

NOTICE OF MEETING  
VILLAGE OF FOX POINT  
BUILDING BOARD

Schwemer Hall  
7200 North Santa Monica Blvd.  
Fox Point, WI 53217

Wednesday  
October 13, 2021  
5:00 P.M.

**Join Zoom Meeting**

<https://us02web.zoom.us/j/82838267517>

**Meeting ID: 828 3826 7517**

**Dial by your location: 312.626.6799**

**AGENDA**

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the September 8, 2021 Building Board meeting.
3. Renee Kirchner, 7250 N Beach Rd, proposed raze detached garage, build new garage, move framed shed, and build pergola.
4. Phonso Smith, 7623 N Fairchild Rd, proposed window addition and patio door.
5. Ralph Bultman, 7710 N Van Dyke Rd, proposed egress window.
6. Tan Lo, 7736 N Beach Dr, proposed stone columns at driveway/entrance gate.
7. Greg Scalzo, 420 E Apple Tree Rd, proposed replace window with patio door.
8. David Turim, 8730 N Seneca Ct, proposed sunroom addition.
9. Carl Valimont, 1461 E Goodrich Ln, proposed raze existing garage and build new garage.
10. Adjourn.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT  
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, September 8, 2021, at 5:00 pm. Those present included:

Justin Racinowski  
Jeff Weber  
Kristin Dufek  
Lori Rosenthal  
William Feldman  
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

**MINUTES**

Motion was made by Kristin Dufek to approve the minutes from August 19, 2021. Motion was seconded by Jeff Weber. Motion Passed.

**AGENDA**

- **Ken Masur, 7829 N Regent Rd, resubmittal of proposed detached garage.** It was the consensus of the Building Board to approve as submitted.
- **Trygve Hansen, 8329 N Whitney Rd, proposed freestanding deck.** It was the consensus of the Building Board to approve as submitted subject to handrail and guard to be code compliant.
- **Brian League, 8321 N Whitney Rd, proposed amended addition.** It was the consensus of the Building Board to approve as submitted.
- **Chris Maertz, 8049 N Poplar Dr, proposed patio door and siding.** It was the consensus of the Building Board to approve as submitted.

**ADJOURN**

Motion to adjourn Building Board was made by Jeff Weber. Motion seconded by Kristin Dufek. Motion Passed. Building Board adjourned at 5:18 pm.

Respectfully Submitted,



Michael Rakow  
Building Inspector  
Village of Fox Point



VILLAGE OF FOX POINT  
7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 247-6622  
www.villageoffoxpoint.com

Permit Number:

B-\_\_\_\_\_

OFFICE USE ONLY

Issued Date

Zoning A1, 30

BUILDING PERMIT

|                                                                                                                 |                                                |
|-----------------------------------------------------------------------------------------------------------------|------------------------------------------------|
| Job Address <u>7250 N. Beach Rd</u>                                                                             | Building Type: <u>Residential</u> - Commercial |
| Description of Work<br><u>Raze detached Garage, Build new Garage, Move Framed shed,</u><br><u>build pergola</u> |                                                |
| Estimated Cost of Project \$ <u>100,000</u>                                                                     |                                                |

|                                     |                                 |
|-------------------------------------|---------------------------------|
| Owner/Occupant                      |                                 |
| Business Name <u>Renee Kirchner</u> | Contact Name                    |
| Address <u>7250 N. Beach Rd.</u>    | City/State/Zip <u>Fox Point</u> |
| Phone <u>414-364-6292</u>           | Email                           |

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

|                                           |                                                 |
|-------------------------------------------|-------------------------------------------------|
| Contractor                                |                                                 |
| Company Name <u>Energy Save Solutions</u> | Contact Name <u>Ken Erdmann</u>                 |
| Address <u>P.O. Box 648</u>               | City/State/Zip                                  |
| Phone                                     | Email <u>Ken@energysave.com</u>                 |
| Dwelling Contractor # <u>DC-041800103</u> | Dwelling Contractor Qualifier # <u>41800102</u> |

| Square Footage Under Construction |                       |          |                            |
|-----------------------------------|-----------------------|----------|----------------------------|
| 1 <sup>st</sup> Floor <u>440</u>  | 2 <sup>nd</sup> Floor | Basement | Addition <u>Garage 608</u> |

| Description                                                                                                        | Rate             | Amount             |
|--------------------------------------------------------------------------------------------------------------------|------------------|--------------------|
| Project - Per \$1,000 of estimated cost <u>x 100</u>                                                               | \$9.50           | <u>950.00</u>      |
| Building Board                                                                                                     | \$75.00          | <u>75.00</u>       |
| Footing early start - \$210.00 one and two family; \$280.00 commercial                                             |                  |                    |
| Plan Review - \$250.00 one and two family; New Single Family Construction<br>\$300.00 plus \$27.00/unit commercial |                  |                    |
| State Seal                                                                                                         | \$65.00          |                    |
| Razing, Interior Demolition \$85.00 minimum plus                                                                   | \$0.12/sqft      | <u>129.00</u>      |
| Moving buildings over public ways \$230.00 plus                                                                    | \$0.12/sqft      |                    |
| Fuel tanks - Per 1,000 gallons                                                                                     | \$24.00          |                    |
| Re-inspection                                                                                                      | \$100.00         |                    |
| Other                                                                                                              |                  |                    |
| Work started without permit <b>Double Fee</b>                                                                      |                  |                    |
| <b>Minimum Fee</b>                                                                                                 |                  | <b>\$70.00</b>     |
| Payable to: Village of Fox Point                                                                                   | Total Permit Fee | \$ <u>1,154.00</u> |

Applicant Signature 10/4/21 Date 10/4/21

Rev 01/21

**ISSUED PERMITS are available on the Village website under PERMITS & LICENSES**

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 1.056607

Sep 7, 2021

7250 N Beach Dr

|                                                  |       |
|--------------------------------------------------|-------|
| Previous Balance:                                | .00   |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00 |
| 24-44440 BUILDING PLANS-FILING FEE               |       |
| <hr/>                                            |       |
| Total:                                           | 75.00 |
| <hr/>                                            |       |
| CASH                                             | 75.00 |
| Payor: Energy Save Solutions                     |       |
| Total Applied:                                   | 75.00 |
| <hr/>                                            |       |
| Change Tendered:                                 | .00   |
| <hr/>                                            |       |

Duplicate Copy

09/07/2021 9:52 AM

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 1.056487

Aug 2, 2021

7250 N Beach Dr

|                                                  |        |
|--------------------------------------------------|--------|
| Previous Balance:                                | .00    |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00  |
| 24-44440 BUILDING PLANS-FILING FEE               |        |
| LICENSES & PERMITS - BUILDING PERMIT             | 76.00  |
| 24-44460 BUILDING PERMIT                         |        |
| <hr/>                                            |        |
| Total:                                           | 151.00 |
| <hr/>                                            |        |
| CASH                                             | 151.00 |
| Payor: Ken Evdmann                               |        |
| Total Applied:                                   | 151.00 |
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| Change Tendered:                                 | .00    |
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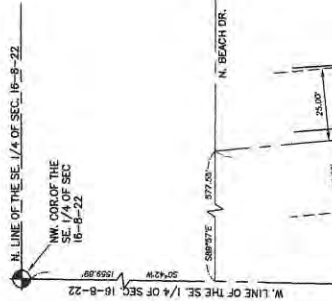
**PARCEL 1:** All that part of the Southeast Fractional 1/4 of Section 16; in Township 8 North, Range 22 East, in the Village of Fox Point, County of Milwaukee and State of Wisconsin, described as follows, to-wit: Commencing at a point on the West line of the East Ward solid intersection being 950.89 feet South 0°42' West of and 577.55 feet South 89°57' East of the center of said Section; thence South 53°31' East along the centerline of said road 253.90 feet; thence North 84°27' East, 25 feet to the East line of said road; thence South 64°23' East, 72.86 feet; thence South 70°08' East, 90.00 feet to a point; running thence North 84°27' East 253.90 feet to a point; thence South 70°08' East 26.70 feet to a point; thence North 84°27' East 25.31 feet, 55.34 feet to a point; thence South 70°08' East 46.82 feet to a point; thence North 84°27' East 259.20 feet to a point; thence North 53°31' East 46.82 feet to the point of commencement; thence North 53°31' East 46.82 feet to the point of commencement.

PAGE 12: All that part of the Southeast Fractional 1/4 of Section 16, in Township 6 North, Range 22 East, in the Village of Argyle, that part of the commencing at a point on the East line of the East West Road, 25 feet to a point (which point of commencement is described as follows: Starting at the intersection of this section with the North and South road and the center line of an East West Road, said intersection being 1559.89 feet South of the center line of said road, 57 feet East of the center line of said road, 25 feet to a point; thence South 84°27' West, 25 feet to a point; thence South 70°08' East, 90.80 feet to a point; thence North 5°31' West, 10.96 feet to a point; thence North 70°08' East, 90.80 feet to a point; thence North 84°27' West, 25 feet to a point; thence North 5°31' West, 35.8 feet to a point; thence North 84°27' West, 25 feet to a point; thence South 84°27' West, 289.02 feet to the place of commencement.

Said Parcels containing 23,889.3 sq. ft./0.548 acres of land, more or less.

<sup>8</sup>"Easement for the benefit of Parcel A created by deed from Amelia Roberts to R.J. Williford, dated December 5<sup>th</sup>, 1921 and recorded on January 26, 1922 in Volume 922 of Deeds on Page 475; or Document No. 130080 and for the benefit of Parcel B as created by deed from Amelia Roberts to R.J. Williford, dated July 25, 1922 and recorded on August 7, 1922 in Volume 948 of Deeds, Page 84, as Document No. 160409, for the purpose of creating a right-of-way easement described as follows:

Commencing at the center line of the intersection of the center lines of a North and South road and the center line of an East West road, said intersection being 1539.88 feet South 0°42' East and 577.55 feet South 89°57' East of the center of said Section; thence South 331 Feet along the center line of said road, 253.90 feet to point; thence North 84°27' East 100 feet to point; thence South 84°27' East 100 feet to point; thence North 84°27' East 100 feet to point; thence South 54°23' East, 192.33 feet to point; thence North 25°47' East, 59.15 feet to point; thence North 84°27' East, 30 feet to point; thence South 53°31' East, 134.70 feet to point; thence North 70°08' West, 90.80 feet to point; thence North 53°31' East, 172.88 feet to a point of beginning."



**NOTES:**

1. SITE BENCHMARK ON NORTH UPPER FLANGE BOLT OF FIRE HYDRANT ADJACENT TO SUBJECT PROPERTY. ELEV. = 594.98
2. ( ) DENOTES BEARING OR DISTANCE PER DEED
3. ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF N. BEACH DR., WHICH BEARS S3°31'E, PER LEGAL DESCRIPTION OF PARCEL

I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements, roadways, and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from date hereof.

James G. Schneider  
Surveyor - S-2127

"PROPERTY SURVEY"

for  
Matthew Kirchner

7250 N. Beach Dr.  
Fox Point, WI

|             |                 |           |            |
|-------------|-----------------|-----------|------------|
| DATE:       | August 18, 2020 | DRAWN BY: | A.R.H.     |
| FIELD CREW: | E.A.J. & S.F.Z. | Plot No.  | LS-4795-20 |

**NORTH SHORE ENGINEERING, INC.**  
Consulting Engineers & Land Surveyors  
11423 N. Port Washington Rd., Mequon, Wisconsin, 53092  
(262) 241-9400 • FAX: (262) 241-9337  
www.northshore-engineering.com

**NEW**

THIS IS AN ORIGINAL PRINT  
AND WILL REMAIN IN THE

**VILLAGE OF FOX POINT  
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Thursday, August 19, 2021, at 5:00 pm. Those present included:

Justin Racinowski  
Jeff Weber  
Matt Amman-Absent  
Kristin Dufek  
Lori Rosenthal-Absent  
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

**MINUTES**

Motion was made by Kristin Dufek to approve the minutes from July 27, 2021. Motion was seconded by Jeff Weber. Motion Passed.

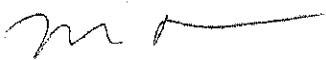
**AGENDA**

- **James Barton, 8057 N Links Way, proposed addition of three dormers to garage.** It was the consensus of the Building Board to approve as submitted.
- **Rachel Piper, 8320 N Santa Monica Blvd, proposed 10 X 14 shed.** It was the consensus of the Building Board to approve as submitted subject to show location on survey with proper setback.
- **Phonso Smith, 7623 N Fairchild Rd, proposed egress windows.** It was the consensus of the Building Board to approve as submitted.
- **David Grove, 7320 N Bridge Ln, proposed hot tub.** It was the consensus of the Building Board to approve as submitted.
- **Renee Kirchner, 7250 N Beach Dr, proposed garage and outbuilding.** It was the consensus of the Building Board to approve as submitted.
- **Ken Masur, 7829 N Regent Rd, proposed detached garage.** It was the consensus of the Building Board to table for resubmittal.

**ADJOURN**

Motion to adjourn Building Board was made by Jeff Weber. Motion seconded by Kristin Dufek. Motion Passed. Building Board adjourned at 5:53 pm.

Respectfully Submitted,



Michael Rakow  
Building Inspector  
Village of Fox Point

The following proposed project is located at 7250 N. Beach Rd., Fox Point, Wisconsin, consisting of main house, framed shed with porch, and detached garage.

The owners desire to:

- 1) Move the framed shed with porch new location.
- 2) Raze existing detached garage.
- 3) Build new detached garage with bathroom.
- 4) Build Pergola on Southwest corner of house.

The proposed detached garage on the property is in compliance with provisions set forth in §745-4(C)(1) allowing for a 1 detached garage, maintaining a front yard setback of 30 feet as required by §745-13(B)(2), a side yard setback of 20 feet as required by §745-13(B)(3), and provisions set forth in §756-36 (garages).

The proposed new placement of the framed shed and porch is in compliance with provisions set forth in §745-4(C)(3) allowing for a legal non-conforming structure to be moved to a new location on the property while maintaining setback provisions of the chapter.

The proposed placement maintains a front yard setback of 30 feet as required by §745-13(B)(2) and a side yard setback of 20 feet as required by §745-13(B)(3).

The building exterior (windows, siding, trim, soffit, and fascia) will match the existing principal structure (see pictures).

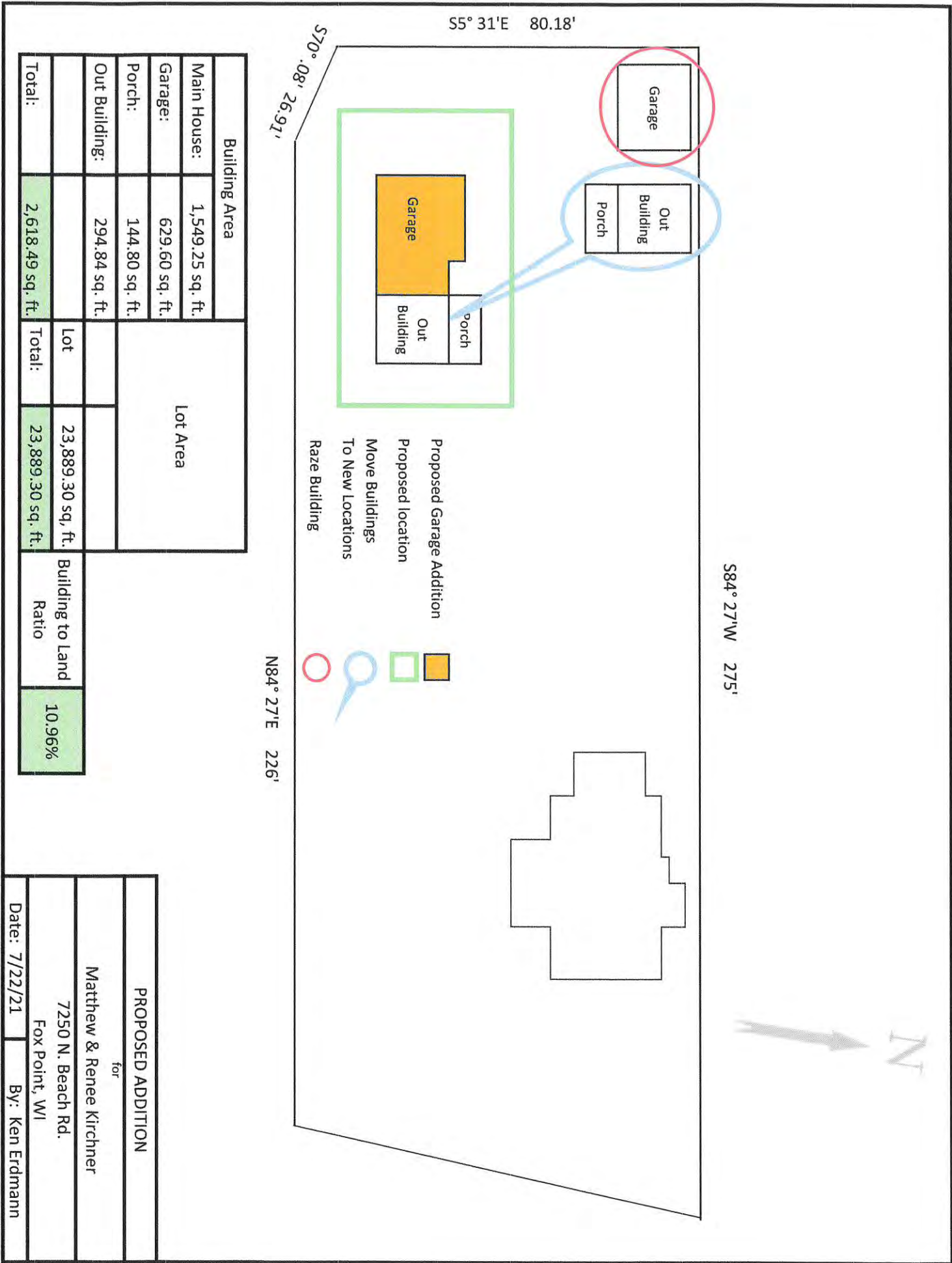
This project will allow the Owner's and guests to park off street and bring the structures, with new garage, in compliance with front and side yard setback provisions of the chapter.

