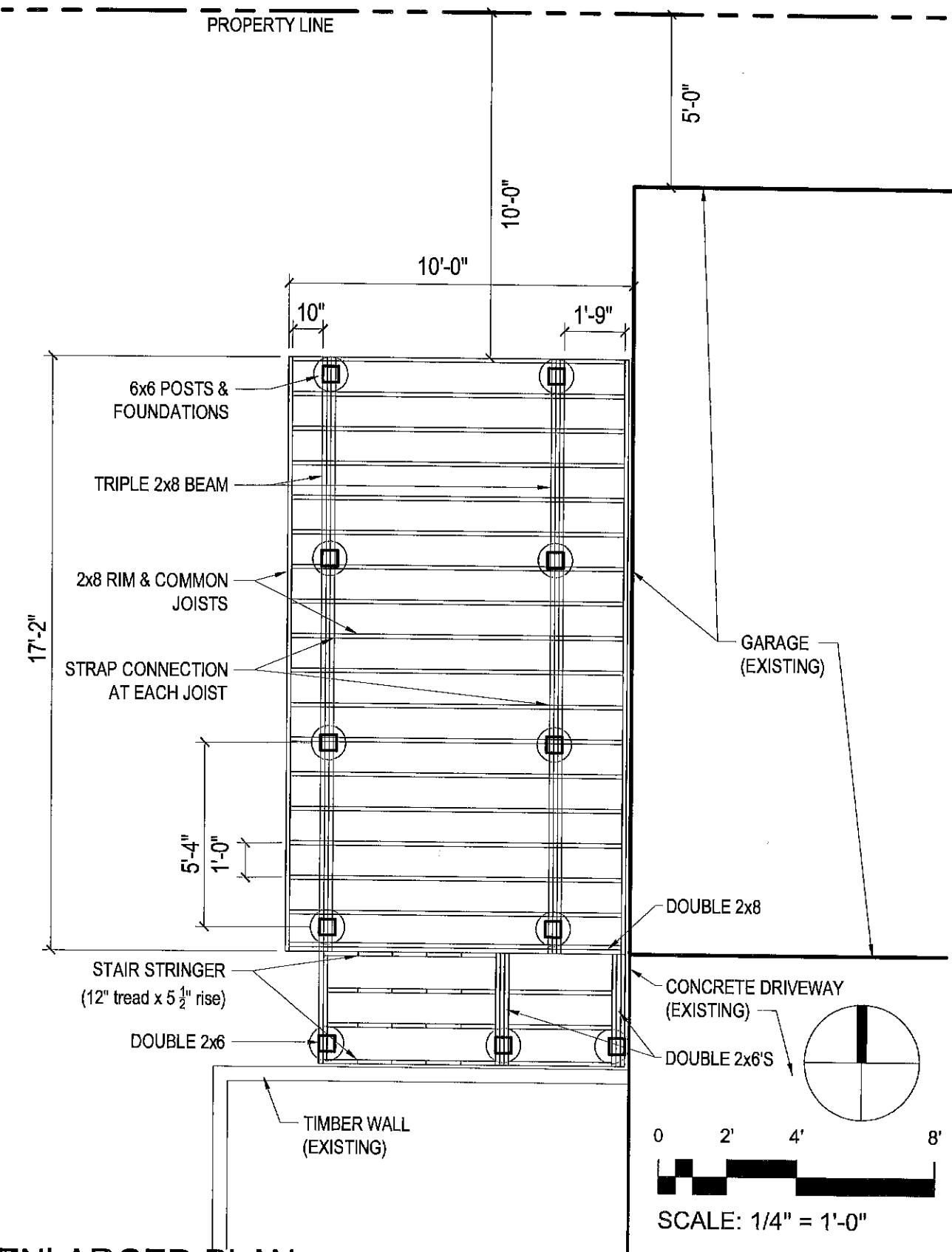
Homeowner's Printed Name

8329 N. WHITNEY RD.

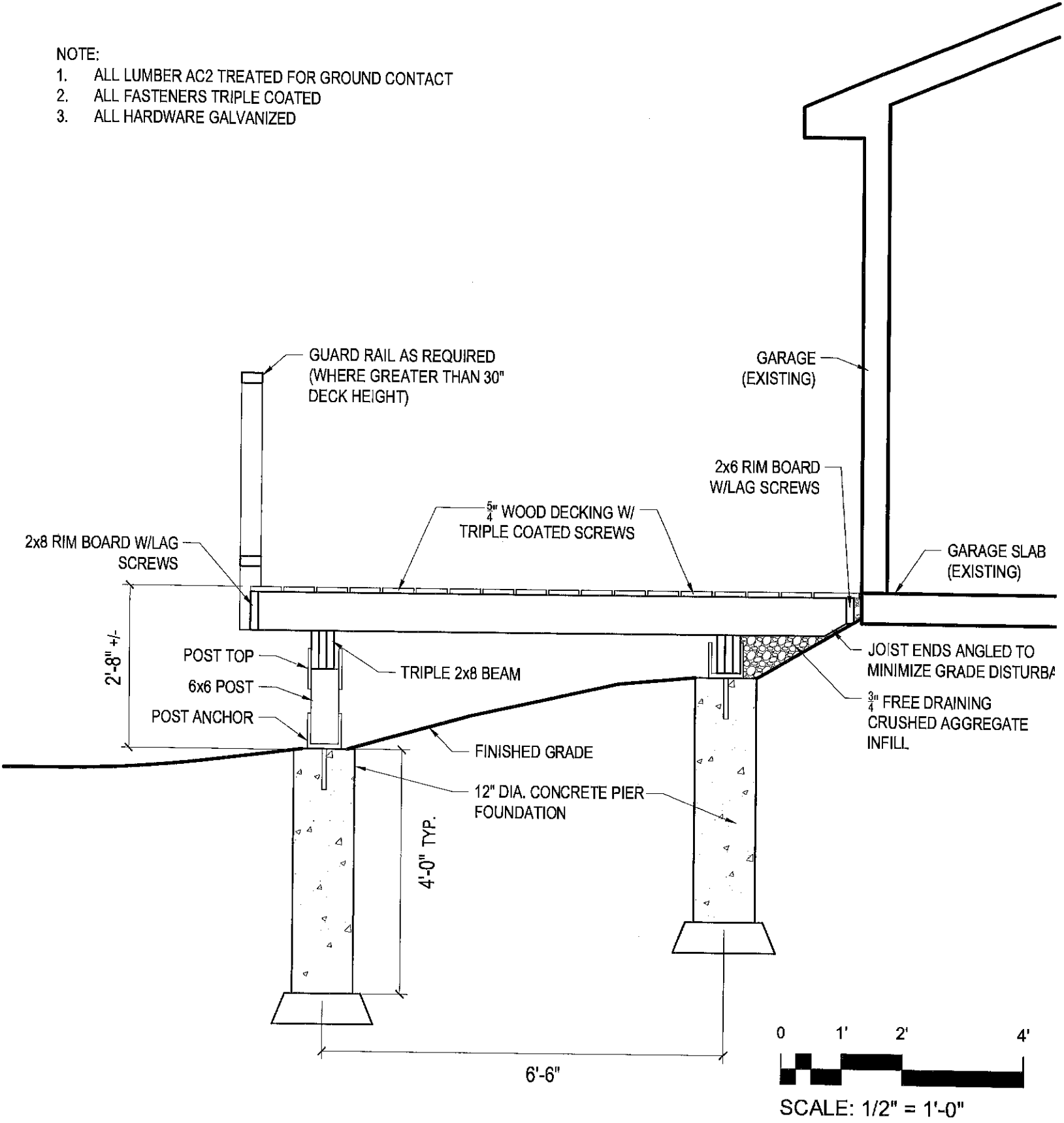
Property Address

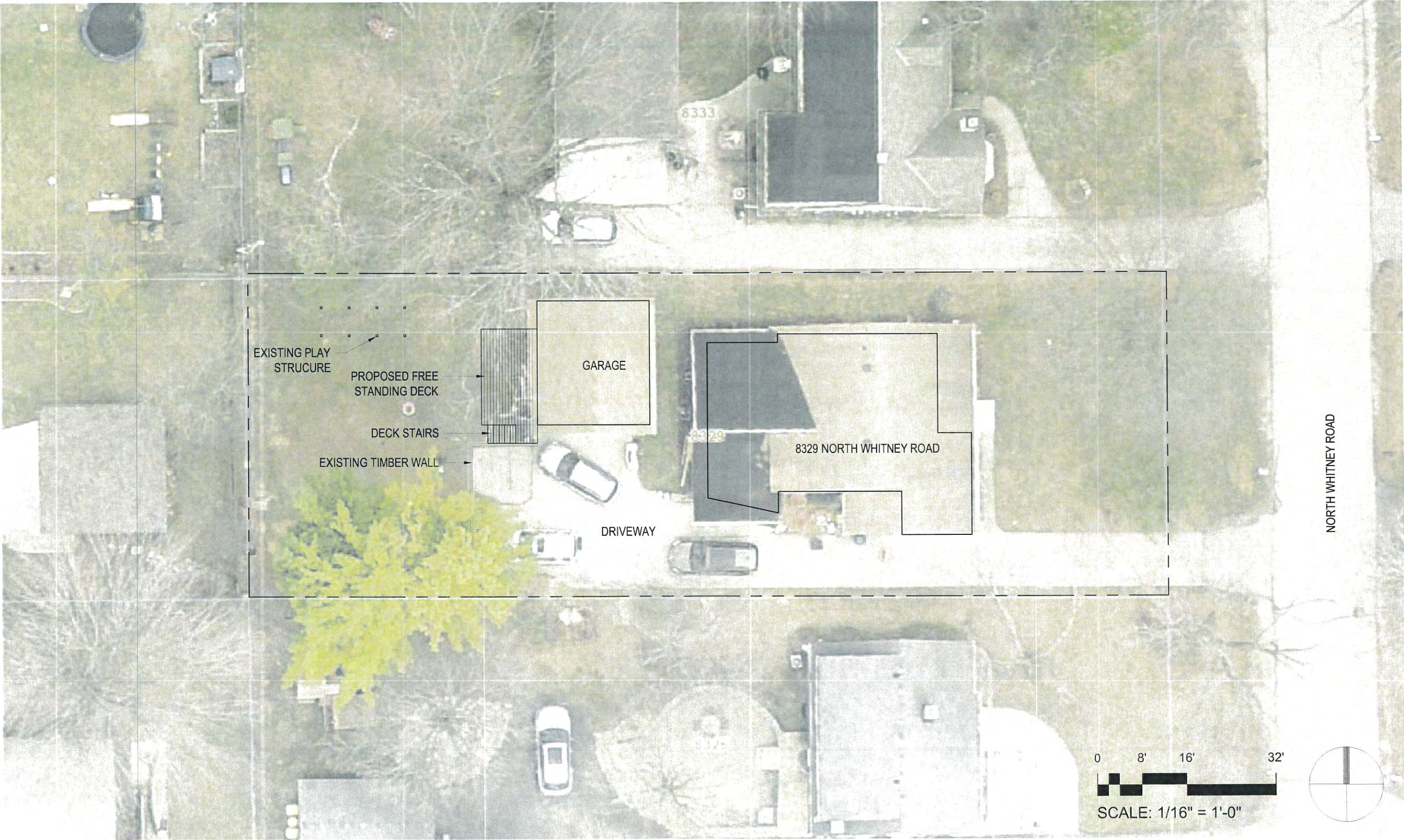

Homeowner's Signature

08/26/2021
Date



- NOTE:
- 1. ALL LUMBER AC2 TREATED FOR GROUND CONTACT
 - 2. ALL FASTENERS TRIPLE COATED
 - 3. ALL HARDWARE GALVANIZED





NORTH ELEVATION_01



NORTH ELEVATION_02



EAST ELEVATION



SOUTH ELEVATION_01



SOUTH ELEVATION_02



WEST ELEVATION



LEAGUE KITCHEN REMODEL

8321 N. WHITNEY ROAD
FOX POINT, WI 53217



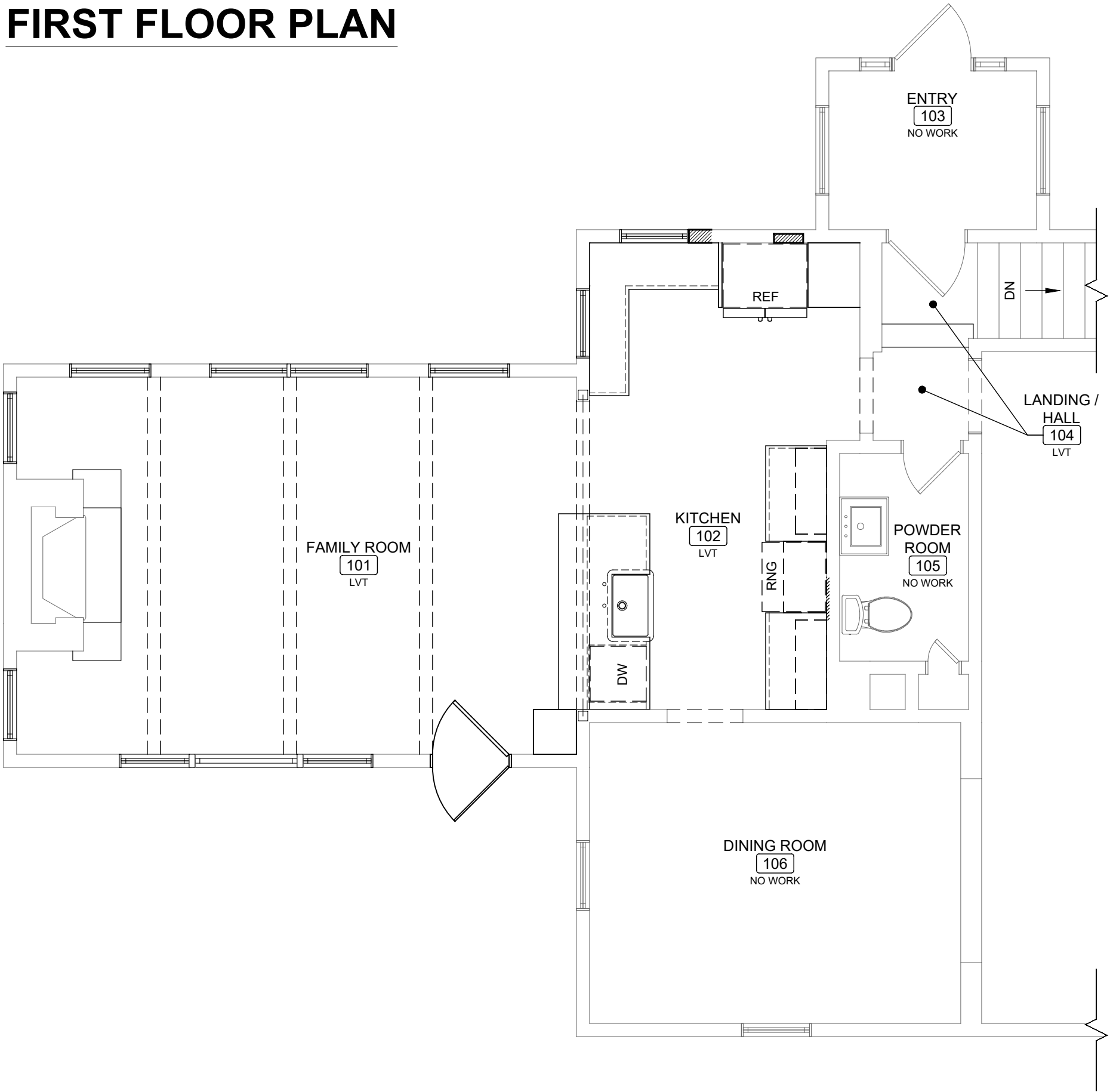
GABOR
DESIGN BUILD LLC

W156 N11238 PILGRIM RD
GERMANTOWN, WI 53022
PHONE: (262) 437-2100

SHEET INDEX

		REVISION DATE			
		6/14/21	8/02/21	8/25/21	8/31/21
T1.0	TITLE SHEET	●	●	●	●
D2.1	FIRST FLOOR DEMOLITION PLAN	●			●
A2.1	FIRST FLOOR PLAN	●	●	●	●
A4.1	EXTERIOR ELEVATIONS	●			●
A6.0	INTERIOR ELEVATIONS & DETAILS	●		●	
A6.1	INTERIOR ELEVATIONS	●		●	
A8.0	SCHEDULES	●		●	●
MEP2.1	FIRST FLOOR MEP PLAN	●	●	●	●

FIRST FLOOR PLAN



LEAGUE KITCHEN REMODEL
8321 N. WHITNEY ROAD
FOX POINT, WI 53217

REVISIONS		
△	CONSTRUCTION DOCUMENTS	08.02.21
△	PRODUCTION UPDATES	08.25.21
△	PROJECT UPDATES	08.31.21

DRAWING TITLE
TITLE SHEET

DRAWING NUMBER
T1.0

06/14/2021 JMD

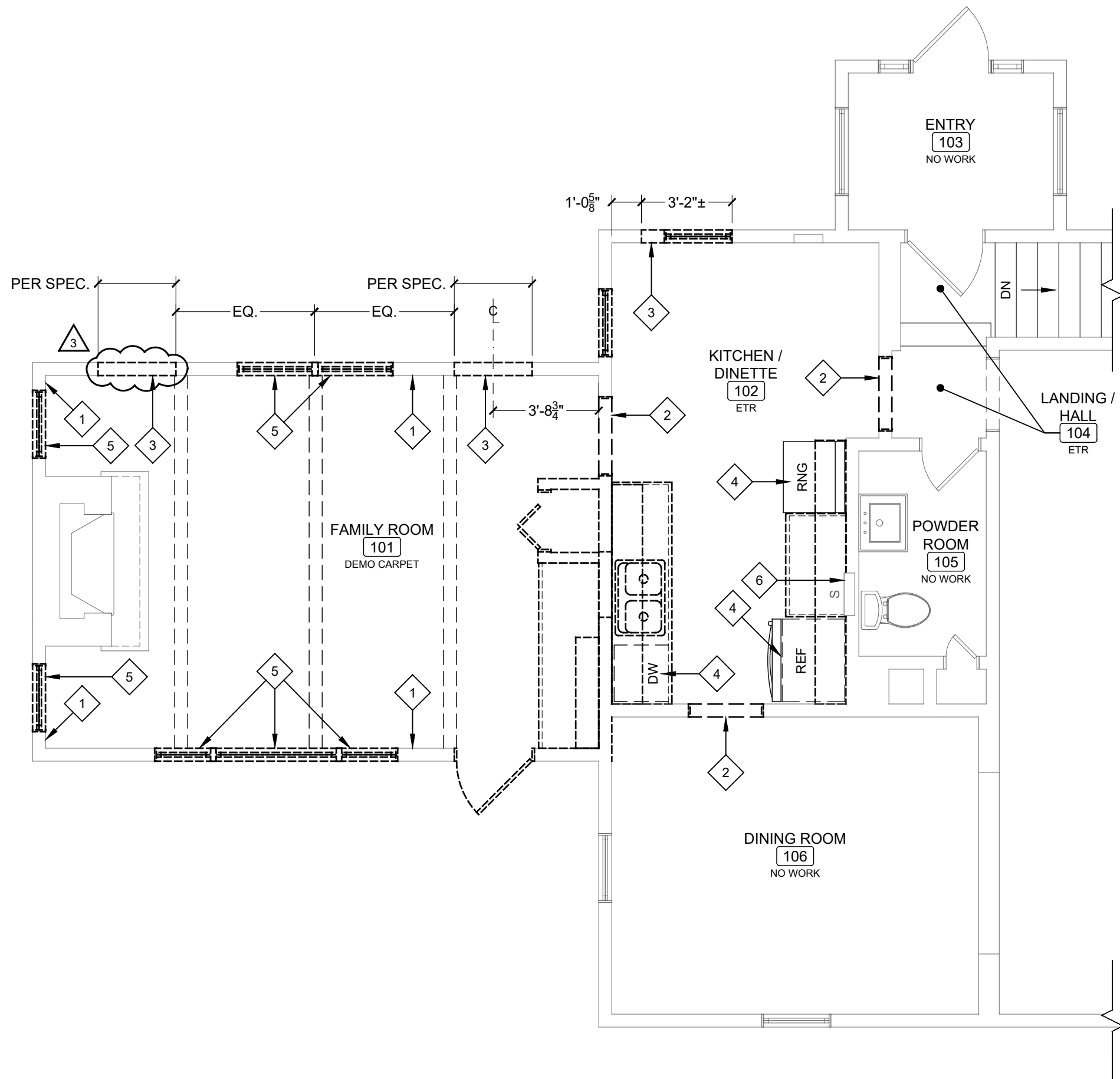
CONSTRUCTION DOCUMENTS
INCORPORATING SUPPLEMENTAL INSTRUCTIONS #3
DATE ISSUED: 08/31/2021