The proposed Pergola on the property is in compliance with provisions set forth in §745-7(B)(3)(h) height and front yard setback and §745-13(B)(2) side yard setback.

## PROPOSED PROJECT

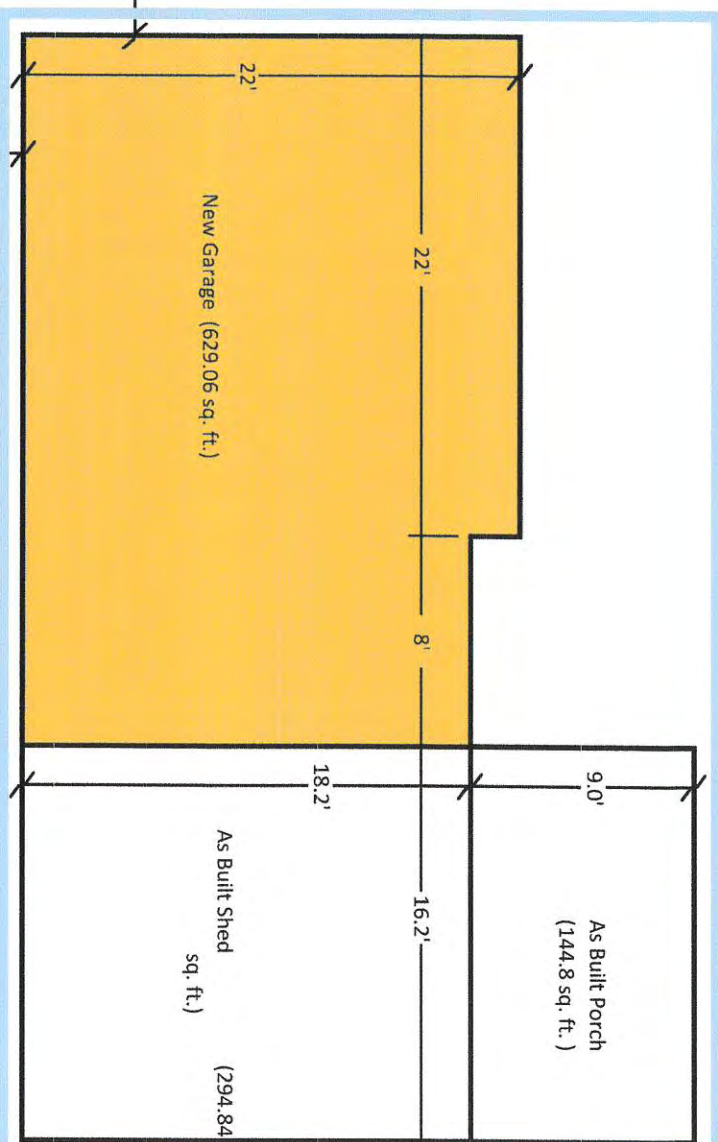
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| Building Area |                  | Lot Area          |        |
|---------------|------------------|-------------------|--------|
| Main House:   | 1,549.25 sq. ft. |                   |        |
| Garage:       | 629.60 sq. ft.   |                   |        |
| Porch:        | 144.80 sq. ft.   |                   |        |
| Out Building: | 294.84 sq. ft.   |                   |        |
| Total:        |                  | 23,889.30 sq. ft. | 10.96% |

|                          |                 |
|--------------------------|-----------------|
| PROPOSED ADDITION        |                 |
| for                      |                 |
| Matthew & Renee Kirchner |                 |
| 7250 N. Beach Rd.        |                 |
| Fox Point, WI            |                 |
| Date: 7/22/21            | By: Ken Erdmann |



S5° 31'E 80.18'

30.0'

S70° .08' 26.91'

20.0'

N84° 27'E 226'

PROPOSED ADDITION

for

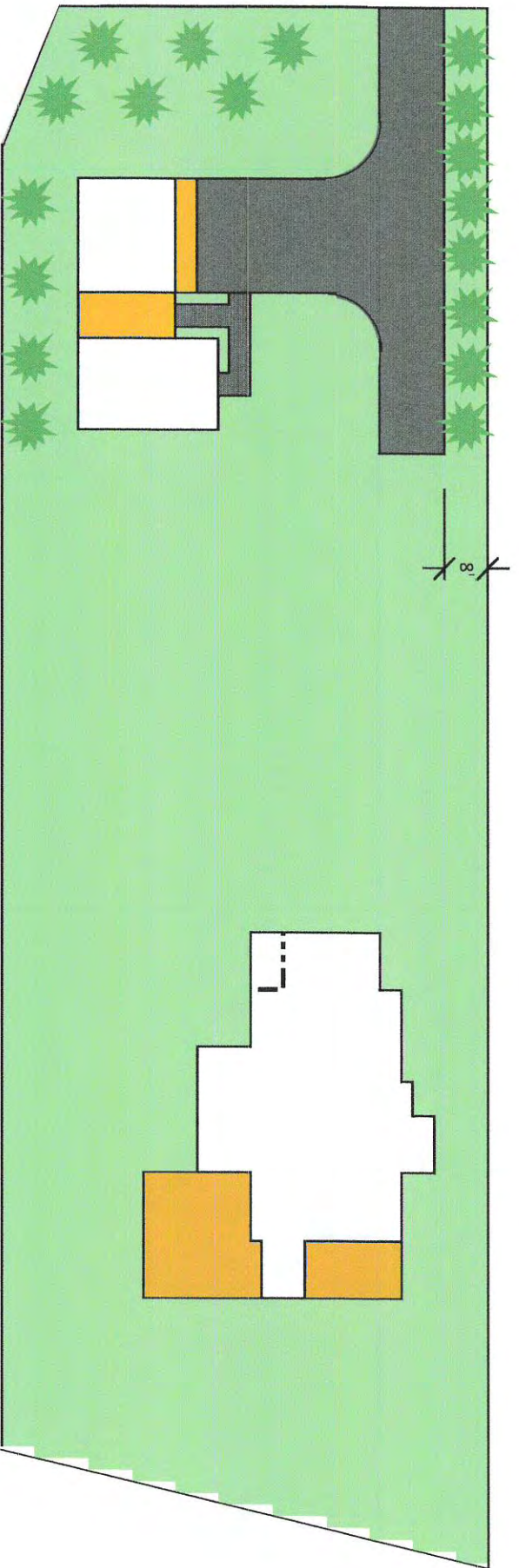
Matthew & Renee Kirchner

7250 N. Beach Rd.

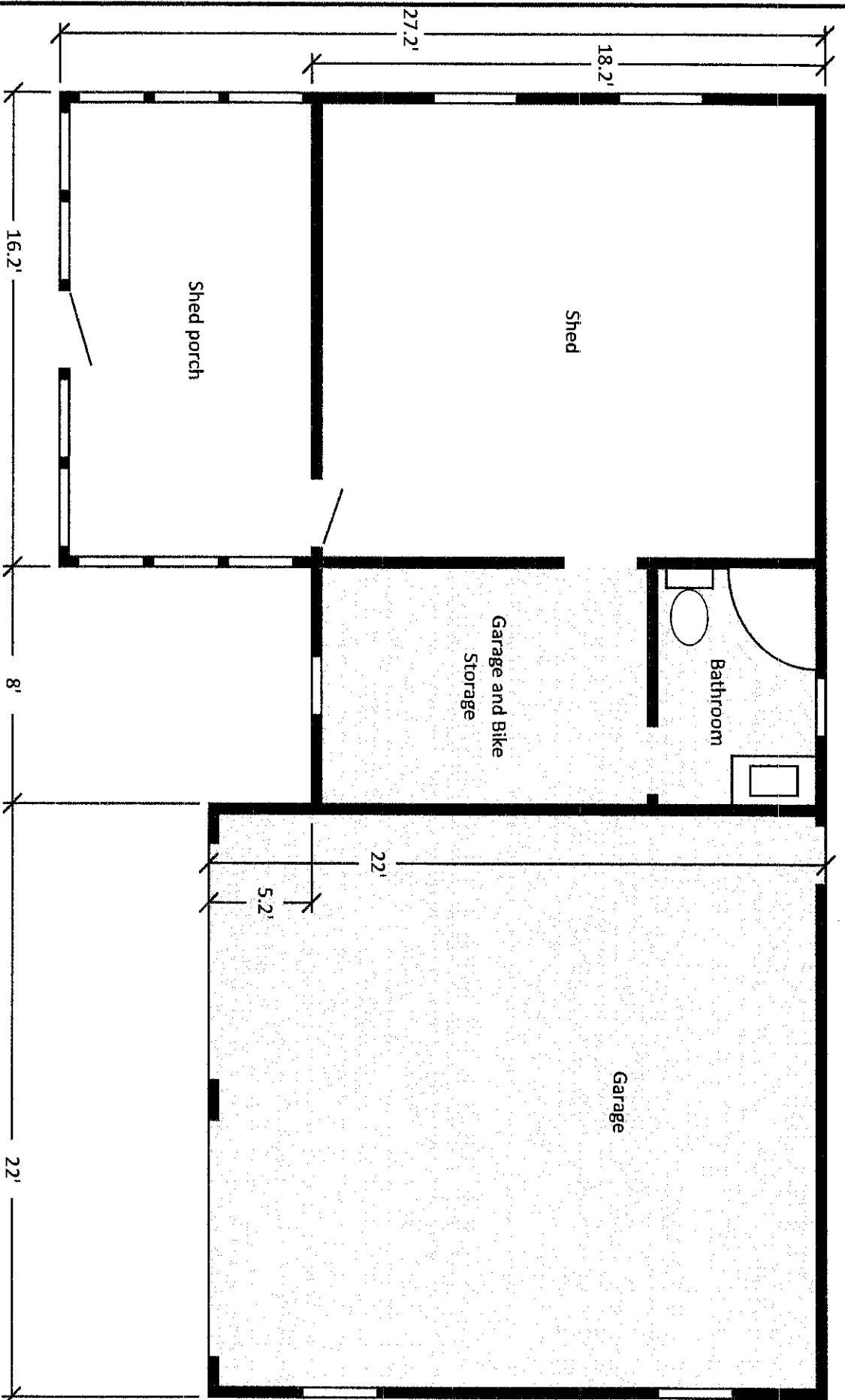
Fox Point, WI

Date: 7/22/21

By: Ken Erdmann



|                          |                 |
|--------------------------|-----------------|
| PROPOSED ADDITION        |                 |
| for                      |                 |
| Matthew & Renee Kirchner |                 |
| 7250 N. Beach Rd.        |                 |
| Fox Point, WI            |                 |
| Date: 7/22/21            | By: Ken Erdmann |



PROPOSED ADDITION

for

Matthew & Renee Kirchner

7250 N. Beach Rd.

Fox Point, WI

Date: 7/22/21

By: Ken Erdmann



North Elevation

PROPOSED ADDITION

for

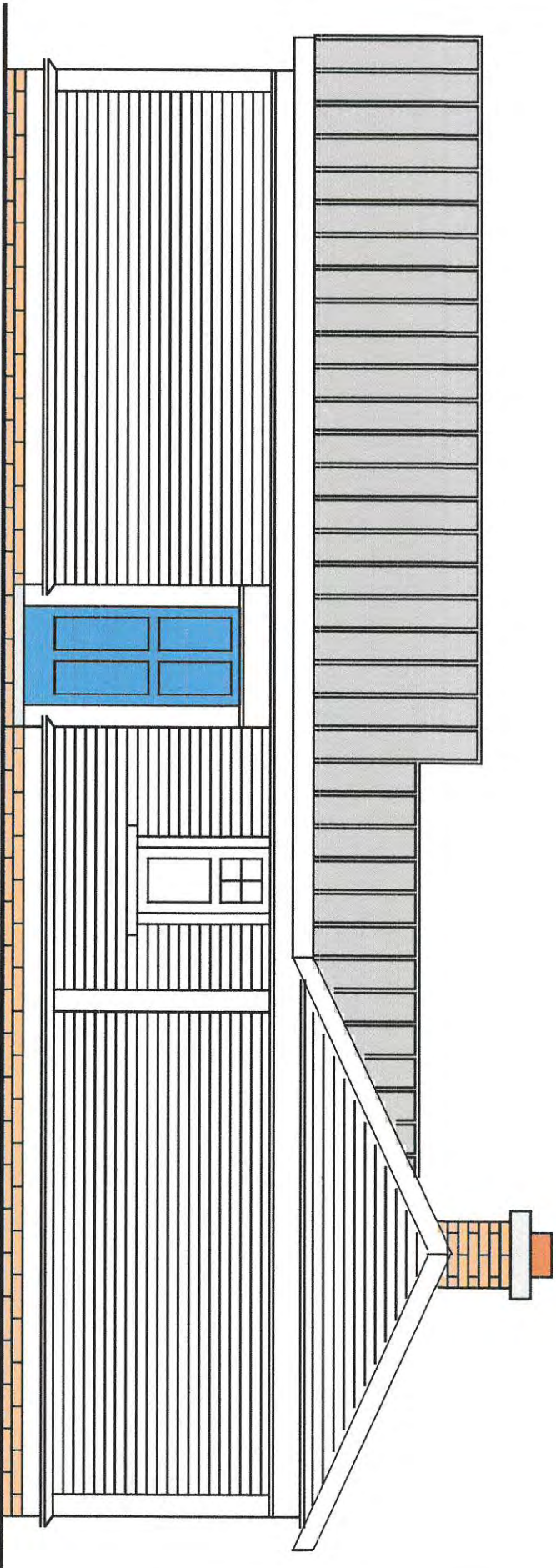
Matthew & Renee Kirchner

7250 N. Beach Rd.

Fox Point, WI

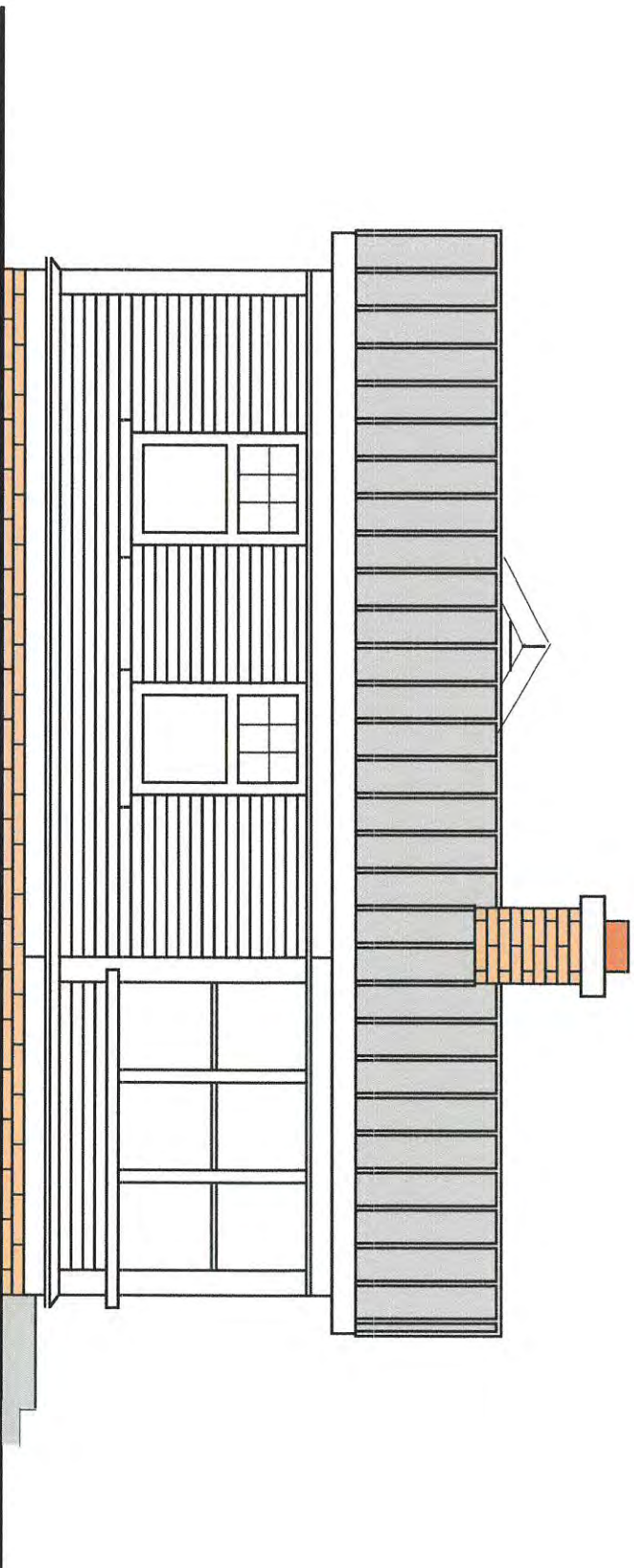
Date: 7/22/21

By: Ken Erdmann



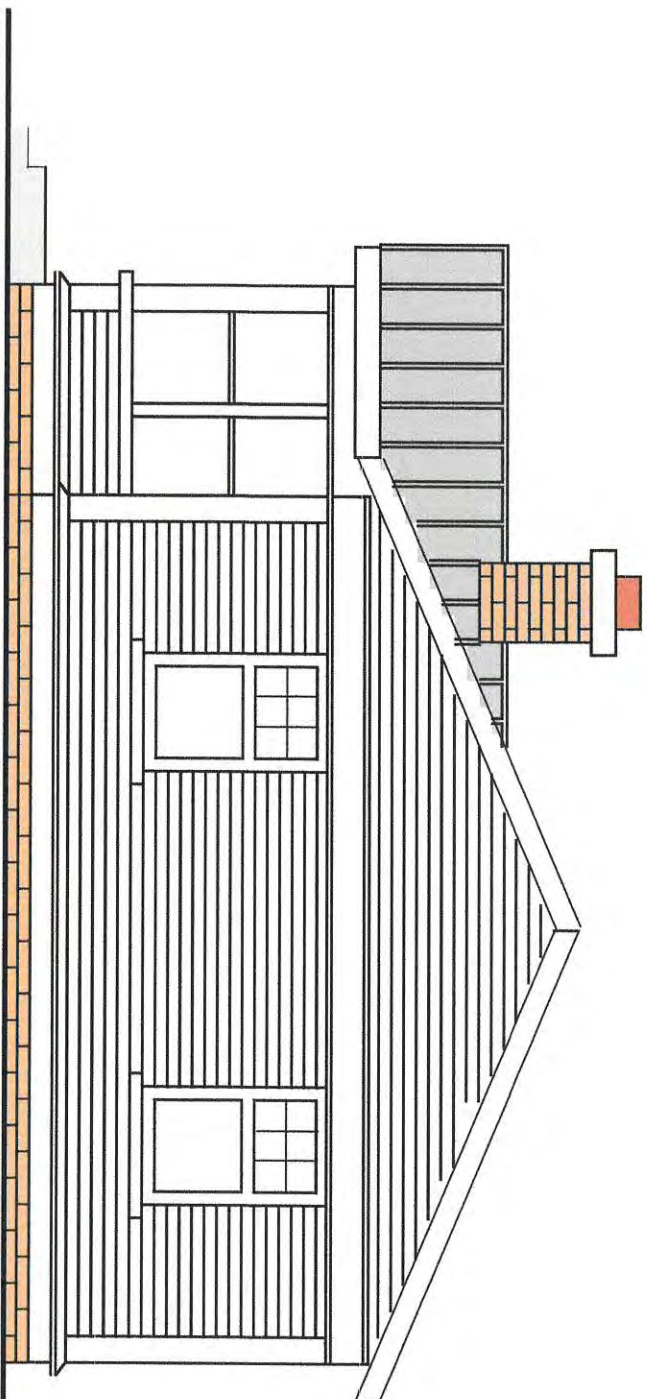
South Elevation

|                          |                 |
|--------------------------|-----------------|
| PROPOSED ADDITION        |                 |
| for                      |                 |
| Matthew & Renee Kirchner |                 |
| 7250 N. Beach Rd.        |                 |
| Fox Point, WI            |                 |
| Date: 7/22/21            | By: Ken Erdmann |



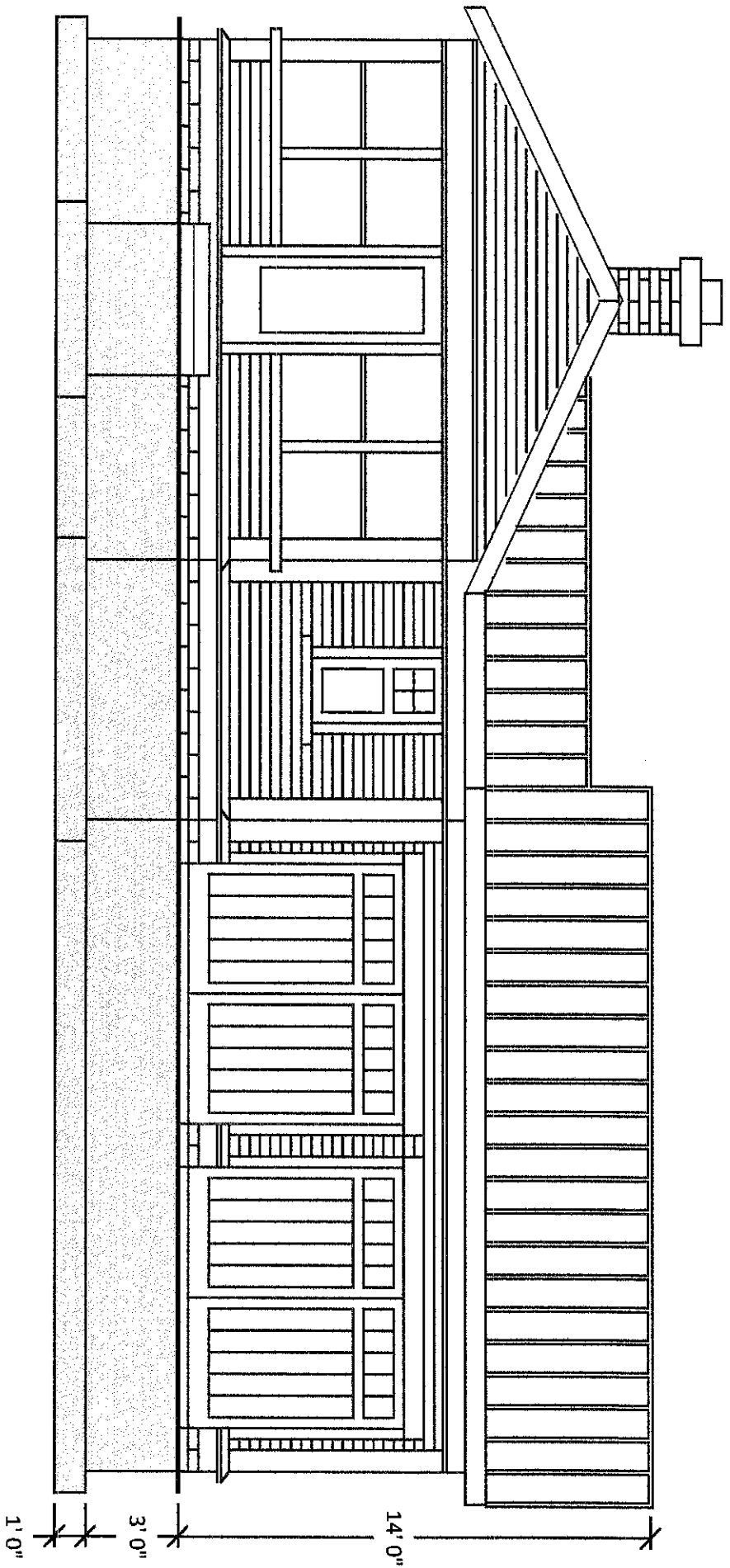
East Elevation

|                          |                 |
|--------------------------|-----------------|
| PROPOSED ADDITION        |                 |
| for                      |                 |
| Matthew & Renee Kirchner |                 |
| 7250 N. Beach Rd.        |                 |
| Fox Point, WI            |                 |
| Date: 7/22/21            | By: Ken Erdmann |



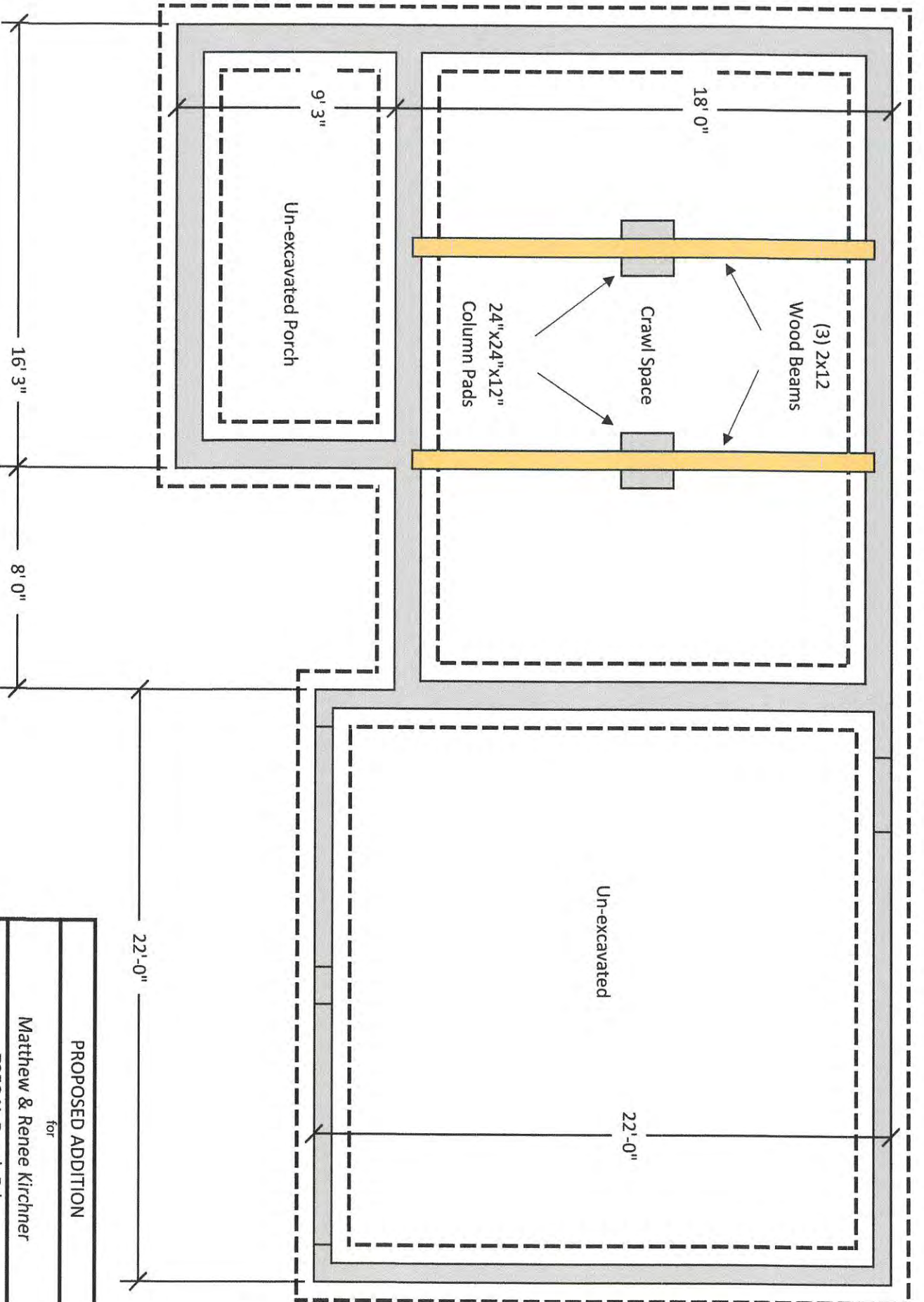
West Elevation

|                          |                 |
|--------------------------|-----------------|
| PROPOSED ADDITION        |                 |
| for                      |                 |
| Matthew & Renee Kirchner |                 |
| 7250 N. Beach Rd.        |                 |
| Fox Point, WI            |                 |
| Date: 7/22/21            | By: Ken Erdmann |



North Elevation

|                          |                 |
|--------------------------|-----------------|
| PROPOSED ADDITION        |                 |
| for                      |                 |
| Matthew & Renee Kirchner |                 |
| 7250 N. Beach Rd.        |                 |
| Fox Point, WI            |                 |
| Date: 7/22/21            | By: Ken Erdmann |



PROPOSED ADDITION

for

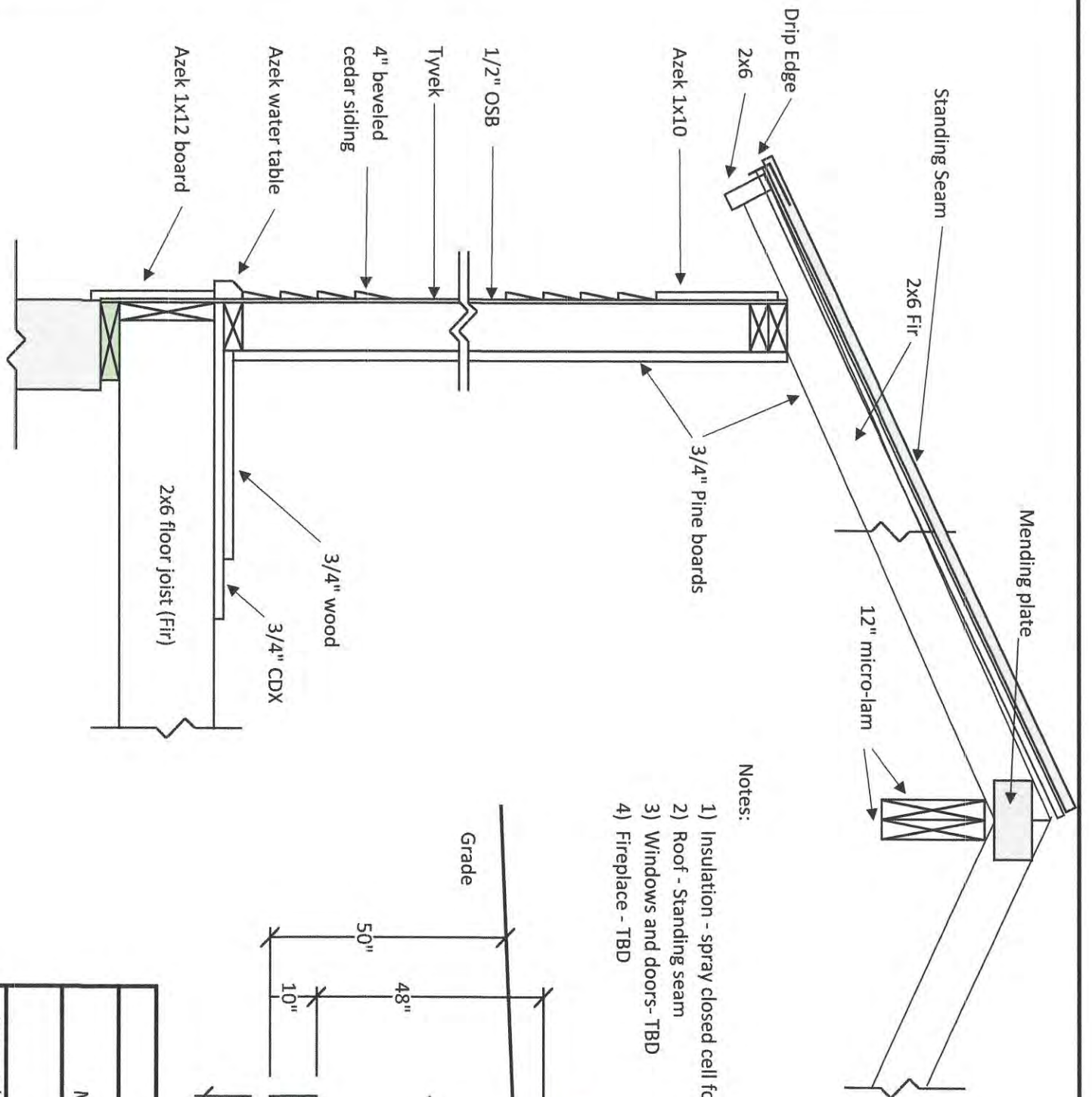
Matthew & Renee Kirchner

7250 N. Beach Rd.

Fox Point, WI

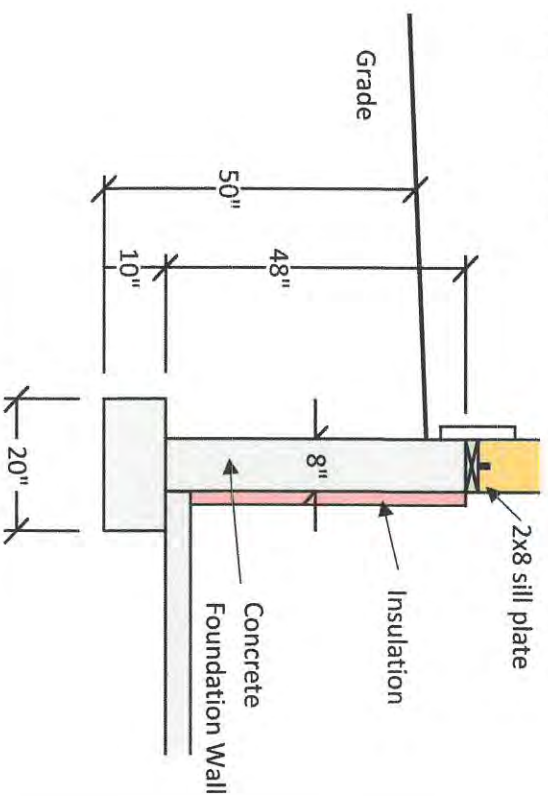
Date: 7/22/21

By: Ken Erdmann



Notes:

- 1) Insulation - spray closed cell foam
- 2) Roof - Standing seam
- 3) Windows and doors- TBD
- 4) Fireplace - TBD



PROPOSED ADDITION

for

Matthew & Renee Kirchner

7250 N. Beach Rd.

Fox Point, WI

Date: 7/22/21

By: Ken Erdmann

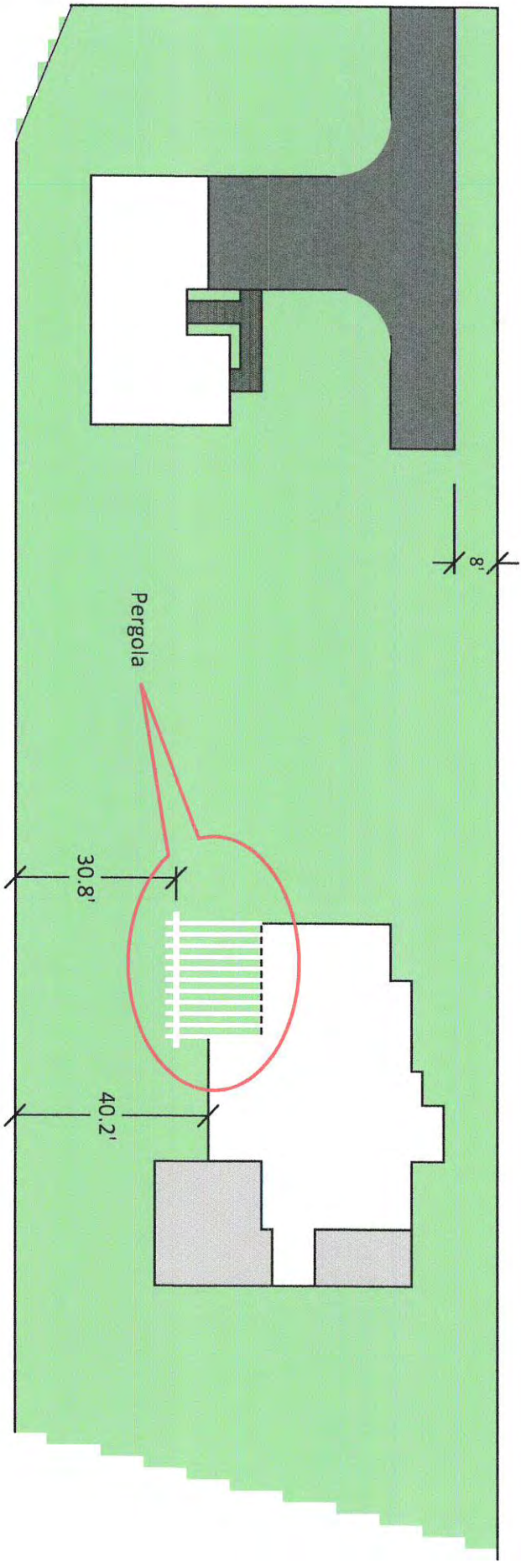








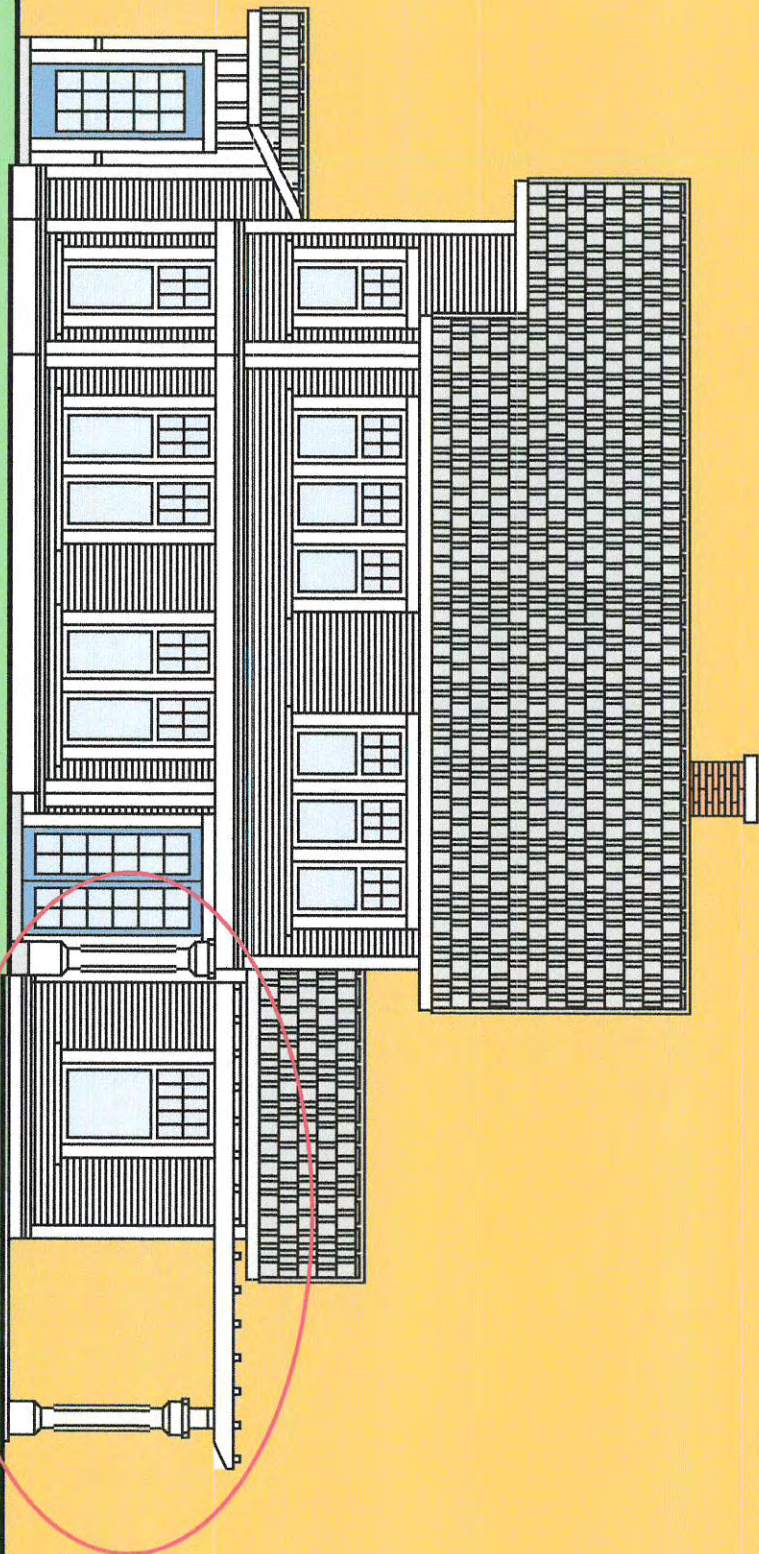




|                          |                 |
|--------------------------|-----------------|
| PROPOSED PERGOLA         |                 |
| for                      |                 |
| Matthew & Renee Kirchner |                 |
| 7250 N. Beach Rd.        |                 |
| Fox Point, WI            |                 |
| 9/1/2021                 | By: Ken Erdmann |

*West Elevation*

Pergola



PROPOSED PERGOLA

for

Matthew & Renee Kirchner

7250 N. Beach Rd.

Fox Point, WI

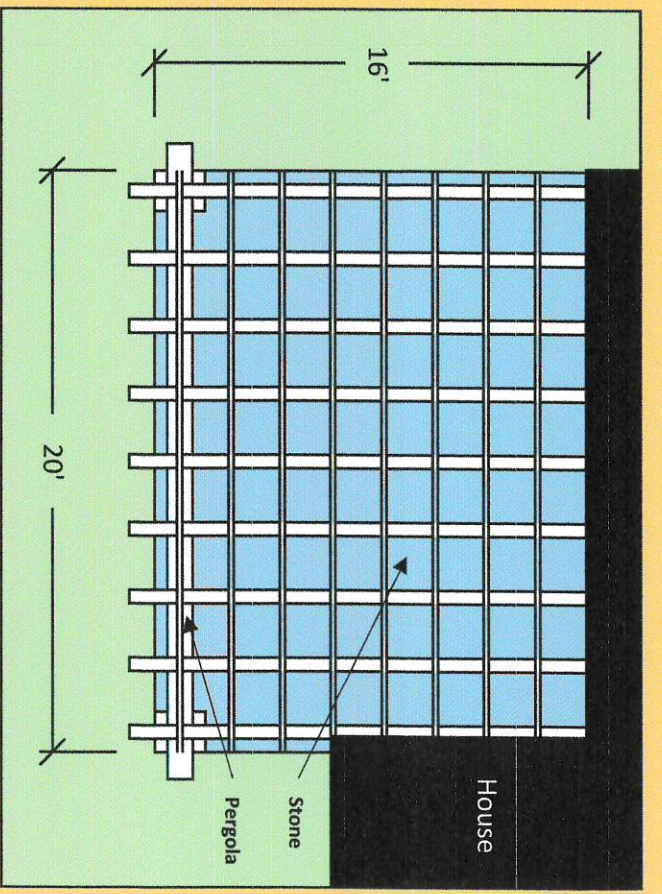
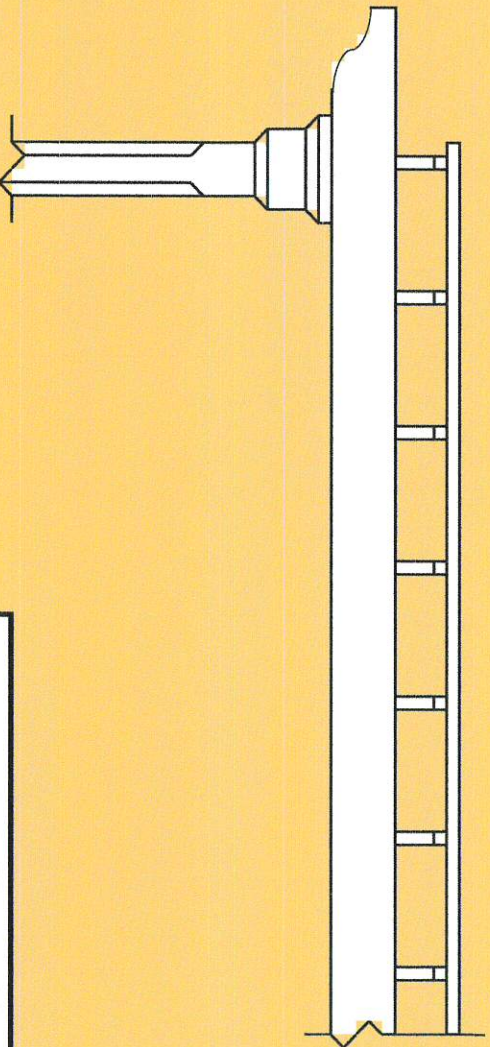
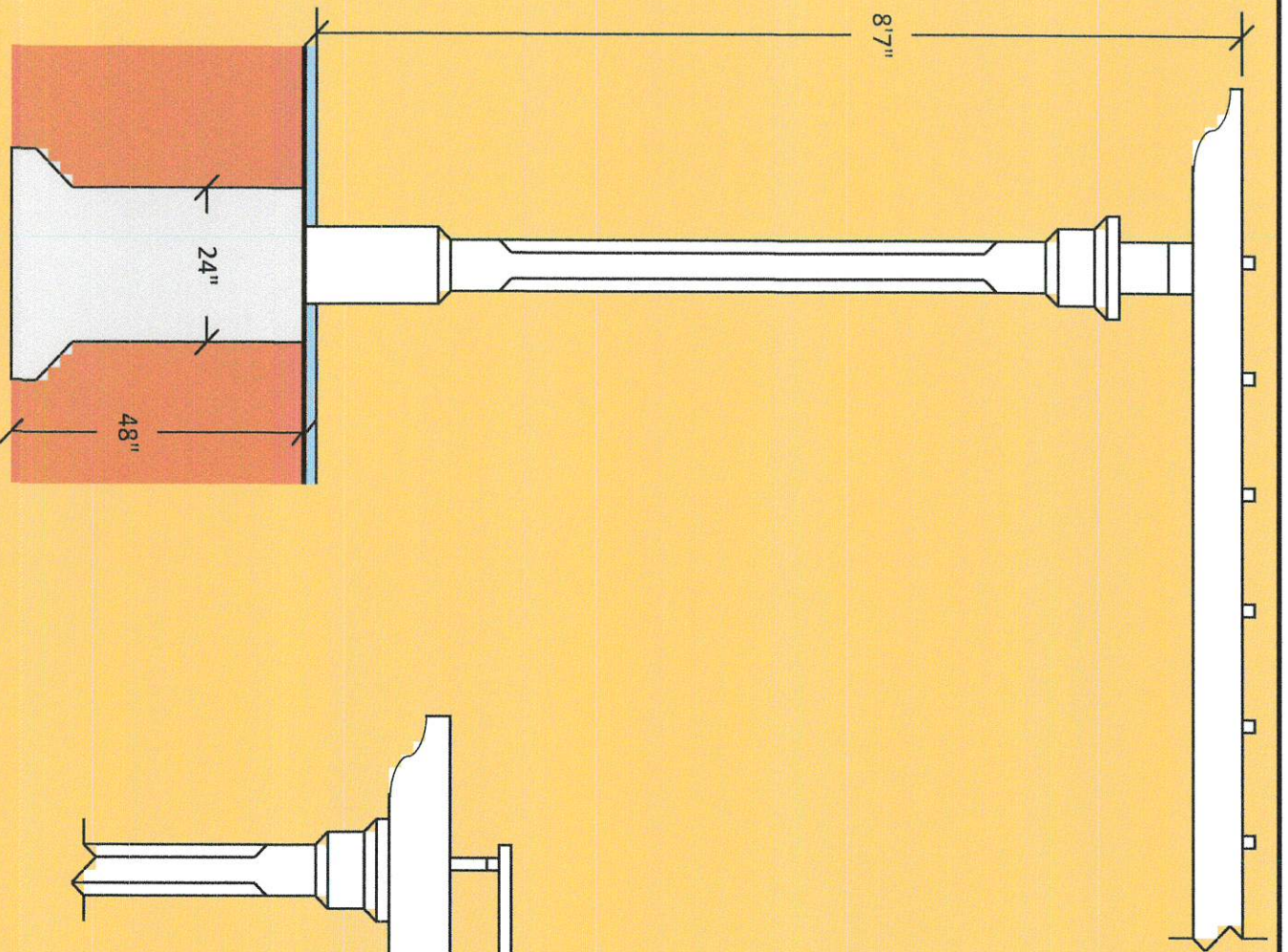
9/17/2021 By: Ken Erdmann



Pergola

*South Elevation*

|                           |
|---------------------------|
| PROPOSED PERGOLA          |
| for                       |
| Matthew & Renee Kirchner  |
| 7250 N. Beach Rd.         |
| Fox Point, WI             |
| 9/17/2021 By: Ken Erdmann |



|                          |                 |
|--------------------------|-----------------|
| PROPOSED PERGOLA         |                 |
| for                      |                 |
| Matthew & Renee Kirchner |                 |
| 7250 N. Beach Rd.        |                 |
| Fox Point, WI            |                 |
| 9/1/2021                 | By: Ken Erdmann |

Search



## Attached Poolside Pergola

A Walpole pergola, whether attached or freestanding, creates the perfect outdoor room for relaxing and entertaining – and dining, especially if you include an outdoor kitchen. This poolside pergola, crafted in low maintenance AZEK cellular PVC, measures 10' by 20', has a 24 foot long carrying beam, and impressive Darton columns. Walpole custom pergolas are limited only by your imagination. We will work from your sketches, architects drawings, or photographs, and we'll guide you through the process. We also offer pergola kits in sizes from 10' by 10' to 14' by 14'. Call and ask for details.