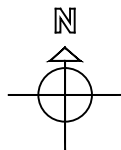
GABOR
DESIGN BUILD LLC

W156 N11238 PILGRIM RD
GERMANTOWN, WI 53022
PHONE: (262) 437-2100

LEAGUE KITCHEN REMODEL
8321 N. WHITNEY ROAD
FOX POINT, WI 53217



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



GENERAL DEMOLITION NOTES:

- USE LEAD SAFE RENOVATION PRACTICES AS NECESSARY THROUGHOUT ENTIRE DEMOLITION AND CONSTRUCTION PROCESS.
- BEFORE DEMOLITION BEGINS, INSTALL 6 MIL MINIMUM PLASTIC DUST BARRIER TO CLOSE OFF PROJECT AREA, TAPE AND SEAL ALL EDGES. VERIFY THAT ALL BARRIERS ARE INTACT AND WORKING THROUGHOUT DEMOLITION.
- COVER AND TAPE ALL HVAC VENT SUPPLIES AND RETURNS. FORM AN AIR-TIGHT SEAL.
- **HARD FLOORS:** INSTALL RAM BOARD FLOOR PROTECTION OVER ALL HARD FLOORS TO REMAIN NEAR PROJECT AREA. COMPLETELY VACUUM AND REMOVE ALL DEBRIS BEFORE INSTALLATION. APPLY BLUE PAINTER'S TAPE AROUND PERIMETER OF AREA AND DUCT TAPE RAM BOARD TO BLUE TAPE. **DO NOT** APPLY DUCT TAPE DIRECTLY TO HARDWOOD SURFACE.
- **CARPET FLOORS:** AVOID CONTACT and/or USE AS MUCH AS POSSIBLE OF CARPET FLOOR AREAS TO REMAIN NEAR PROJECT AREA. IF WORK OR TRAFFIC USE IS NECESSARY, INSTALL SELF ADHESIVE POLYETHYLENE CARPET PROTECTION STRIPS THROUGHOUT AFFECTED AREA. THOROUGHLY CLEAN AND VACUUM AREA OF DEBRIS PRIOR TO INSTALLING CARPET PROTECTION. ADDITIONAL PROTECTION, SUCH AS RAM BOARD MAY NEED TO BE INSTALLED IN HIGH TRAFFIC AREAS.
- PRIOR TO DEMOLITION, PLUMBER IS TO DISCONNECT AND CAP EXISTING PLUMBING AS REQUIRED PER PLANS.
- PRIOR TO DEMOLITION, ELECTRICIAN IS TO DISCONNECT AND CAP EXISTING ELECTRICAL COMPONENTS AS REQUIRED PER PLANS.
- REMOVE WITH CARE ANY ITEMS AND FIXTURES TO BE SALVAGED FOR DONATION OR REUSE.
- CLEAN STRUCTURE OF FASTENERS AND MISCELLANEOUS PARTS. VACUUM ALL DUST AND DEBRIS FROM STRUCTURE SPACES INCLUDING STUD AND JOIST CAVITIES.

- 1 REMOVE EXISTING WALL PANELING.
- 2 REMOVE CASING & JAMBS.
- 3 REMOVE EXTERIOR WALL FRAMING AND DRYWALL TO CREATE R.O. NEEDED FOR NEW WINDOW PER MANUFACTURER SPEC.
- 4 DISCONNECT & PROTECT EXISTING APPLIANCES FOR RELOCATION AND/OR RE-USE.
- 5 PROTECT AND SAVE EXISTING WINDOW CASING FOR REINSTALLATION.
- 6 EXISTING WALL SUPPLY WILL BECOME A TOEKICK SUPPLY REROUTED THROUGH NEW CABINETRY.

WALL SYMBOLS KEY

- EXISTING STUD OR MASONRY WALL TO REMAIN
- WALL OR MATERIAL TO BE REMOVED INCLUDING DRYWALL, FRAMING, CABINETS, AND FIXTURES

REVISIONS

PROJECT UPDATES 08.31.21

DEMOLITION SCHEDULE																	
ROOM NAME	ROOM NUMBER	FLOORING	CEILING	WALLS				BASE				CASING				CABINETRY	NOTES
				WALL NORTH	WALLS EAST	WALLS SOUTH	WALL WEST	BASE NORTH	BASE EAST	BASE WEST	BASE SOUTH	CASING NORTH	CASING EAST	CASING SOUTH	CASING WEST		
FAMILY ROOM	101	REMOVE CARPET		SEE KEYNOTE #1	SEE KEYNOTE #1	SEE KEYNOTE #1	SEE KEYNOTE #1	REMOVE	REMOVE	REMOVE	REMOVE	SEE KEYNOTE #5	SEE KEYNOTE #5	SEE KEYNOTE #5	SEE KEYNOTE #5	REMOVE ALL	
KITCHEN / DINETTE	102				SEE KEYNOTE #6			REMOVE	REMOVE	REMOVE	REMOVE	SEE KEYNOTE #2	SEE KEYNOTE #2	SEE KEYNOTE #2	SEE KEYNOTE #2	REMOVE ALL	
ENTRY	103																
LANDING / HALL	104														SEE KEYNOTE #2		
POWDER ROOM	105																
DINING ROOM	106											SEE KEYNOTE #2					

DEMO SCHEDULE NOTES

- IF TABLE CELL IS EMPTY, NO WORK IS REQUIRED.

DRAWING TITLE

FIRST FLOOR
DEMOLITION PLAN

DRAWING NUMBER

D2.1



GABOR
DESIGN BUILD LLC

W156 N11238 PILGRIM RD
GERMANTOWN, WI 53022
PHONE: (262) 437-2100

LEAGUE KITCHEN REMODEL
8321 N. WHITNEY ROAD
FOX POINT, WI 53217

REVISIONS

△	CONSTRUCTION DOCUMENTS	08.02.21
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DRAWING TITLE

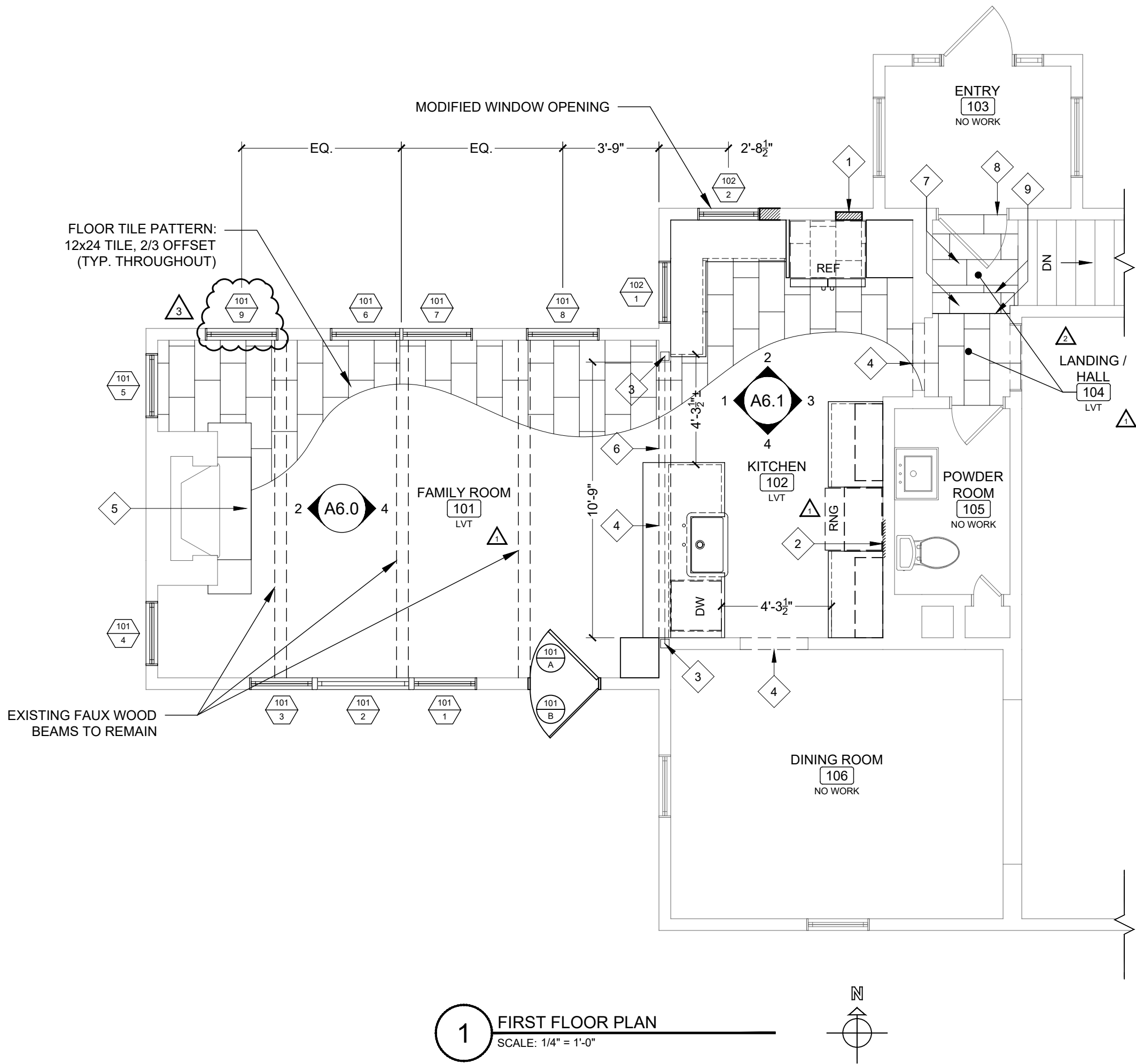
FIRST FLOOR PLAN

DRAWING NUMBER

A2.1

06/14/2021

JMD



CONSTRUCTION NOTES:

FAMILY ROOM

- SEE A6.0 FOR DETAILS & ELEVATIONS.
- NEW WINDOWS 1-7 WILL MATCH EXISTING STYLE AND SIZES. INTERIOR WINDOW CASING WILL BE REUSED.
- FIREPLACE BRICK WILL BE WHITEWASHED, AND HEARTH TO BE TILED OVER EXISTING STONE SLAB PER SELECTION.
- STRUCTURAL HEADER TO SPAN BETWEEN KITCHEN AND FAMILY ROOM PER ENGINEERING SPECIFICATIONS.
- NEW TILE FLOORING TO BE INSTALLED ON EXISTING SUBFLOOR AFTER CARPET AND UNDERLAMENT REMOVAL.
- NEW BASEBOARD AND SHOE TRIM INSTALLED THROUGHOUT.