[Schedule a Consultation](#)

### THE WALPOLE DIFFERENCE

The standard all other fence and outdoor structures are measured by:

[About | Blog | Support | Careers](#)

255 Patriot Place  
Foxborough, MA 02035  
(866) 733-8562

### VISIT A SHOWROOM NEAR YOU

- |                 |                 |
|-----------------|-----------------|
| - Connecticut   | - New Hampshire |
| - Florida       | - New Jersey    |
| - Illinois      | - New York      |
| - Massachusetts | - Pennsylvania  |
| - Maryland      | - Rhode Island  |
| - Missouri      |                 |

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16/1/16

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**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 247-6622  
www.villageoffoxpoint.com

**Permit Number:**

| OFFICE USE ONLY |
|-----------------|
| Issued Date     |
| Zoning          |

**BUILDING PERMIT**

|                                                                                                                                                                                                                |                                         |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|
| Job Address <u>7623 N. Fairchild Rd</u>                                                                                                                                                                        | Building Type: Residential - Commercial |
| Description of Work<br><u>Modification of load bearing walls in living room<br/>Kitchen and bathroom. Window removal and replacement<br/>with sliding door in breezeway. Window addition in front of home.</u> |                                         |
| Estimated Cost of Project \$ <u>2,000.00</u>                                                                                                                                                                   |                                         |

|                                    |                |
|------------------------------------|----------------|
| Owner/Occupant                     |                |
| Contact Name <u>Phonso Smith</u>   | Business Name  |
| Address <u>7623 N Fairchild Rd</u> | City/State/Zip |
| Phone <u>414-793-3240</u>          | Email          |

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

|                                        |                                 |
|----------------------------------------|---------------------------------|
| Contractor                             |                                 |
| Company Name <u>work done by owner</u> | Contact Name                    |
| Address                                | City/State/Zip                  |
| Phone                                  | Email                           |
| Dwelling Contractor #                  | Dwelling Contractor Qualifier # |

| Square Footage Under Construction |                       |          |          |        |
|-----------------------------------|-----------------------|----------|----------|--------|
| 1 <sup>st</sup> Floor             | 2 <sup>nd</sup> Floor | Basement | Addition | Garage |

| Description                                                                                                            | Rate                    | Amount    |
|------------------------------------------------------------------------------------------------------------------------|-------------------------|-----------|
| Project - Per \$1,000 of estimated cost                                                                                | \$9.50                  | \$ 19.00  |
| Building Board                                                                                                         | \$75.00                 | 75.00     |
| Footing early start - \$210.00 one and two family; \$280.00 commercial                                                 |                         |           |
| Plan Review - \$250.00 one and two family; New Construction<br>\$300.00 plus \$27.00/unit commercial; New Construction |                         |           |
| State Seal                                                                                                             | \$65.00                 |           |
| Razing, Interior Demolition                                                                                            | \$85.00 minimum plus    |           |
| Moving buildings over public ways                                                                                      | \$230.00 plus           |           |
| Fuel tanks - Per 1,000 gallons                                                                                         | \$24.00                 |           |
| Re-inspection                                                                                                          | \$100.00                |           |
| Other                                                                                                                  |                         |           |
| Work started without permit <b>Double Fee</b>                                                                          |                         |           |
| <b>Minimum Fee</b>                                                                                                     | \$70.00                 | 70.00     |
| Payable to: Village of Fox Point                                                                                       | <b>Total Permit Fee</b> | \$ 145.00 |

**Applicant Signature****Date**

Rev 09/20

**ISSUED PERMITS** are available on the Village website under **PERMITS & LICENSES**



## VILLAGE OF FOX POINT

7200 N Santa Monica Blvd

Fox Point, WI 53217

(414) 247-6622

[www.villageoffoxpoint.com](http://www.villageoffoxpoint.com)

### CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

### Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

### Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Phonso Smith  
Homeowner's Printed Name

[Signature]  
Homeowner's Signature

7623 N. Fairchild Rd  
Property Address

09/22/21  
Date

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 1.056704

Sep 28, 2021

7623 N Fairchild Rd

|                                                  |       |
|--------------------------------------------------|-------|
| Previous Balance:                                | .00   |
| LICENSES & PERMITS - BUILDING PERMIT             | 70.00 |
| 24-44460 BUILDING PERMIT                         |       |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00 |
| 24-44440 BUILDING PLANS-FILING FEE               |       |

|        |        |
|--------|--------|
| Total: | 145.00 |
|--------|--------|

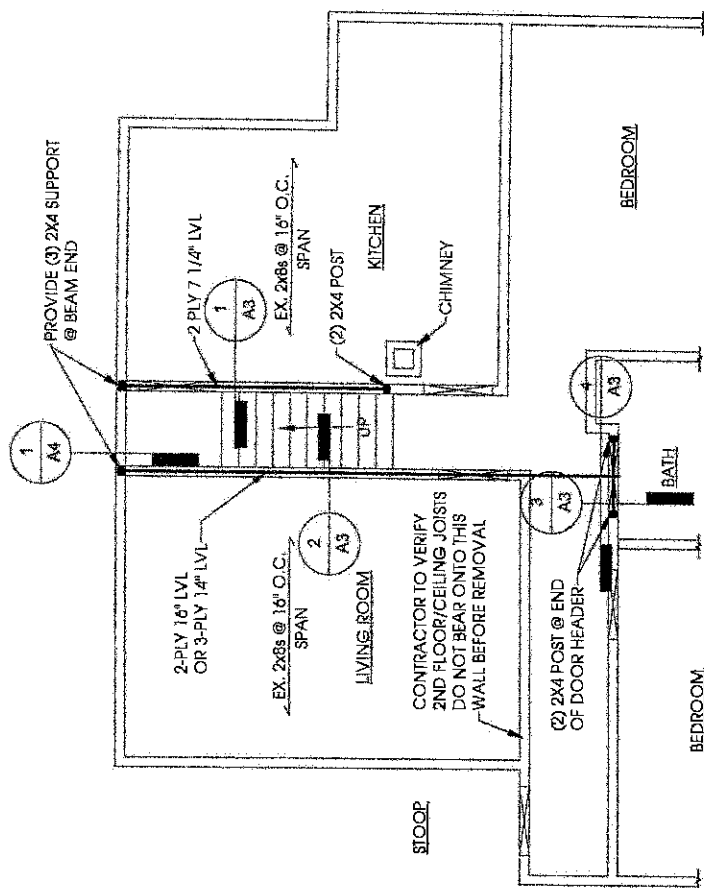
|       |               |        |
|-------|---------------|--------|
| CHECK | Check No: 260 | 145.00 |
|-------|---------------|--------|

Payor: Phonso Smith

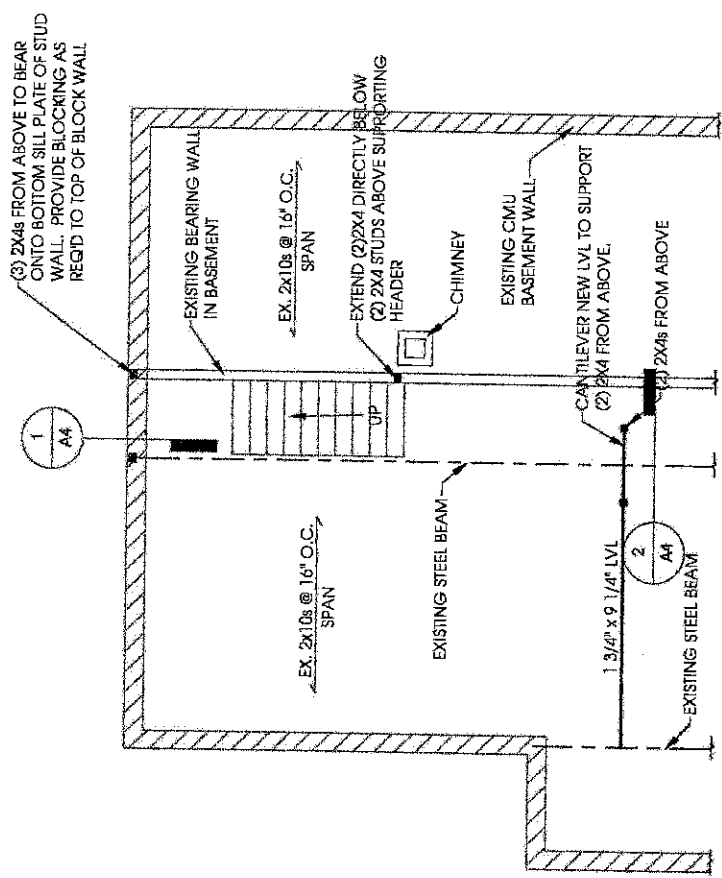
|                |        |
|----------------|--------|
| Total Applied: | 145.00 |
|----------------|--------|

|                  |     |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

09/28/2021 3:04 PM

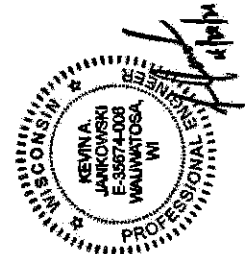


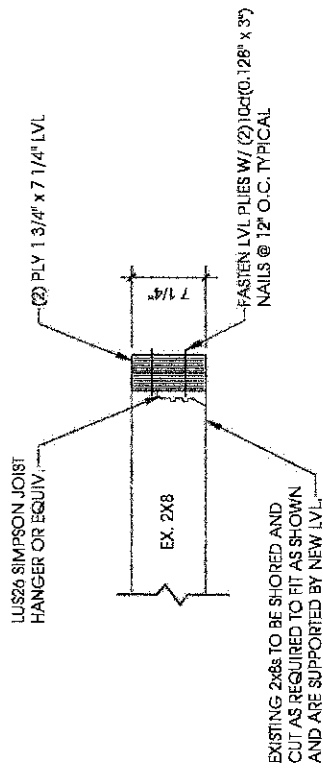
**FIRST FLOOR REINFORCING PLAN**



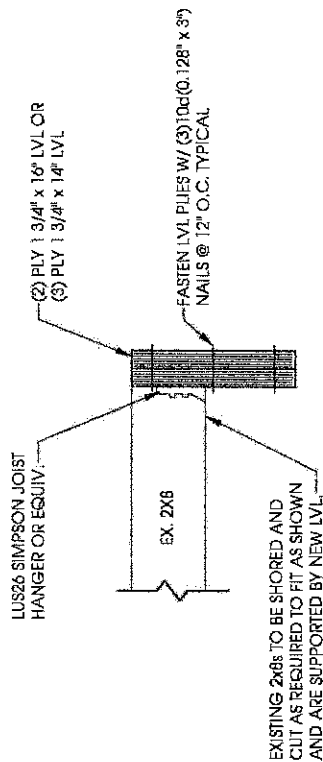
**BASEMENT REINFORCING PLAN**


**1** **HEADER SUPPORT PLANS**  
 3/16" = 1'-0"

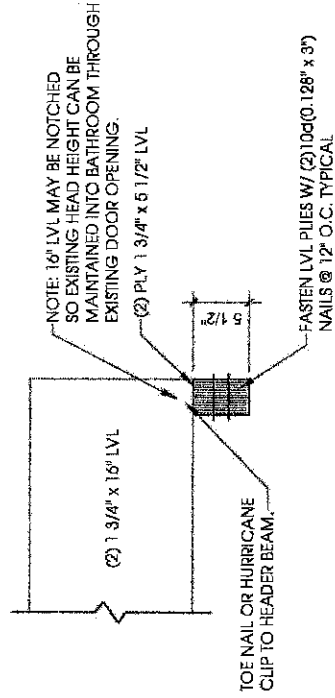




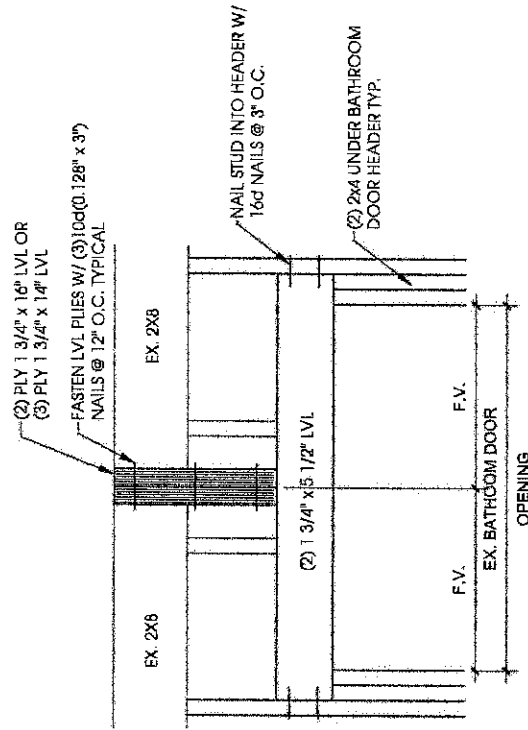
1  
7 1/4" HEADER SECTION



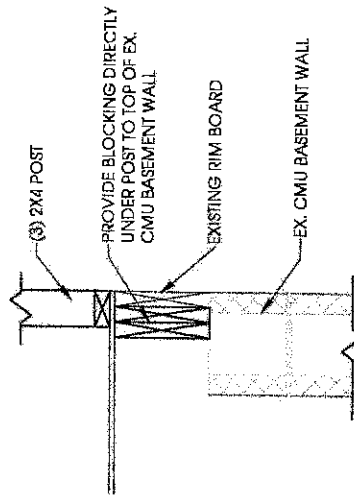
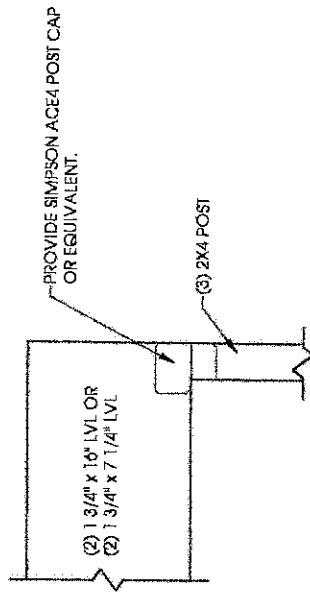
2  
16" HEADER SECTION



3  
BATHROOM DOOR HEADER

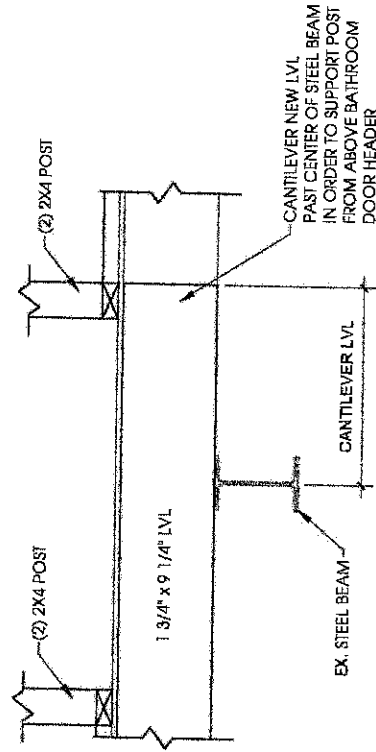


4  
BATHROOM DOOR HEADER ELEV.



1 HEADER BEARING SECTION

1" = 1'-0"



2 BASEMENT REINFORCING ELEVATION

1" = 1'-0"

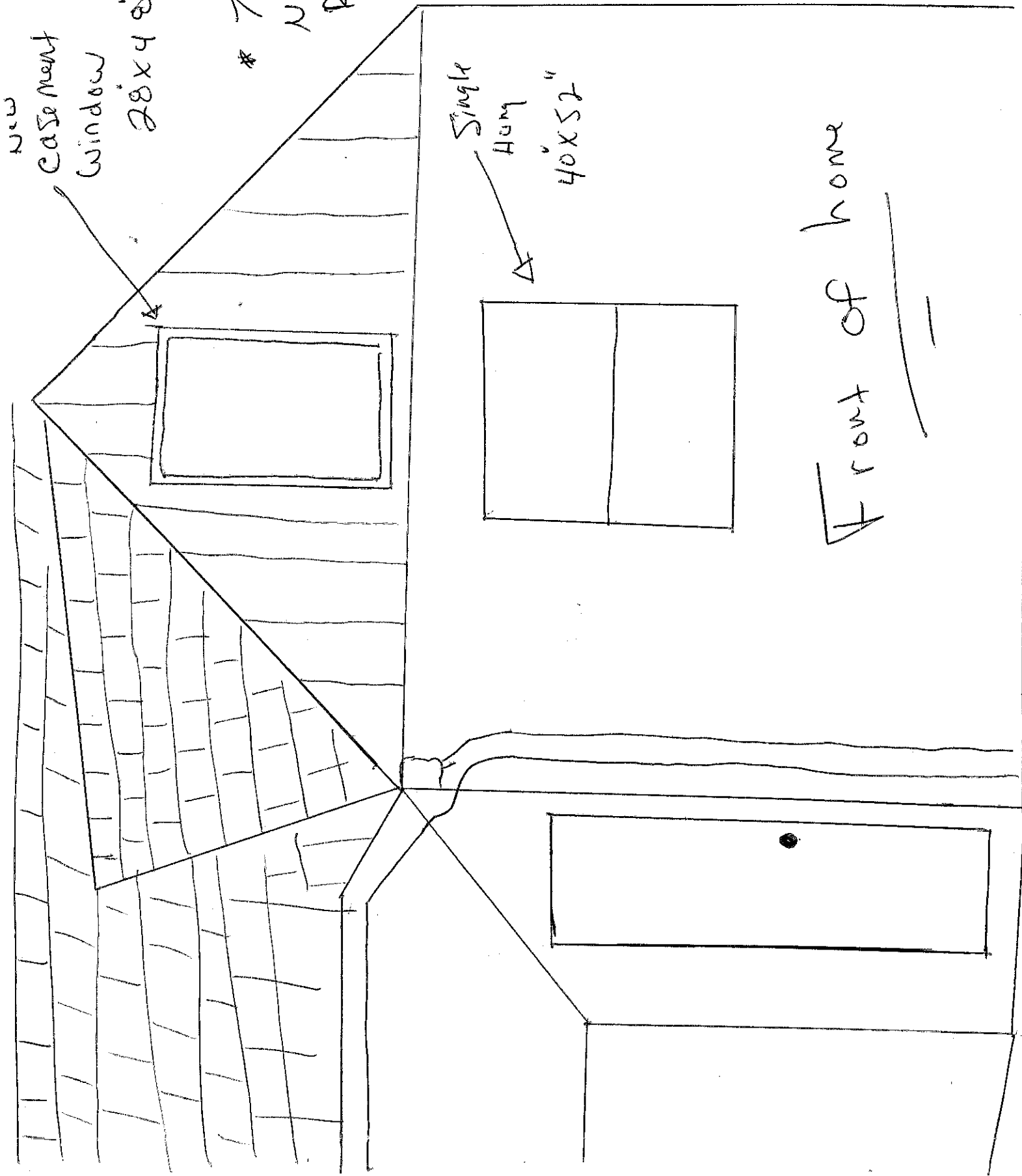
new  
casement  
window

28x48"

# 7623  
N Fairchild  
Rd.

Single  
Hung  
40x52"

Front of home



FREE IN-STORE PICKUP Over one million online items eligible. >



You're shopping  
**North Shore** v  
● OPEN until 10 pm

Delivering to

53212 v

casement window



Cart | 0 items

Home / Doors & Windows / Windows / Casement Windows

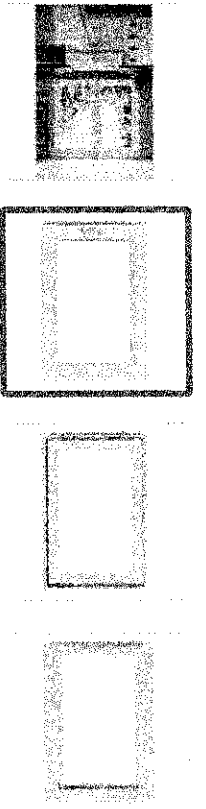
Internet #203871876 Model #70 CSMT Store SKU #740220



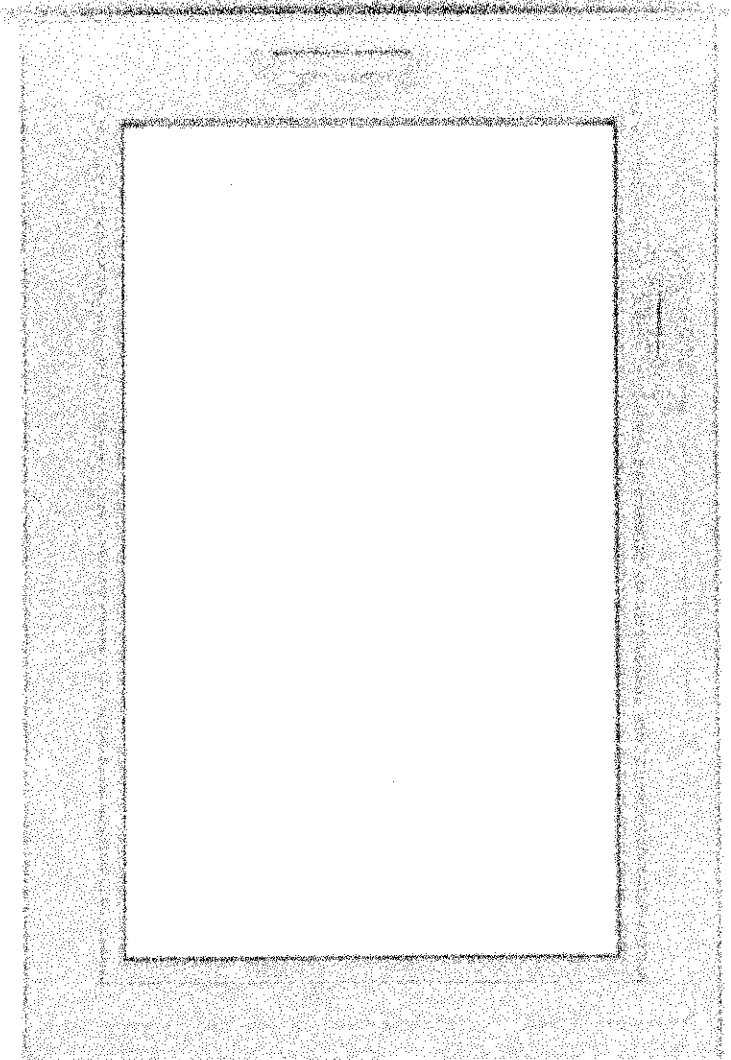
American Craftsman

28.4 in. x 48 in. 70 Series Casement Left Hand Vinyl Window - White

★★★★★ (4) v Questions & Answers (9)



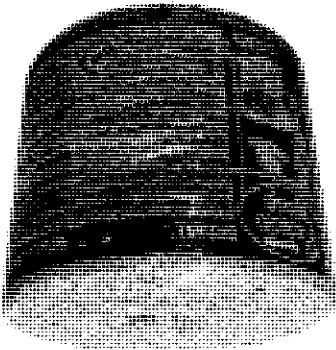
Hover Image to Zoom



Feedback



Live Chat



BT25XL 4 in. x 50 ft. Window and Door Sealing Tape

★★★★★ (97)

\$11.26

Add To Cart



Silicone Max 10.1 oz. Clear Premium Exterior/Interior...

★★★★★ (350)

\$9.78

Add To Cart



20 oz. Window and Door Insulating Foam Sealant

★★★★★ (136)

\$12.47

Add To Cart

Specifications

Dimensions

|                  |      |                  |       |                     |        |                      |       |                     |         |                            |       |                           |       |                            |           |
|------------------|------|------------------|-------|---------------------|--------|----------------------|-------|---------------------|---------|----------------------------|-------|---------------------------|-------|----------------------------|-----------|
| Grid Width (in.) | None | Jamb Depth (in.) | 2.688 | Product Depth (in.) | 6.5 in | Product Height (in.) | 48 in | Product Width (in.) | 28.4 in | Rough Opening Height (in.) | 48 in | Rough Opening Width (in.) | 29 in | Width (in.) x Height (in.) | 28.4 x 48 |
|------------------|------|------------------|-------|---------------------|--------|----------------------|-------|---------------------|---------|----------------------------|-------|---------------------------|-------|----------------------------|-----------|

Details

Exterior Color/ Finish

White

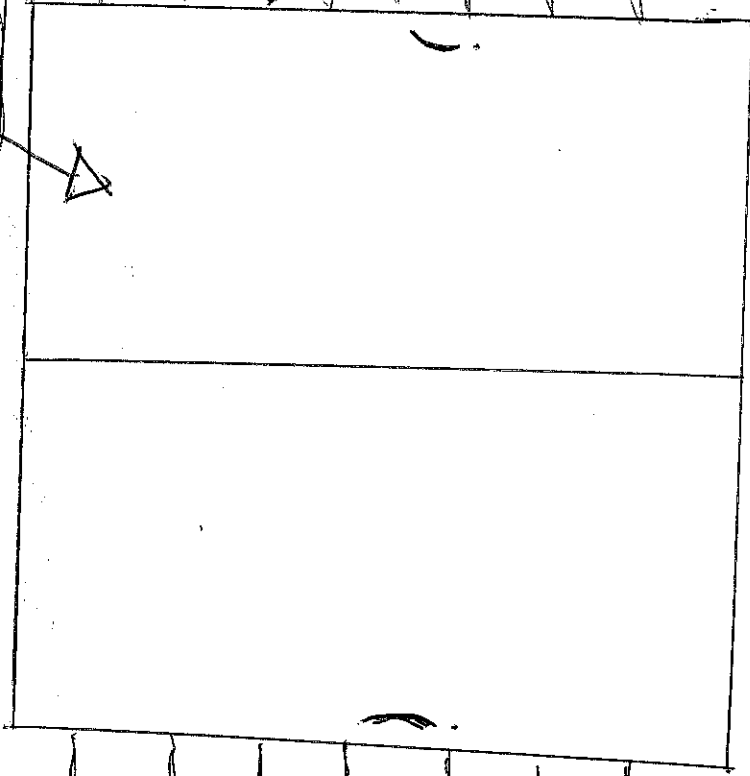
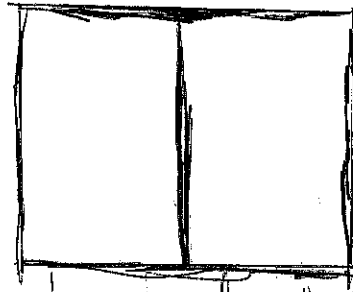
# Customers Who Viewed This Also Viewed

|                              |                  |                                               |
|------------------------------|------------------|-----------------------------------------------|
| Exterior Color/Finish Family |                  | White                                         |
| Features                     |                  |                                               |
| Frame Material               | Vinyl            |                                               |
| Frame Type                   | Nail Fin         |                                               |
| Glass Type                   | Low-E Glass      |                                               |
| Glazing Type                 | Double-Pane      |                                               |
| Grid Pattern                 | No Grid          |                                               |
| Grille Type                  | No Grille        |                                               |
| Hardware Color/Finish Family | White            |                                               |
| Included                     | Hardware,Screen  |                                               |
| Interior Color/Finish Family | White            |                                               |
| Lock Type                    | Standard Lock    |                                               |
| Number of Grids              | No Grid          |                                               |
| Number of Locks              | 1                |                                               |
| Product Weight (lb.)         | 30.5 lb          |                                               |
| Solar Heat Gain Coefficient  | .2               |                                               |
| U-Factor                     | .27              |                                               |
| Window Handing               | Left-Handed      |                                               |
| Window Type                  | Other            |                                               |
| Window Use Type              | New Construction |                                               |
| Warranty / Certifications    |                  |                                               |
| Energy Star Qualified        |                  | North-Central,Northern,South-Central,Southern |
| Manufacturer Warranty        |                  | Limited Lifetime Warranty                     |

Feedback

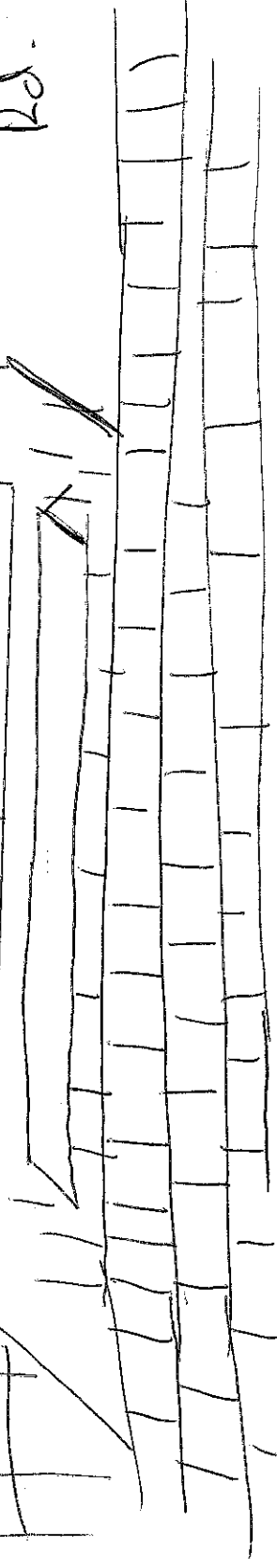
Live Chat

New patio sliding door 7'2" x 8'0"



#7623 N Fairchild Rd.