KITCHEN

- SEE A6.1 FOR DETAILS AND ELEVATIONS.
- NEW UPPER AND BASE CABINETRY INSTALLED PER PLAN.
- EXISTING REFRIGERATOR TO BE RELOCATED WITH WATER PIPING AND POWER REROUTED TO NEW LOCATION.
- DISHWASHER TO BE REINSTALLED IN EXISTING LOCATION WITHIN NEW CABINETRY.
- NEW TILE FLOORING TO BE INSTALLED DIRECTLY ON EXISTING LINOLEUM FLOOR.
- NEW TILE FLOORING TO BE INSTALLED BENEATH APPLIANCES, NOT BENEATH NEW CABINETRY.
- NEW BASEBOARD AND SHOE TRIM INSTALLED THROUGHOUT.

LANDING / HALL

- NEW TILE FLOORING TO BE INSTALLED DIRECTLY ON EXISTING LINOLEUM FLOOR.
- NEW BASEBOARD AND SHOE TRIM INSTALLED THROUGHOUT.

- 1 INSULATE AND FRAME IN WALL NICHE. PATCH IN DRYWALL AND PAINT PER SELECTION.
- 2 PATCH AREA WHERE EXISTING WALL SUPPLY WAS REROUTED TO TOEKICK SUPPLY.
- 3 (3) PLY, 2x4 SUPPORT POSTS TO BE LOCATED WITHIN EXISTING WALL ON EACH END OF LVL HEADER.
- 4 FINISH AS DRYWALL OPENING.
- 5 PROVIDE BLOCKING BELOW EXISTING HEARTH TO SUPPORT NEW TILE AND SUBSTRATE PER PLAN. SEE DRAWING - 1 / A6.0.
- 6 (2) PLY, 1 3/4" X 11 1/4" LVL HEADER
- 7 CHANGE TILE DIRECTION ON LANDING AND STEP PER PLAN.
- 8 TILE TO START ABUTTING EXISTING THRESHOLD.
- 9 CLAD (2) RISERS WITH 1/4" PAINT GRADE PLYWOOD TO BE PAINTED BY OWNER.

ROOM FINISH SCHEDULE

ROOM FINISH SCHEDULE																		
ROOM NAME	ROOM NUMBER	FLOORING			CEILING	WALLS	BASE				CASING				CABINETRY			NOTES
		MATERIAL	FINISH	SIZE	FINISH	FINISH	PROFILE	MATERIAL	FINISH	SIZE	PROFILE	MATERIAL	FINISH	SIZE	MATERIAL	FINISH	STYLE	
FAMILY ROOM	101	LVT	SEE SPEC.	SEE SPEC.	SEE SCHEDULE NOTE #1	SEE SCHEDULE NOTE #1	BLF-6, BLF-50 SHOE	PAINT GRADE	PAINT	SEE A8.0 LEGEND	BLF-113	PAINT GRADE	PAINT	SEE A8.0 LEGEND	SEE SPEC.	SEE SPEC.	SEE SPEC.	--
KITCHEN	102	LVT	SEE SPEC.	SEE SPEC.	SEE SCHEDULE NOTE #1	SEE SCHEDULE NOTE #1	BLF-6, BLF-50 SHOE	PAINT GRADE	PAINT	SEE A8.0 LEGEND	BLF-113	PAINT GRADE	PAINT	SEE A8.0 LEGEND	SEE SPEC.	SEE SPEC.	SEE SPEC.	--
ENTRY	103	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--
LANDING / HALL	104	LVT	SEE SPEC.	SEE SPEC.	SEE SCHEDULE NOTE #1	SEE SCHEDULE NOTE #1	BLF-6, BLF-50 SHOE	PAINT GRADE	PAINT	SEE A8.0 LEGEND	BLF-113	PAINT GRADE	PAINT	SEE A8.0 LEGEND	--	--	--	--
POWDER ROOM	105	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--
DINING ROOM	106	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

FINISH SCHEDULE NOTES

- PAINTING OF CEILINGS AND WALLS IS NOT INCLUDED IN THE CONTRACT, BUT CAN BE ADDED AS AN OPTION.
- IF TABLE CELL IS EMPTY, NO WORK IS REQUIRED.



GABOR
DESIGN BUILD LLC

W156 N11238 PILGRIM RD
GERMANTOWN, WI 53022
PHONE: (262) 437-2100

LEAGUE KITCHEN REMODEL
8321 N. WHITNEY ROAD
FOX POINT, WI 53217

REVISIONS

 PROJECT UPDATES 08.31.21

DRAWING TITLE

EXTERIOR
ELEVATIONS

DRAWING NUMBER

A4.1

06/14/2021 JMD



1 NORTH ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



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REVISIONS

△ PRODUCTION
UPDATES 08.25.21

DRAWING TITLE

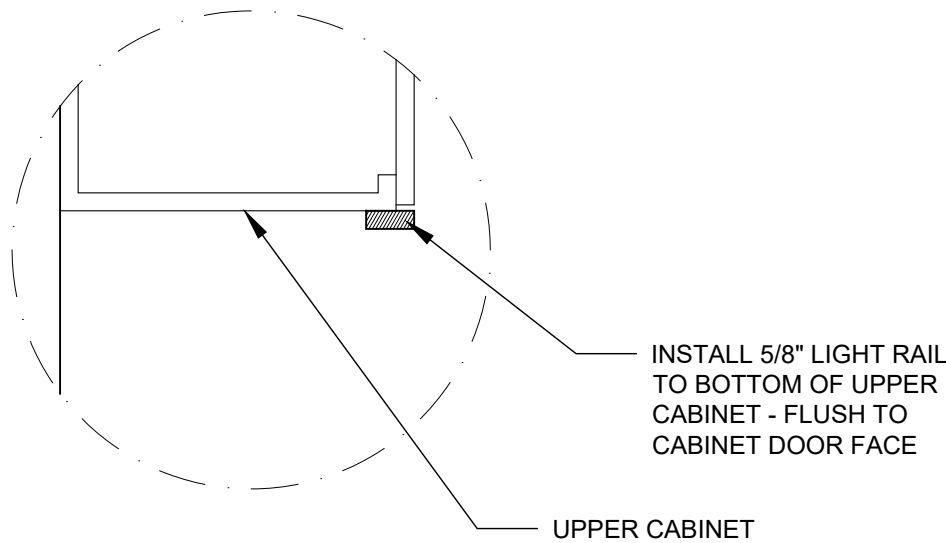
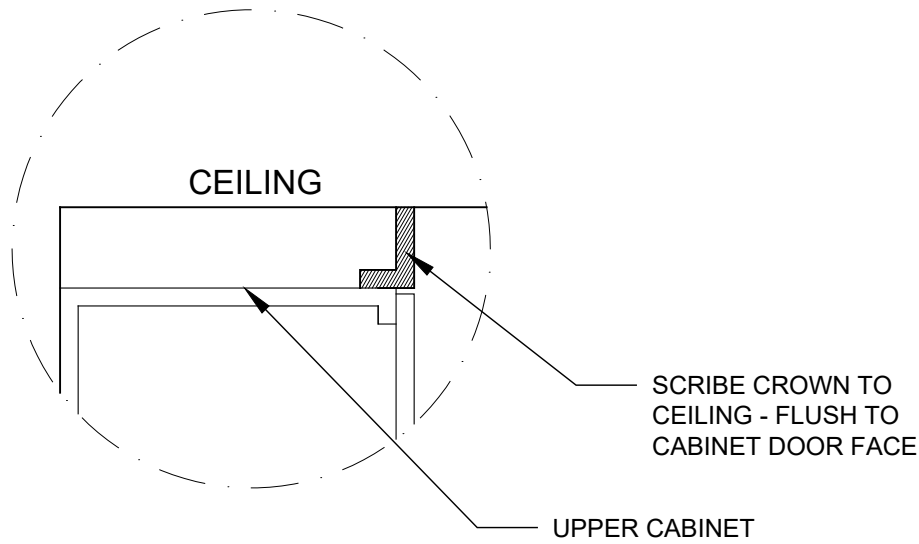
INTERIOR
ELEVATIONS
& DETAILS