Rear of house



FREE IN-STORE PICKUP Over one million online items eligible. >



You're shopping  
**North Shore** ▾

● **OPEN** until 10 pm

Delivering to  
**53212** ▾

sliding patio door



**Cart** | 0 items

Home / Doors & Windows / Exterior Doors / Patio Doors

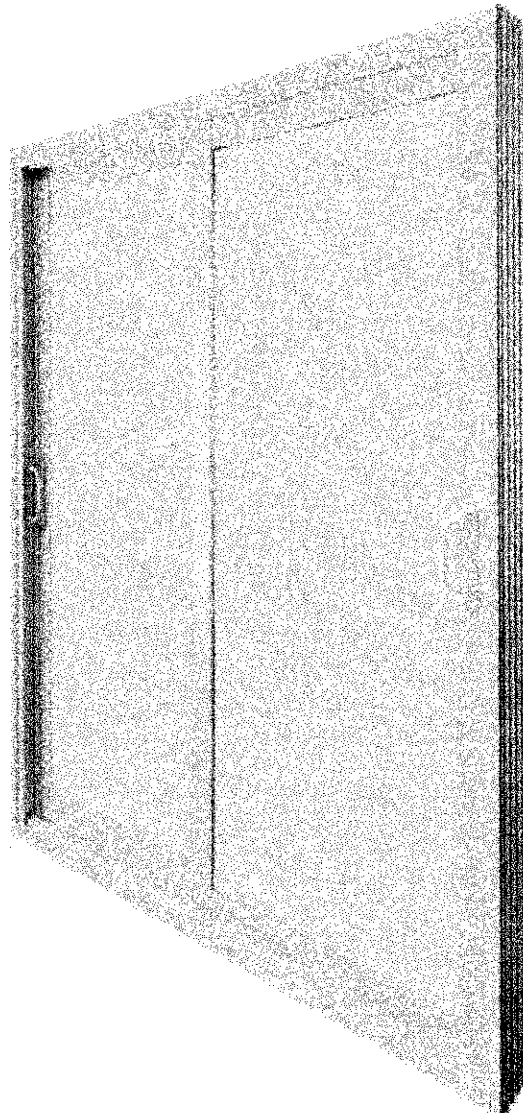
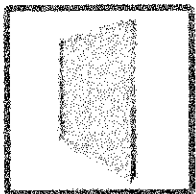
Internet #205000623 Model #600001



Stanley Doors

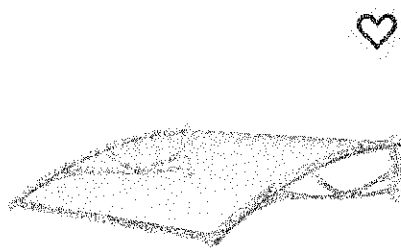
72 in. x 80 in. Double Sliding Patio Door Clear Low-E

★★★★★ (134) ▾ Questions & Answers (272)



Feedback

Hover Image to Zoom

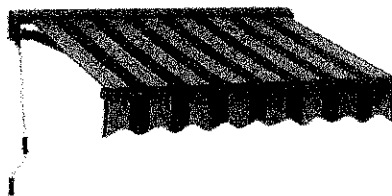


**Advaning**  
Solid Polycarbonate Sheet Door  
Awning (55 in. W x 31 in. D) in...

★★★★★ (21)

**\$215<sup>45</sup>** /box

Add To Cart

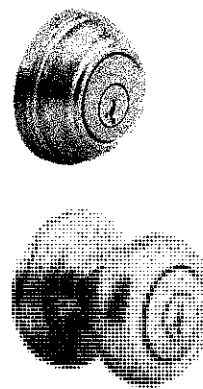


**Advaning**  
8 ft. Classic C Series Semi-  
Cassette Manual Retractable...

★★★★★ (14)

**\$674<sup>95</sup>** /box

Add To Cart



**Kwikset**  
Juno Satin Nickel Exterior  
Door Knob and Single Cylinde.

★★★★★ (985)

**\$47<sup>97</sup>**

Add To Cart

Live Chat  
Feedback

## Specifications

## Dimensions

|                              |          |
|------------------------------|----------|
| Door Height (in.)            | 79.75 in |
| Door Thickness (in.)         | 5.625 in |
| Door Width (in.)             | 71.75 in |
| Nominal Door Height (in.)    | 80       |
| Nominal Door Thickness (in.) | 6        |
| Nominal Door Width (in.)     | 72       |
| Rough Opening Height (In.)   | 80.25 in |
| Rough Opening Width (In.)    | 72.25 in |

## Details

|                       |                        |
|-----------------------|------------------------|
| Bore Type             | No Bore                |
| Color Family          | White                  |
| Color/Finish          | White                  |
| Core Type             | Solid Core             |
| Door Configuration    | Double Door            |
| Door Glass Insulation | Low-E                  |
| Door Hanging          | Double Slide           |
| Door Type             | Sliding Patio Door     |
| Features              | Weatherstripping       |
| Finish Type           | Finished               |
| Frame Material        | Vinyl                  |
| Hinge Type            | No Hinge               |
| Included              | Handle Set,Lock,Screen |
| Material              | Vinyl                  |
| Number of Lites       | 1 Lite                 |
| Product Weight (lb.)  | 199 lb                 |
| Returnable            | 90-Day                 |

Live Chat

Feedback

### Warranty / Certifications

|                       |                                                                               |
|-----------------------|-------------------------------------------------------------------------------|
| Energy Star Qualified | Northern                                                                      |
| Manufacturer Warranty | Stanley™ Limited Lifetime warranty. For more information call 1-866-279-1743. |

### Customers Who Viewed This Also Viewed

**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 247-6622  
www.villageoffoxpoint.com

**Permit Number:**B**OFFICE USE ONLY**

Issued Date

Zoning

**BUILDING PERMIT**

|                                                            |                                         |
|------------------------------------------------------------|-----------------------------------------|
| Job Address <u>7710 N Van Dyke Rd</u>                      | Building Type: Residential - Commercial |
| Description of Work                                        |                                         |
| <u>Installing 4' egress window + well.</u>                 |                                         |
| <u>Raise header above basement stairs. Install support</u> |                                         |
| <u>column and footing</u>                                  |                                         |
| Estimated Cost of Project \$ <u>9,500</u>                  |                                         |

|                                   |                |
|-----------------------------------|----------------|
| <b>Owner/Occupant</b>             |                |
| Contact Name <u>Ralph Bultman</u> | Business Name  |
| Address <u>7710 N Van Dyke Rd</u> | City/State/Zip |
| Phone <u>262-751-4497</u>         | Email          |

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

|                                          |                                                 |
|------------------------------------------|-------------------------------------------------|
| <b>Contractor</b>                        |                                                 |
| Company Name <u>Verette Construction</u> | Contact Name <u>Wes</u>                         |
| Address <u>N60N14432 Kauli Ave</u>       | City/State/Zip <u>Menomonee Falls, WI 53051</u> |
| Phone <u>262-250-7502</u>                | Email <u>office@veretteconstruction.com</u>     |
| Dwelling Contractor # <u>1178040</u>     | Dwelling Contractor Qualifier # <u>1178041</u>  |

| Square Footage Under Construction |                       |          |          |        |
|-----------------------------------|-----------------------|----------|----------|--------|
| 1 <sup>st</sup> Floor             | 2 <sup>nd</sup> Floor | Basement | Addition | Garage |

| Description                                                                                                            | Rate                    | Amount       |
|------------------------------------------------------------------------------------------------------------------------|-------------------------|--------------|
| Project - Per \$1,000 of estimated cost                                                                                | \$9.50                  | <u>90.00</u> |
| Building Board                                                                                                         | \$75.00                 | <u>75.00</u> |
| Footing early start - \$210.00 one and two family; \$280.00 commercial                                                 |                         |              |
| Plan Review - \$250.00 one and two family; New Construction<br>\$300.00 plus \$27.00/unit commercial; New Construction |                         |              |
| State Seal                                                                                                             | \$65.00                 |              |
| Razing, Interior Demolition                                                                                            | \$85.00 minimum plus    | \$0.12/sqft  |
| Moving buildings over public ways                                                                                      | \$230.00 plus           | \$0.12/sqft  |
| Fuel tanks - Per 1,000 gallons                                                                                         |                         | \$24.00      |
| Re-inspection                                                                                                          |                         | \$100.00     |
| Other                                                                                                                  |                         |              |
| Work started without permit <b>Double Fee</b>                                                                          |                         |              |
| <b>Minimum Fee</b>                                                                                                     | <b>\$70.00</b>          |              |
| Payable to: Village of Fox Point                                                                                       | <b>Total Permit Fee</b> | <b>\$</b>    |

**Applicant Signature**

Rev 09/20

**Date**9/17/2021

**ISSUED PERMITS** are available on the Village website under **PERMITS & LICENSES**

Receipt No: 3.114557

Sep 17, 2021

7710 N Van Dyke Rd

|                    |       |
|--------------------|-------|
| Previous Balance:  | .00   |
| LICENSES & PERMITS |       |
| BUILDING PERMIT    | 90.00 |
| 24-44460           |       |
| BUILDING PERMIT    |       |

|        |       |
|--------|-------|
| Total: | 90.00 |
|--------|-------|

|                |       |
|----------------|-------|
| CHECK          |       |
| Check No: 4902 | 90.00 |
| Total Applied: | 90.00 |

|                  |     |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

Duplicate Copy  
09/17/2021 9:19 AM

Receipt No: 3.114557

Sep 17, 2021

7710 N Van Dyke Rd

|                    |       |
|--------------------|-------|
| Previous Balance:  | .00   |
| LICENSES & PERMITS |       |
| BUILDING PERMIT    | 90.00 |
| 24-44460           |       |
| BUILDING PERMIT    |       |

|        |       |
|--------|-------|
| Total: | 90.00 |
|--------|-------|

|                |       |
|----------------|-------|
| CHECK          |       |
| Check No: 4902 | 90.00 |
| Total Applied: | 90.00 |

|                  |     |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

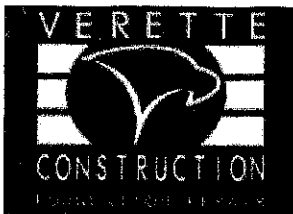
Duplicate Copy  
09/17/2021 9:20 AM

# PLAN REVIEW

INSPECTION DEPARTMENT  
VILLAGE OF FOX POINT

## Letter of Conditional Approval

- 1) The person picking up this permit is responsible for all contractors calling in requests for final inspections. This includes building, plumbing, heating and electric inspections.
- 2) Inspections may be completed 48 hours after notification.
- 3) Storage of stone in public streets is prohibited.
- 4) Repairs to be made in compliance with Uniform Building Code requirements unless Engineering is provided. <https://www.biasew.net/resources>
- 5) Removing of trees is prohibited unless approved by the Village Forrester.
- 6) A plumbing permit is required if any work is done to the sanitary or storm sump pump or crock. Plumbing permits are also required for the alteration, relocation or installation of new plumbing fixtures.
- 7) Lead-Safe Renovation Rule - Beginning April 22, 2010, renovation work will be regulated when preformed for compensation in a dwelling or child-occupied facility built before 1978 and it disturbs 6 sq. ft. or more of paint per room, 20 sq. ft. or more of exterior paint, or involves windows. Companies and individuals conducting regulated renovation work must be certified. Please contact WI Department of Health Services for any questions.
- 8) When existing finished basement walls are removed for foundation repairs a separate permit will be required to rebuild it after the foundation repair is complete. A licensed electrical contractor will need a permit as well.
- 9) All construction shall meet current code.



Verette Construction  
Office: 262-250-7502  
Fax: 262-364-2059  
N60 W14432 Kaul Ave  
Menomonee Falls WI 53051

No.: 03370

Date: 06/02/2021

Proposal

## TERMS AND CONDITIONS

BUYER REPRESENTS THAT HE OR SHE IS IN FACT THE LEGAL OWNER OF THE PREMISES ON WHICH LABOR AND MATERIALS ARE TO BE PERFORMED.

OWNERS INDIVIDUALLY AND ALL OTHER PERSONS, CO-SIGNING THIS CONTRACT SHALL BE SEVERALLY AND JOINTLY OBLIGATED AND LIABLE HEREIN.

GUTTERS AND DOWNSPOUTS MUST BE IN GOOD CONDITION. DOWNSPOUTS DISCHARGING AT GRADE MUST BE EXTENDED AT LEAST 5 FEET FROM FOUNDATION AT ALL TIMES.

PROPER PITCH OF GROUND, CONCRETE AND ASPHALT MUST BE MAINTAINED AT ALL TIMES (4 INCH PER 5 FEET) UNLESS OTHERWISE SPECIFIED IN WRITING.

ELECTRICAL OUTLETS AND/OR PLUMBING TO BE SUPPLIED BY OWNER UNLESS OTHERWISE SPECIFIED IN WRITING ON THIS CONTRACT.

IT IS THE RESPONSIBILITY OF THE OWNER TO REMOVE AND REPLACE ALL EXTERIOR AND INTERIOR OBSTRUCTIONS FROM WALLS AND FLOOR IN AREAS WHERE WORK IS GOING TO BE PERFORMED.

SUMP PUMPS ARE WARRANTED BY MANUFACTURERS ONLY.

ANNIVERSARY DATE OF THIS CONTRACT SHALL BE THE DATE WORK IS COMPLETED, BUT SHALL NOT APPLY IF PAYMENTS ARE NOT MADE AS AGREED. ALL TERMS AND CONDITIONS OF THE CONTRACT MUST BE COMPLIED WITH BY OWNER OR GUARANTEE AND SERVICE AGREEMENT IS INVALID. FAILURE TO MAIL IN ANNUAL SERVICE AGREEMENT FEE DURING ANY YEAR OF THE EXTENSION PERIOD SHALL TERMINATE THE REMAINING PORTION OF THE SERVICE AGREEMENT.

CONDITIONS NOT VISIBLE WHICH MAY BE DISCOVERED AFTER WORK HAS COMMENCED. AND THAT MAY REQUIRE ADDITIONAL COST WILL BE BROUGHT TO THE OWNERS ATTENTION. OWNER SHALL HAVE THE OPTION TO ACCEPT THE PROPOSAL FOR SUCH ADDITIONAL COSTS DUE TO THE DISCOVERED CONDITIONS OR CONTRACTOR SHALL CEASE WORK AND OWNER SHALL BE CHARGED ONLY FOR WORK PERFORMED TO THE TIME THAT THE CONDITIONS WERE DISCOVERED.

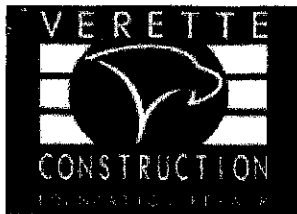
WISCONSIN STATE ADMINISTRATIVE CODE 133 REQUIRES THAT "REMEDIAL WORK TO BE PERFORMED UNDER THIS GUARANTEE SHALL BEGIN WITHIN FORTY-FIVE (45) DAYS AND COMPLETED WITHIN SIX (6) MONTHS."

## GENERAL INFORMATION

|                |                               |
|----------------|-------------------------------|
| Name           | Ralph Bultman                 |
| Date           | 06/02/2021                    |
| Street Address | 7710 N Van Dyke Rd            |
| City           | Fox Point                     |
| State          | Wisconsin                     |
| Zip Code       | 53217                         |
| Closing Date   |                               |
| Phone          | 262-751-4497                  |
| Email          | rbultman@bultmanfinancial.com |

Verette Construction, Inc. hereinafter referred to as Contractor, proposes to furnish all the materials, labor and equipment necessary to perform the following work which the above named owner has requested.

## PROPOSAL INFORMATION



Verette Construction  
Office: 262-250-7502  
Fax: 262-364-2059  
N60 W14432 Kaul Ave  
Menomonee Falls WI 53051

Proposal

No.: 03370  
Date: 06/02/2021

Photos of Work Area

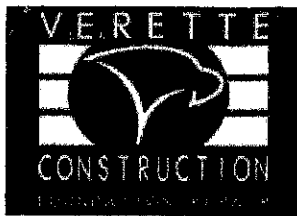


Photos of Work Area



Photos of Work Area





Verette Construction  
Office: 262-250-7502  
Fax: 262-364-2059  
N60 W14432 Kaul Ave  
Menomonee Falls WI 53051

No.: 03370

Date: 06/02/2021

Proposal

SIGNATURE

CONTRACTOR IS NOT RESPONSIBLE FOR ANY FOUNDATION SETTLING AND CRACKING AS A RESULT OF SUB-SOIL MOVEMENT. THE GUARANTEE DOES NOT COVER DAMPNES ON THE BASEMENT WALLS OR FLOOR. GUARANTEE IS TRANSFERABLE IN THE EVENT PROPERTY IS SOLD. CONTRACTOR AGREES FOR A PERIOD OF YEARS (BELOW) THE REPAIR OR REPLACEMENT OF ANY DEFECTIVE WORK AT NO ADDED COST TO OWNER.

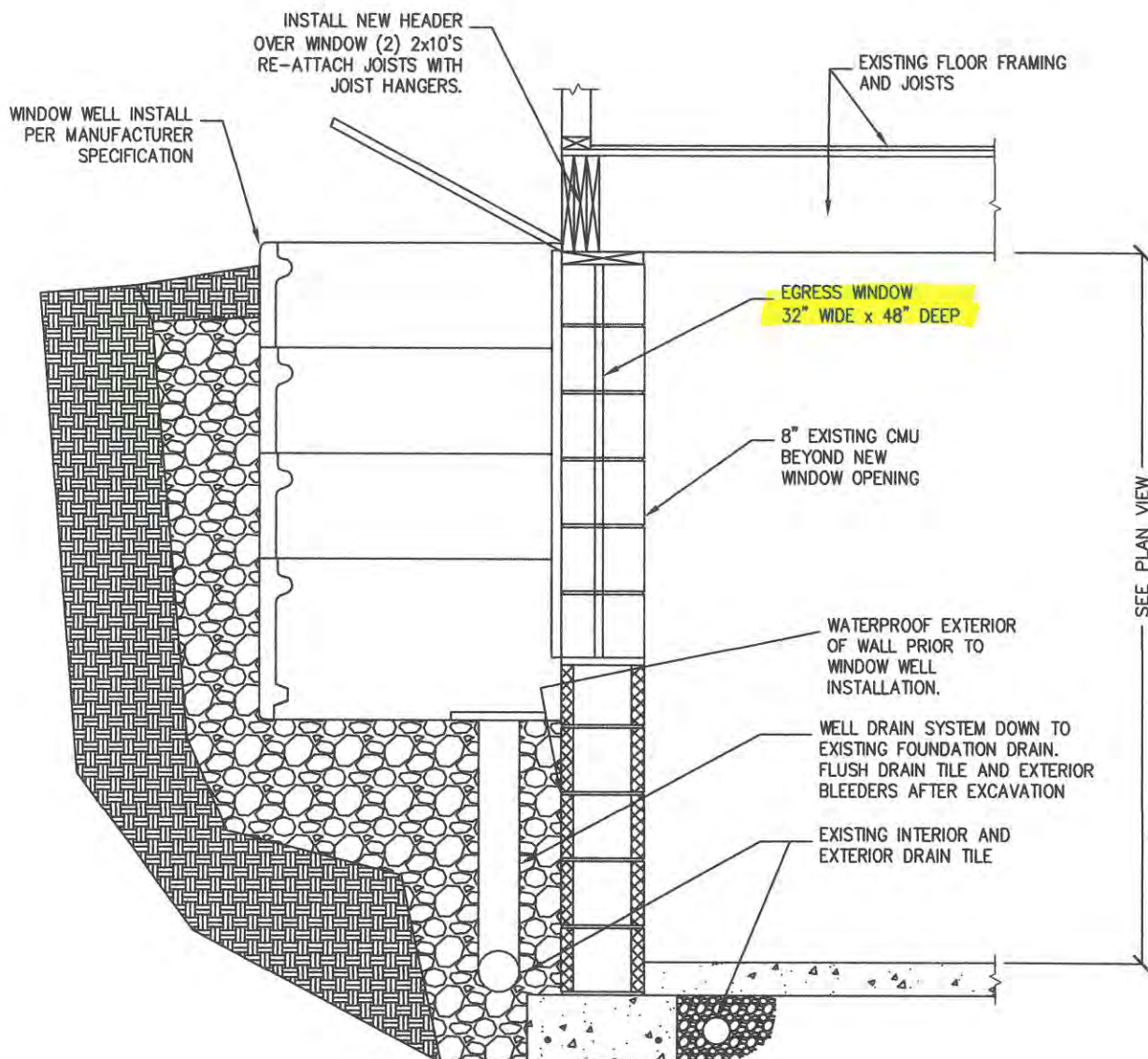
Years of Warranty

Accepted By:

Signature

Date

06/02/2021



**VM ENGINEERING**

VM Engineering LTD  
Vince Matarrese, PE  
License #E-45530  
PHONE: (282) 384-8744  
EMAIL: VINCE@VMPEOENG.COM

SHEET TITLE

**TYPICAL EGRESS WINDOW**

PROJECT NO.