DRAWING NUMBER

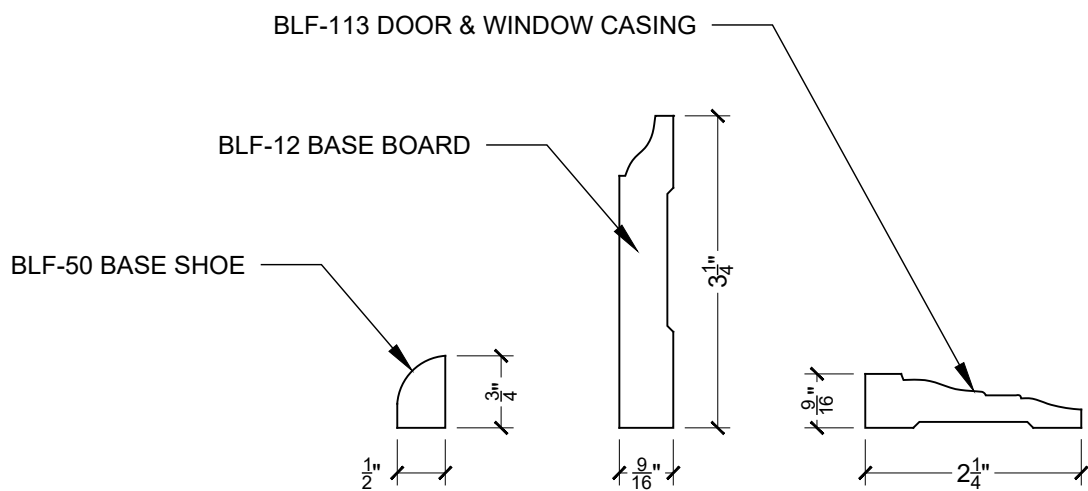
A6.0

06/14/2021

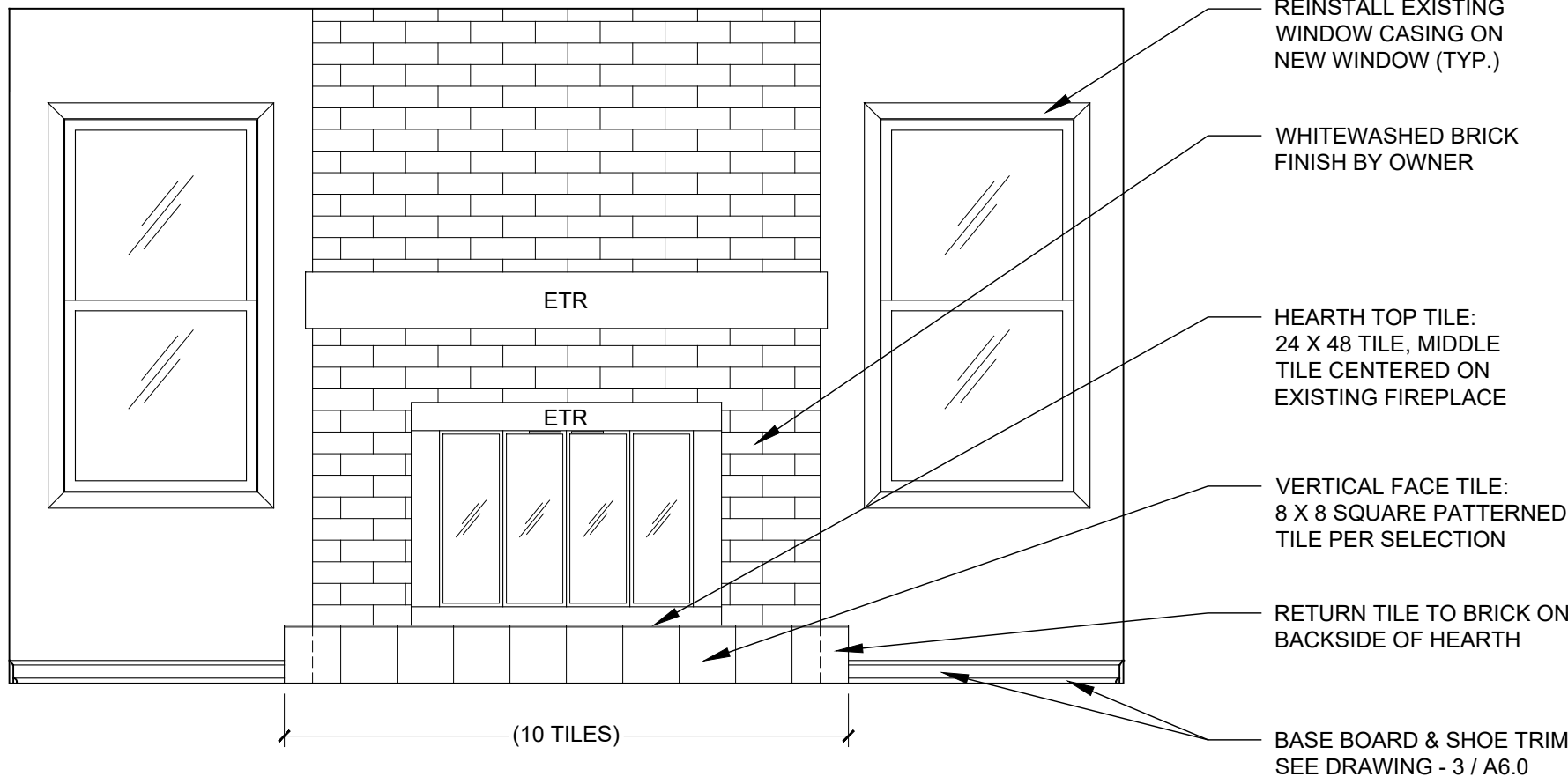
JMD



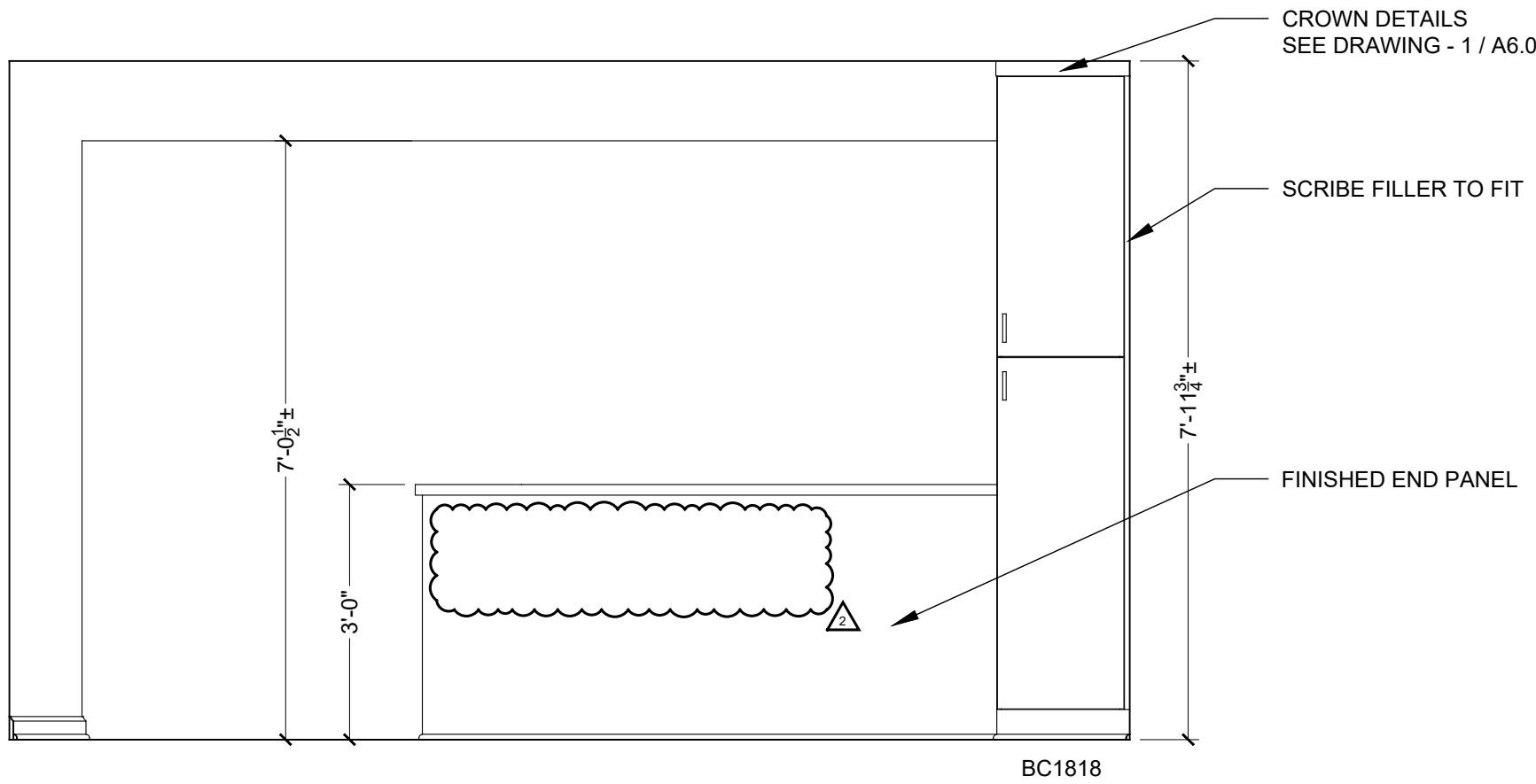
1 CABINET MOLDING DETAILS
SCALE: 1 1/2" = 1'-0"



3 TRIM LEGEND
SCALE: 6\"/>



2 WEST ELEVATION - FAMILY ROOM
SCALE: 1/2\"/>



4 EAST ELEVATION - FAMILY ROOM
SCALE: 1/2\"/>



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REVISIONS

△ PRODUCTION
UPDATES 08.25.21

DRAWING TITLE

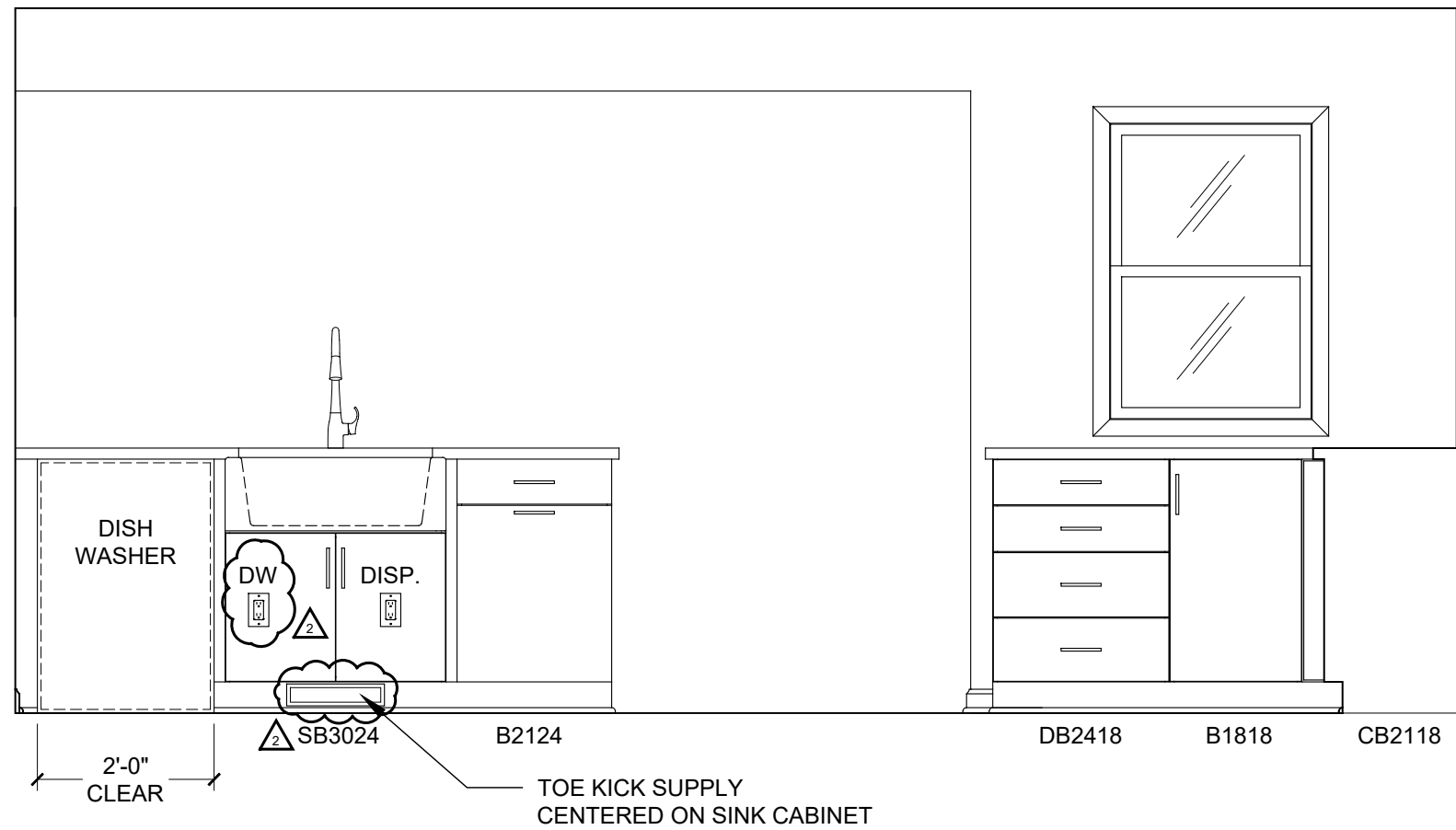
INTERIOR
ELEVATIONS

DRAWING NUMBER

A6.1

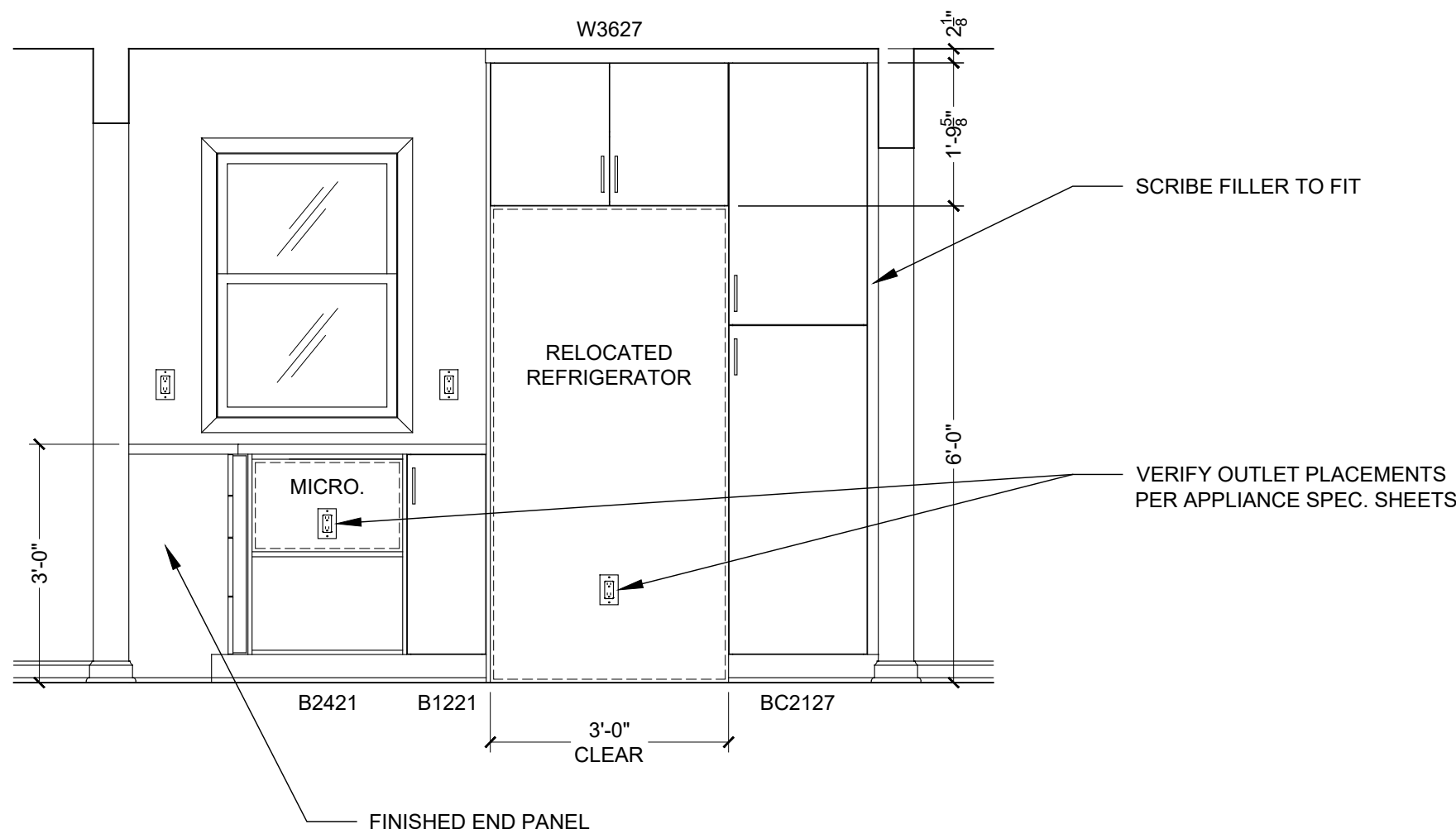
06/14/2021

JMD



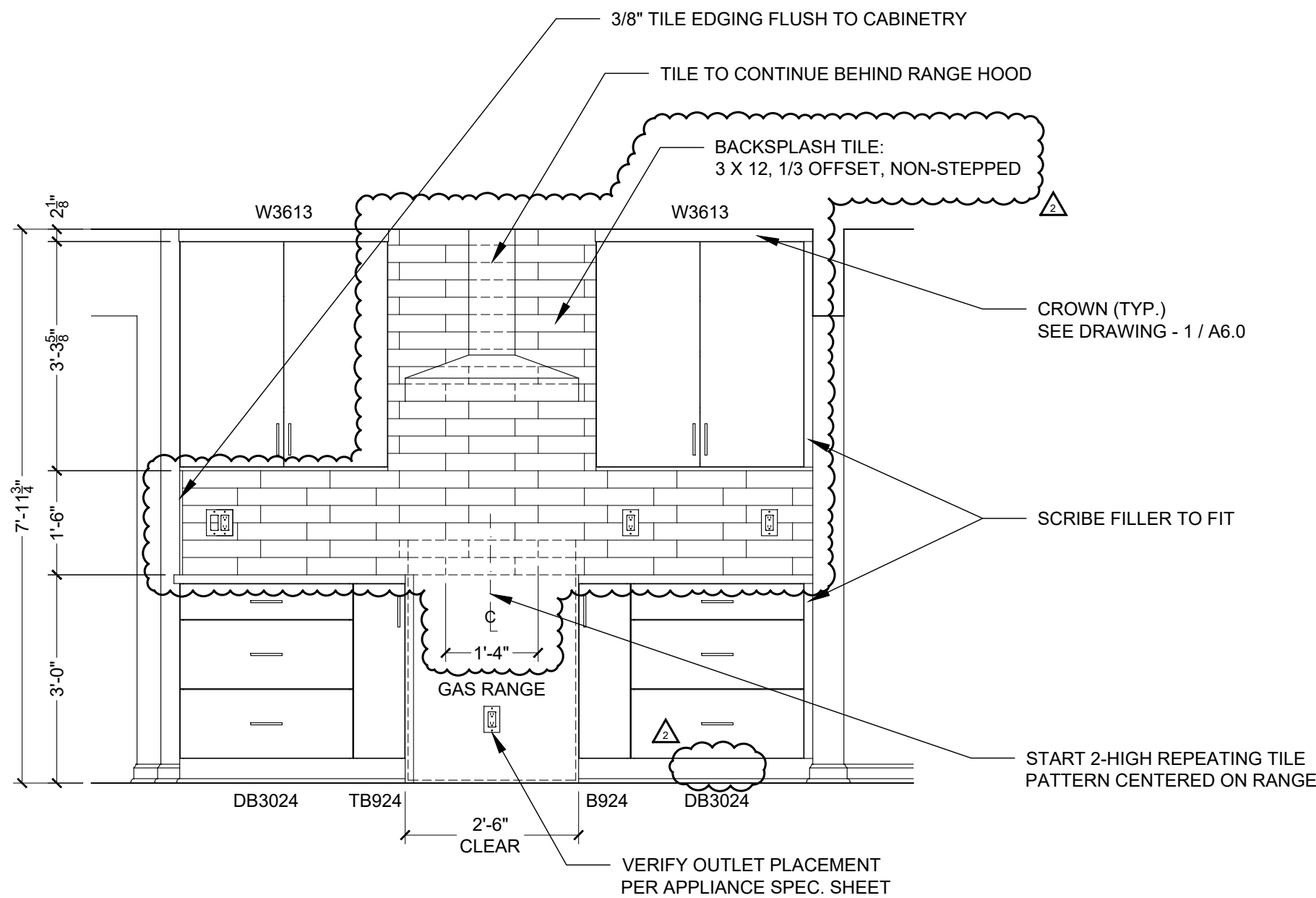
1 WEST ELEVATION - KITCHEN

SCALE: 1/2" = 1'-0"



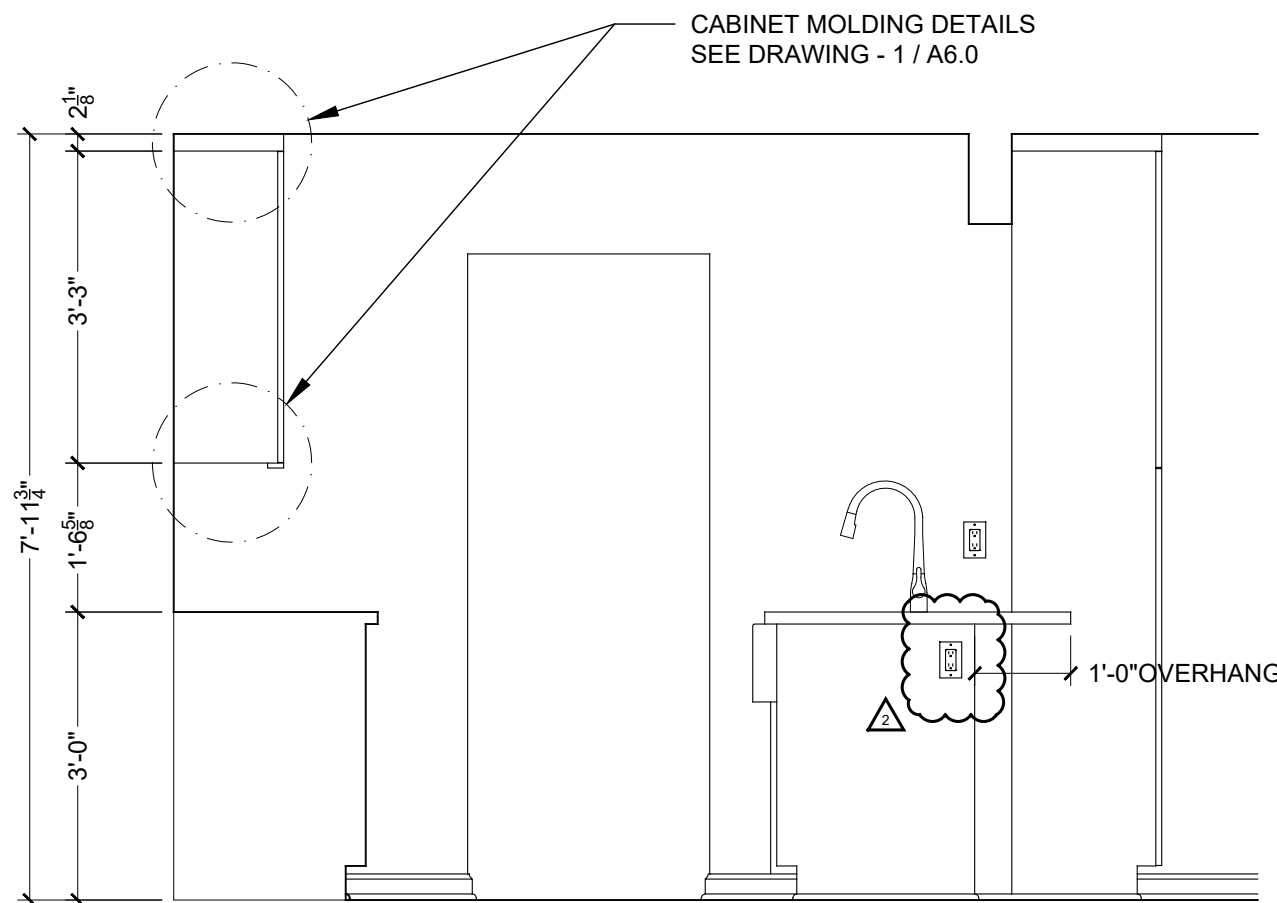
2 NORTH ELEVATION - KITCHEN

SCALE: 1/2" = 1'-0"



3 EAST ELEVATION - KITCHEN

SCALE: 1/2" = 1'-0"



4 SOUTH ELEVATION - KITCHEN

SCALE: 1/2" = 1'-0"

2

DOOR SCHEDULE												
ROOM NAME	ROOM NUMBER	LETTER	---- DOOR ----					---- JAMB & CASING ----			HARDWARE	NOTES
			MANUFACTURER MODEL#	SIZE W x H	TYPE	MATERIAL	FINISH	JAMB MATERIAL	FRAME FINISH	JAMB SIZE	TYPE	
FAMILY ROOM	101	A	440 STYLE, WDGRN. TEXT. FIBERGLASS	32 x 80	ENTRY	FIBERGLASS	WHITE INT. / WALNUT EXT.	PAINT GRADE	PAINT	6-3/8"	LOCK / DEADBOLT	
FAMILY ROOM	101	B	DELUXE 389, HALF-LITE CMR	32 x 80	STORM	ALUMINUM	SNOW WHITE MIST	ALUMINUM	SNOW WHITE MIST	--	KEYED	

WINDOW SCHEDULE																			
ROOM NAME	ROOM NUMBER	NUMBER	---- WINDOW ----					---- EXTERIOR FINISH ----					---- INTERIOR FINISH ----					HARDWARE	NOTES
			MODEL	R.O. WIDTH	R.O. HEIGHT	HEAD HEIGHT	OPERATION	GLASS TYPE	SCREEN	MATERIAL	TRIM STYLE	FINISH	GRILLES	MATERIAL	FINISH	JAMB SIZE	INTERIOR CASING		
FAMILY ROOM	101	1	WINDGATE	2'-6"	4'-8"	6'-8"	DOUBLE HUNG	DBL. STRENGTH, LoE	FULL	VINYL	PER SPEC.	VINYL	--	VINYL	WHITE	4-9/16" (V.I.F.)	PAINT GRADE	DBL. LOCK, WHITE	INCLUDES JAMB EXT.
FAMILY ROOM	101	2	WINDGATE	3'-8 1/4"	4'-8"	6'-8"	PICTURE	DBL. STRENGTH, LoE	FULL	VINYL	PER SPEC.	WHITE	--	VINYL	WHITE	4-9/16" (V.I.F.)	PAINT GRADE	--	INCLUDES JAMB EXT.
FAMILY ROOM	101	3	WINDGATE	2'-6"	4'-8"	6'-8"	DOUBLE HUNG	DBL. STRENGTH, LoE	FULL	VINYL	PER SPEC.	VINYL	--	VINYL	WHITE	4-9/16" (V.I.F.)	PAINT GRADE	DBL. LOCK, WHITE	INCLUDES JAMB EXT.
FAMILY ROOM	101	4	WINDGATE	2'-6"	4'-8"	6'-8"	DOUBLE HUNG	DBL. STRENGTH, LoE	FULL	VINYL	PER SPEC.	VINYL	--	VINYL	WHITE	4-9/16" (V.I.F.)	PAINT GRADE	DBL. LOCK, WHITE	INCLUDES JAMB EXT.
FAMILY ROOM	101	5	WINDGATE	2'-6"	4'-8"	6'-8"	DOUBLE HUNG	DBL. STRENGTH, LoE	FULL	VINYL	PER SPEC.	VINYL	--	VINYL	WHITE	4-9/16" (V.I.F.)	PAINT GRADE	DBL. LOCK, WHITE	INCLUDES JAMB EXT.
FAMILY ROOM	101	6	WINDGATE	2'-9 1/4"	3'-2 1/2"	6'-8"	DOUBLE HUNG	DBL. STRENGTH, LoE	FULL	VINYL	PER SPEC.	VINYL	--	VINYL	WHITE	4-9/16" (V.I.F.)	PAINT GRADE	DBL. LOCK, WHITE	INCLUDES JAMB EXT.
FAMILY ROOM	101	7	WINDGATE	2'-9 1/4"	3'-2 1/2"	6'-8"	DOUBLE HUNG	DBL. STRENGTH, LoE	FULL	VINYL	PER SPEC.	VINYL	--	VINYL	WHITE	4-9/16" (V.I.F.)	PAINT GRADE	DBL. LOCK, WHITE	INCLUDES JAMB EXT.
FAMILY ROOM	101	8	WINDGATE	2'-10"	3'-3"	6'-8"	DOUBLE HUNG	DBL. STRENGTH, LoE	FULL	VINYL	PER SPEC.	VINYL	--	VINYL	WHITE	4-9/16" (V.I.F.)	PAINT GRADE	DBL. LOCK, WHITE	INCLUDES JAMB EXT.
FAMILY ROOM	101	9	WINDGATE	2'-10"	3'-3"	6'-8"	DOUBLE HUNG	DBL. STRENGTH, LoE	FULL	VINYL	PER SPEC.	VINYL	--	VINYL	WHITE	4-9/16" (V.I.F.)	PAINT GRADE	DBL. LOCK, WHITE	INCLUDES JAMB EXT.
KITCHEN	102	1	WINDGATE	2'-5"	3'-3"	6'-8"	DOUBLE HUNG	DBL. STRENGTH, LoE	FULL	VINYL	PER SPEC.	VINYL	--	VINYL	WHITE	4-9/16" (V.I.F.)	PAINT GRADE	DBL. LOCK, WHITE	INCLUDES JAMB EXT.
KITCHEN	102	2	WINDGATE	2'-5"	3'-3"	6'-8"	DOUBLE HUNG	DBL. STRENGTH, LoE	FULL	VINYL	PER SPEC.	VINYL	--	VINYL	WHITE	4-9/16" (V.I.F.)	PAINT GRADE	DBL. LOCK, WHITE	INCLUDES JAMB EXT.

3

LEAGUE KITCHEN REMODEL
8321 N. WHITNEY ROAD
FOX POINT, WI 53217

REVISIONS

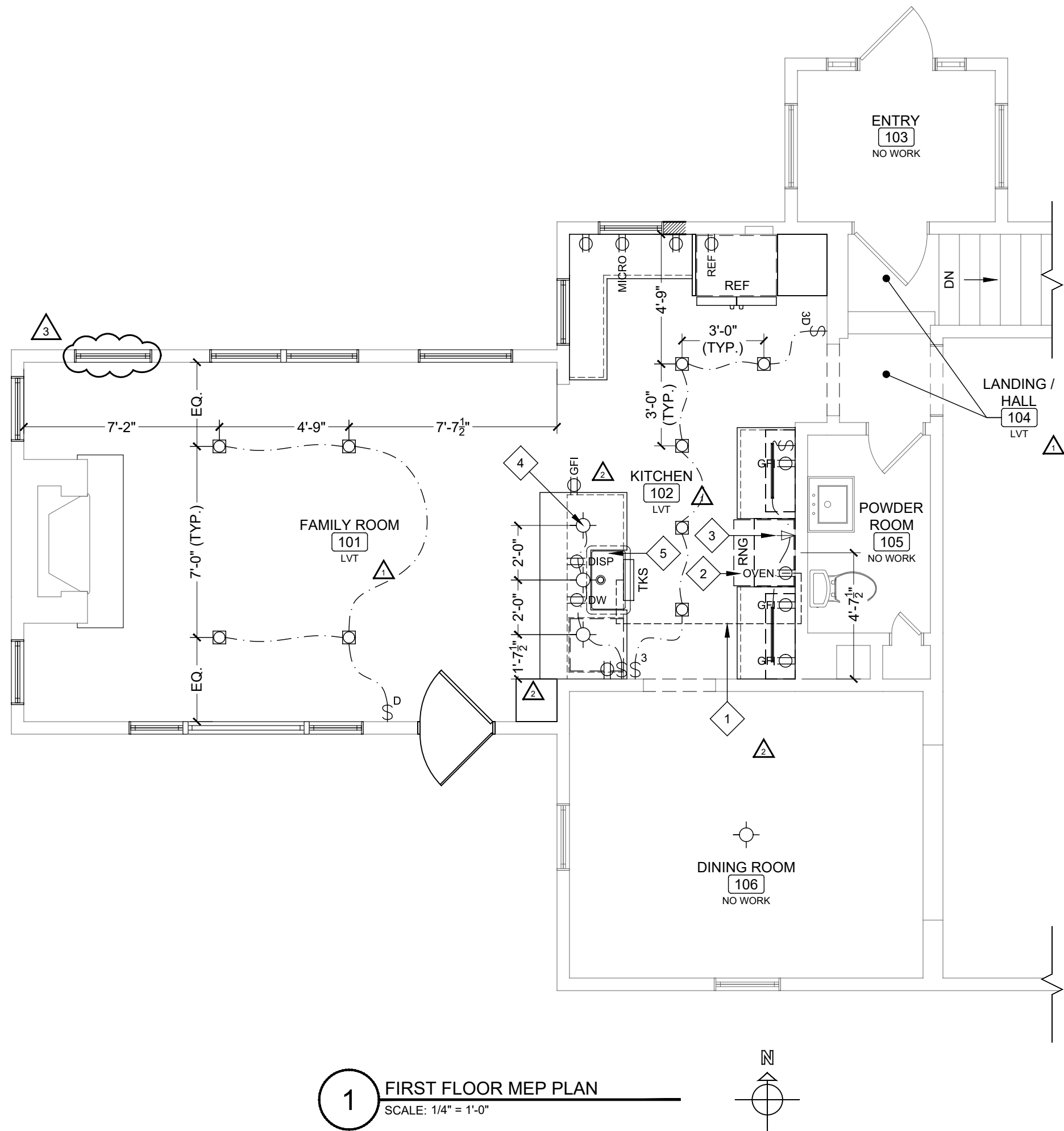
	PRODUCTION UPDATES	08.25.21
	PROJECT UPDATES	08.31.21

DRAWING TITLE

SCHEDULES

DRAWING NUMBER

A8.0



1 FIRST FLOOR MEP PLAN
SCALE: 1/4" = 1'-0"

- GENERAL MECHANICAL NOTES:**
- SEE A6.0 AND A6.1 FOR DETAILS AND ELEVATIONS
 - 1 REROUTE EXISTING WALL SUPPLY & DUCT TO NEW TOEKICK SUPPLY LOCATION PER PLAN. SEE DEMO KEYNOTE #6.
 - 2 PROVIDE POWER TO RECIRCULATING RANGE HOOD.
 - 3 PROVIDE CONNECTION FROM EXISTING GAS LINE TO NEW RANGE.
 - 4 (3) DECORATIVE PENDANT FIXTURES TO BE CENTERED ON PENINSULA.
 - 5 JUNCTION BOXES FOR DISHWASHER AND DISPOSER TO BE LOCATED IN SINK CABINET WHERE SPACE IS AVAILABLE.

ELECTRICAL SYMBOLS KEY

	DECORATIVE LIGHT FIXTURE, CEILING MOUNTED		ELECTRICAL OUTLET - DUPLEX		WALL SWITCH
	DECORATIVE LIGHT FIXTURE, WALL MOUNTED		ELECTRICAL OUTLET - QUAD		3 - WAY SWITCH
	5" LED RECESSED LIGHT FIXTURE (CAN LIGHT)		GROUND FAULT CIRCUIT INTERRUPTED		4 - WAY SWITCH
	WALL WASH CAN LIGHT		DUPLEX OUTLET WITH (2) USB PORTS		DIMMER SWITCH
	KEYLESS WHITE FIXTURE		240 VOLT CIRCUIT OUTLET		UNDER CABINET LIGHTING SWITCH
	PULL CHAIN LIGHT FIXTURE		WEATHER PROOF EXTERIOR OUTLET		DATA CABLE JACK
	CEILING MOUNTED EXHAUST FAN		CEILING OUTLET		TELEPHONE JACK
	CEILING MOUNTED EXHAUST FAN / LIGHT FIXTURE		FLOOR OUTLET (BRASS)		CABLE JACK
	UNDER CABINET LIGHTING (LED)		SMOKE DETECTOR		SPEAKER JACK

HVAC LEGEND

SYMBOL	TYPE	DEFINITION	SIZE	COLOR
	FLOOR SUPPLY	WOOD	4 x 10	MATCH HARDWOOD SPECIES
	FLOOR RETURN	WOOD	4 x 10	MATCH HARDWOOD SPECIES
	WALL SUPPLY	PREFINISHED STEEL	6 x 12	WHITE
	WALL RETURN	PREFINISHED STEEL	6 x 12	WHITE
	TOEKICK SUPPLY	PREFINISHED STEEL	6 x 12	WHITE
	CEILING SUPPLY	PREFINISHED STEEL	6 x 12	WHITE
	CEILING RETURN	PREFINISHED STEEL	6 x 12	WHITE
	CEILING SUPPLY	PREFINISHED STEEL	6	WHITE
	CEILING RETURN	PREFINISHED STEEL	6	WHITE
	THERMOSTAT			WHITE

REVISIONS

	CONSTRUCTION DOCUMENTS	08.02.21
	PRODUCTION UPDATES	08.25.21
	PROJECT UPDATES	08.31.21

DRAWING TITLE

FIRST FLOOR MEP PLAN

DRAWING NUMBER

MEP2.1



VILLAGE OF FOX POINT BUILDING BOARD APPLICATION

Building Board typically meets on the second Wednesday of every month at 5:00 p.m. The application deadline is 12 p.m. on the Friday prior. All applications must be complete and include the proper filling fee.

Examples of projects that must appear before the Building Board: New Construction, Additions, Exterior Improvements, Detached Garage, Decks, Sheds ≥ 100 sq. ft., Window Replacement, New Doors, Patio Doors, Pools, Signs and Solar Systems.

Complete Building Board Applications must include:

3 sets of drawings to 1/4 inch scale on 24" x 36" maximum size sheets. These shall include all elevations, floor plans, foundation plan, and cross sections.

- *Elevation Drawings* shall include all proposed elevations of the building, even if changes to the elevation are not proposed. This is to ensure consistency of all elevations. In cases where a building element may be skewed from another, it may be necessary to draw more than the four primary elevations of the building to clearly explain the intent of the design. All building elevations must be fully dimensioned to indicate heights above grade for all components. If the project is a building addition or remodeling, the original structure should be clearly illustrated as new building versus existing structure. The complete existing elevation should be shown in all cases of additions and remodeling. All building materials must be identified and noted on each elevation drawing. This is to include, but not limited to, type and size of siding, type and size of masonry, window type size and material, roofing material, fascia, rakes, soffits, eaves, and flashing materials. It is recommended to bring material samples and colors.
- *Dimensioned floor plans* shall include all floor plans of the proposed building. Each plan must include complete dimensions, and include room names for each space. In the case of an addition, each room shall be tagged either existing or new. In the case where there is a detached garage, a separate plan, fully dimensioned, for the garage must be included.

3 sets of color photos that includes all elevations of existing home and any accessory structures on the property.

3 sets of survey less than one year old OR accurately showing all buildings. This must include all property lines with distances bearings, North arrow, exact location of all existing and proposed buildings, parking areas, drives, public improvements, easements, and other key features of the site. Show distances from front, rear and side property lines.

Electronic copy of building plans emailed to mrakow@villageoffoxpoint.com.

Site plan including a North arrow and dimensions. This document must include all property lines, utility, and access easements, zoning setbacks, grades at one foot intervals, exact location of all existing and proposed buildings or additions including roof overhangs, all hard surfaced areas (parking areas, drives, patios, sidewalks, etc.), swimming pools, and other accessory structures.

Open area calculation required for New Construction, Additions, and Accessory Structures.

Existing and proposed grades submitted to engineering before building board meeting.

Completed building permit application.

Building board fee of \$75.00 paid to the Village of Fox Point.

A REPRESENTATIVE MUST ATTEND BUILDING BOARD MEETING.



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

OFFICE USE ONLY
Issuance Date
Zoning

BUILDING PERMIT

Job Address	Building Type: Residential - Commercial
Description of Work	
Estimated Cost of Project \$	

Owner/Occupant	
Name	Business Name
Address	City/State/Zip
Phone	Email

Cautionary Statement required when homeowner is applying for permit

Contractor	
Company Name	Contractor Name
Address	City/State/Zip
Phone	Email
Dwelling Contractor #	Dwelling Contractor Qualifier #

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$9.50	
Building Board	\$75.00	
Footing early start - \$210.00 one and two family; \$280.00 commercial		
Plan Review - \$250.00 one and two family; New Construction \$300.00 plus \$27.00/unit commercial; New Construction		
State Seal	\$65.00	
Razing, Interior Demolition \$85.00 minimum plus	\$0.12/sqft	
Moving buildings over public ways \$230.00 plus	\$0.12/sqft	
Fuel tanks - Per 1,000 gallons	\$24.00	
Re-inspection	\$100.00	
Work started without permit Double Fee		
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$

Applicant Signature _____ **Date** _____

Rev 0619

ISSUED PERMITS are available on the Village website under
Services > Permits, Applications, & Licenses > Issued Permits & Licenses > Fox Point GIS.

**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:B**OFFICE USE ONLY**

Issuance Date _____

Zoning _____

BUILDING PERMIT

#31909

Job Address 8049 N Poplar Drive	Building Type: Residential - Commercial
Description of Work Siding Replacement	
Estimated Cost of Project \$11,346	

Owner/Occupant	
Name Jill & Chris Maertz	Business Name
Address 8049 N Poplar Drive	City/State/Zip Fox Point, WI 53217
Phone 414-840-1710	Email chris.maertz@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Weather Tight Corp	Contractor Name Tod Colbert
Address 11400 W Oklahoma Ave	City/State/Zip West Allis, WI 53227
Phone 414-459-3888	Email asimpson@weathertightcorp.com
Dwelling Contractor # 267342 ✓	Dwelling Contractor Qualifier # 267349 ✓

Square Footage Under Construction

1st Floor	2nd Floor	Basement	Addition	Garage
-----------------------------	-----------------------------	-----------------	-----------------	---------------

Description	Rate	Amount
Project-Per \$1,000 of estimated cost of job	\$9.50	105.89
Building Board	\$75.00	75.00
Razing Buildings	\$80.00 minimum plus \$0.10/sqft	
Re-inspection Fee	\$100.00	
Work started without permit Double Fee		
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$

Applicant Signature

Rev 12/18

Date 8/11/21**ISSUED PERMITS** are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 12.000033

Aug 18, 2021

8049 N Poplar Dr Building Permit

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PERMIT	105.89
24-44460 BUILDING PERMIT	

Total:	105.89
--------	--------

CHECK	Check No: 58679	105.89
-------	-----------------	--------

Payor: Weather Tight Corp

Total Applied:	105.89
----------------	--------

Change Tendered:	.00
------------------	-----

08/18/2021 8:16 AM

Homeowner Name and Job Number: Maertz 31909

Address: 8049 N. Poplar Dr.
Fox Point, WI 53217

Wall depth: 2x4

Number of stories of opening wall: none. single story addition

Describe Scope of work:

removing windows and entry door. reframing wall. Installing 8ft patio door.

Describe exterior finish details:

Aluminum trim covering brickmold or window highlight

Diamond Kote LP Trim

Composite or wood flat surround

Brick, stone or other masonry surround

Aluminum will cover cut edge of brick exterior



If cutting in new door opening or altering window opening to new door what is being done for exterior from bottom of door to exterior grade.

Step down for door is at grade or < 7" No further action.

Exterior has existing step or deck

Temporary step will be built

Homeowner is building deck

Door will be rendered inoperable with mechanical fastener.

Other _____

For building department after reviewing scope of work is their any additional work needed not indicated that will be required to pass inspection including utilities (HVAC, electrical, plumbing, etc.) that will be added or moved?

Homeowner removing plumbing and electrical running through wall prior to our work.

Attach "Before" Pictures for City