-

PROJECT

**RESIDENTIAL  
CONSTRUCTION**

PROPERTY ADDRESS

-

SCALE

**AS NOTED**

DATE

**1/1/2021**

CHECKED BY

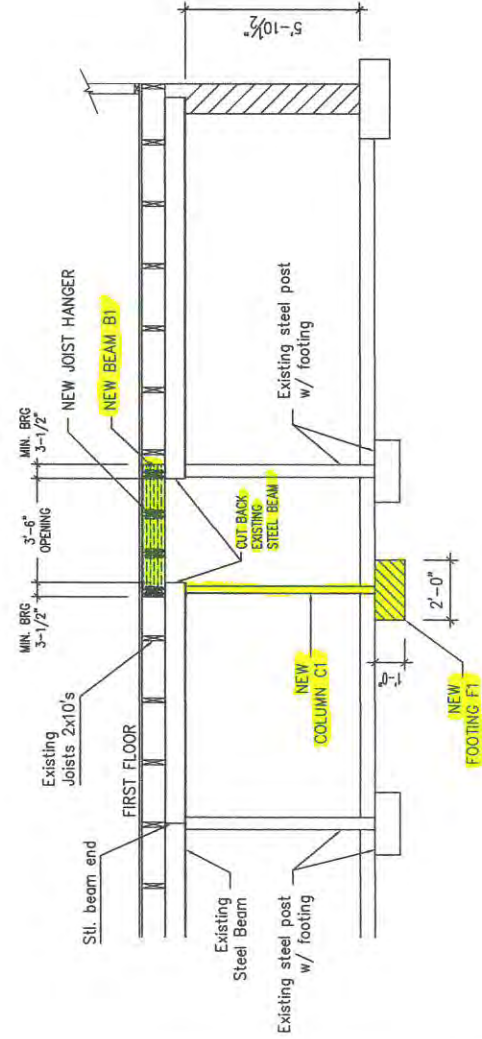
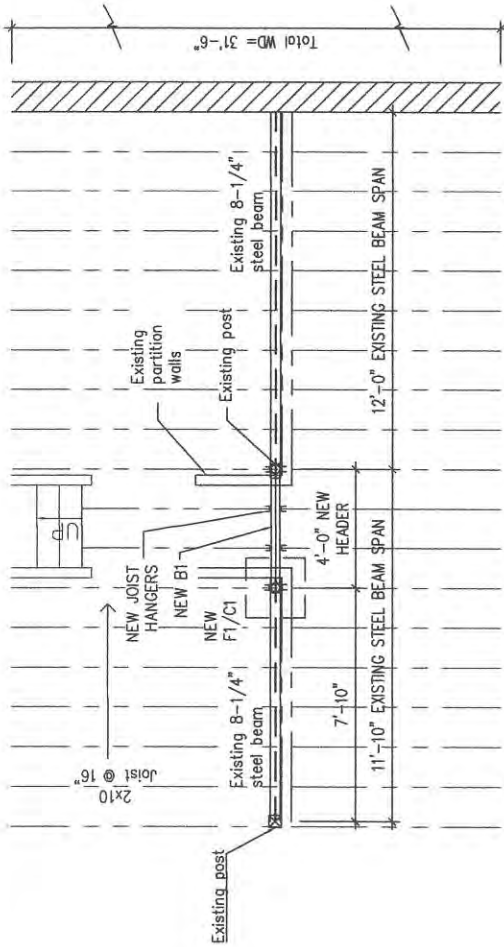
**VM**

DRAWN BY

**VM**

SHEET

**S1.0**



GENERAL NOTES

• GENERAL BUILDING CODE

The State of Wisconsin Uniform Building Code

- DESIGN AND CONSTRUCTION TO ALSO COMPLY WITH ANY JURISDICTION CODES IN THEIR RESPECTIVE COUNTRY, CITY, VILLAGE OR TOWNSHIP AND THEIR PROVISIONS AND ORDINANCES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE MAAZENA ATTENTION OF THE STRUCTURAL ENGINEER.
- DRAWINGS REPRESENT THE FINISHED STRUCTURAL SYSTEM AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. UNLESS SPECIFIC NOTES ARE PROVIDED ON DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION OF THE CONSTRUCTION METHODS, MATERIALS, EQUIPMENT, PROCEDURES, LAGGING, SHORING, BRACING, FORMWORK, ETC. AS REQUIRED FOR THE PROTECTION AND SAFETY OF LIFE AND PROPERTY DURING CONSTRUCTION.
- IN NO CASE SHALL STRUCTURAL ALTERATIONS, MODIFICATIONS OR WORK AFFECTING STRUCTURAL MEMBERS BE MADE WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
- IF ANY ERRORS OR OMISSIONS APPEAR IN THESE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE STRUCTURAL ENGINEER IN WRITING PRIOR TO THE PROCEEDING WORK.

REINFORCING FRAMING NOTES:

F1 - NEW CONCRETE FOOTING 24"x24"x12"  
f'c=3,000 psi

C1 - NEW STEEL PIPE COLUMN, 3" DIA.  
STANDARD THK. (RATED #8,000)

B1 - NEW HEADER (2) 1.75" x 9.25" 2.0E LVLs  
SISTER WITH (2) ROWS OF 1" SDS  
SCREWS AT 12" ON CENTER.

EXISTING JOISTS SHOULD BE CUT BACK AND ATTACHED TO NEW HEADER WITH HANGERS.

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 1.056687

Sep 27, 2021

7710 N Van Dyke

|                                                  |       |
|--------------------------------------------------|-------|
| Previous Balance:                                | .00   |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00 |
| 24-44440 BUILDING PLANS-FILING FEE               |       |

|        |       |
|--------|-------|
| Total: | 75.00 |
|--------|-------|

|                 |                |       |
|-----------------|----------------|-------|
| CHECK           | Check No: 4910 | 75.00 |
| Payor: MAWP Inc |                |       |

|                |       |
|----------------|-------|
| Total Applied: | 75.00 |
|----------------|-------|

|                  |     |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

Duplicate Copy

09/27/2021 10:13 AM



**VILLAGE OF FOX POINT**  
7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 247-6622  
www.villageoffoxpoint.com

**Permit Number:**

**B-**

| OFFICE USE ONLY |
|-----------------|
| Issued Date     |
| Zoning          |

## BUILDING PERMIT

|                                                                                     |                                                |
|-------------------------------------------------------------------------------------|------------------------------------------------|
| <b>Job Address</b>                                                                  | <b>Building Type:</b> Residential - Commercial |
| <b>Description of Work</b><br>INSTALL STONE COLUMNS AT DRIVEWAY ENTRANCE WITH GATES |                                                |
| Estimated Cost of Project \$ 30,000                                                 |                                                |

|                         |                                    |
|-------------------------|------------------------------------|
| <b>Owner/Occupant</b>   |                                    |
| Business Name           | Contact Name TAN LO                |
| Address 7730 N BEACH DR | City/State/Zip FOX POINT, WI 53217 |
| Phone                   | Email                              |

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

|                               |                                              |
|-------------------------------|----------------------------------------------|
| <b>Contractor</b>             |                                              |
| Company Name BARENZ BUILDERS  | Contact Name JAKE BOHMAN                     |
| Address 1112 WILLOW MEADOW RD | City/State/Zip GERMANTOWN, WI 53022          |
| Phone 414-429-7734            | Email JAKE@BARENZBUILDERS.COM                |
| Dwelling Contractor # 5990    | Dwelling Contractor Qualifier # DC-079500354 |

| Square Footage Under Construction |                       |          |          |        |
|-----------------------------------|-----------------------|----------|----------|--------|
| 1 <sup>st</sup> Floor             | 2 <sup>nd</sup> Floor | Basement | Addition | Garage |

| Description                                                                                                        | Rate                    | Amount         |
|--------------------------------------------------------------------------------------------------------------------|-------------------------|----------------|
| Project - Per \$1,000 of estimated cost                                                                            | \$9.50                  | 285            |
| Building Board                                                                                                     | \$75.00                 | 75             |
| Footing early start - \$210.00 one and two family; \$280.00 commercial                                             |                         |                |
| Plan Review - \$250.00 one and two family; New Single Family Construction<br>\$300.00 plus \$27.00/unit commercial |                         |                |
| State Seal                                                                                                         | \$65.00                 |                |
| Razing, Interior Demolition                                                                                        | \$85.00 minimum plus    | \$0.12/sqft    |
| Moving buildings over public ways                                                                                  | \$230.00 plus           | \$0.12/sqft    |
| Fuel tanks - Per 1,000 gallons                                                                                     | \$24.00                 |                |
| Re-inspection                                                                                                      | \$100.00                |                |
| Other                                                                                                              |                         |                |
| Work started without permit                                                                                        | <b>Double Fee</b>       |                |
|                                                                                                                    | <b>Minimum Fee</b>      | <b>\$70.00</b> |
| Payable to: Village of Fox Point                                                                                   | <b>Total Permit Fee</b> | <b>\$</b>      |

**Applicant Signature**

Rev 01/21

**Date**

**ISSUED PERMITS are available on the Village website under PERMITS & LICENSES**

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 1.056701

Sep 28, 2021

7736 N Beach Dr

|                                                  |       |
|--------------------------------------------------|-------|
| Previous Balance:                                | .00   |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00 |
| 24-44440 BUILDING PLANS-FILING FEE               |       |

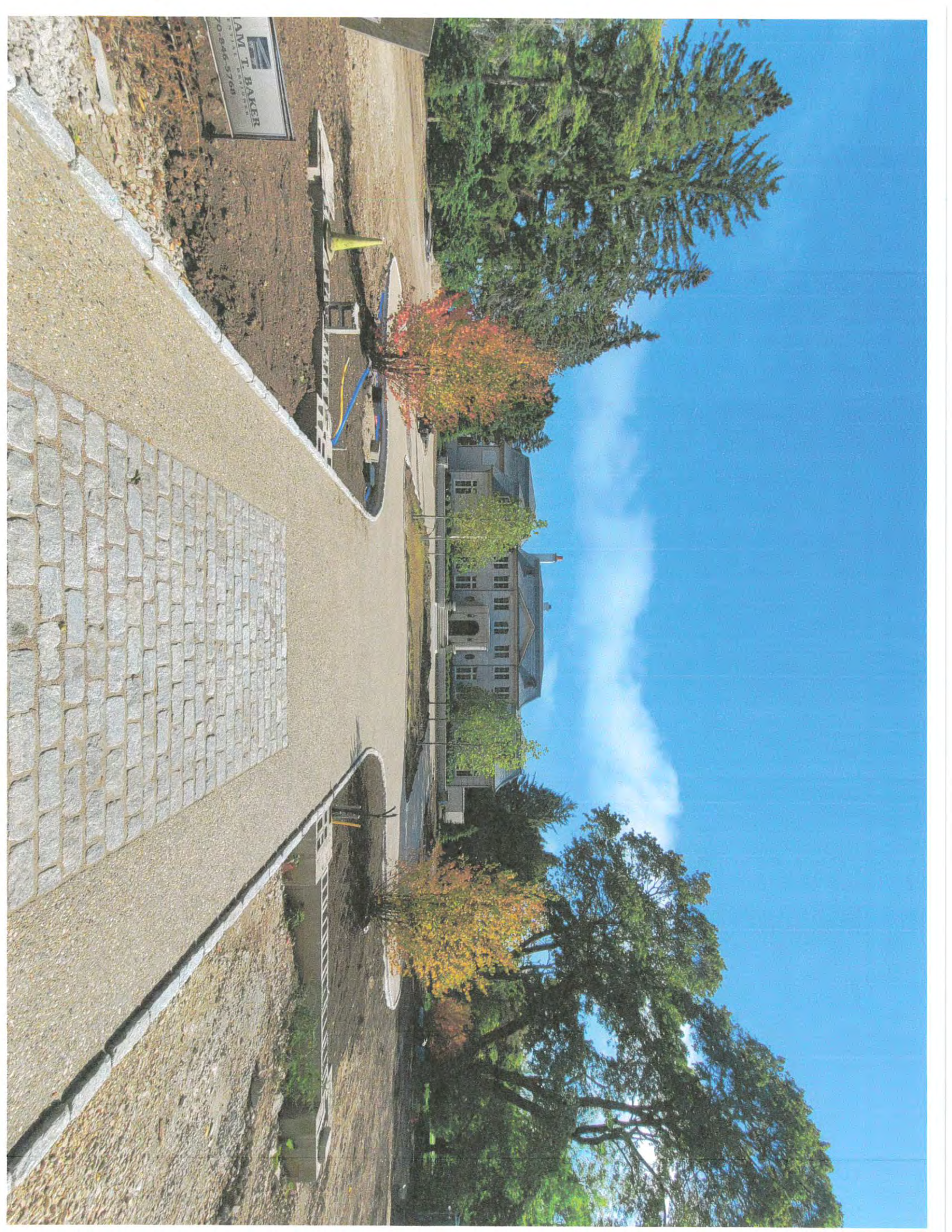
|        |       |
|--------|-------|
| Total: | 75.00 |
|--------|-------|

|               |                |       |
|---------------|----------------|-------|
| CHECK         | Check No: 2504 | 75.00 |
| Payor: Tan Lo |                |       |

|                |       |
|----------------|-------|
| Total Applied: | 75.00 |
|----------------|-------|

|                  |     |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

09/28/2021 11:08 AM







THIS DRAWING IS AN INSTRUMENT  
SERVICE AND SHALL REMAIN THE  
PROPERTY OF LAND PLUS ASSOCIATES  
LTD., AND SHALL NOT BE REPRODUCED  
PUBLISHED, OR USED IN ANY WAY  
WITHOUT THE CONSENT OF LAND PLUS  
ASSOCIATES, LTD.

LAND PLUS ASSOCIATES, LTD., ASSUMES NO LIABILITY FOR ANY ELEMENTS NOT CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION.

1.) BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

2.) CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL, BUILDING AND ZONING CODES IN THE AREA WHERE THE ELEMENTS ARE TO

CAUTION MUST BE EXERCISED  
MAKING ANY CHANGES IN THIS PLAN  
ONLY A QUALIFIED ENGINEER  
LANDSCAPE ARCHITECT OR  
CONTRACTOR SHOULD ATTEMPT  
MODIFICATIONS AS EVEN MINOR  
CHANGES COULD LEAD TO MAJOR  
PROBLEMS IN ANOTHER AREA.

LO RESIDENCE  
7736 N. BEACH DRIVE  
FOX POINT, WISCONSIN

| ISSUED     |                  |
|------------|------------------|
| DATE       | DESCRIPTION      |
| 09.24.2021 | FOR CONSTRUCTION |

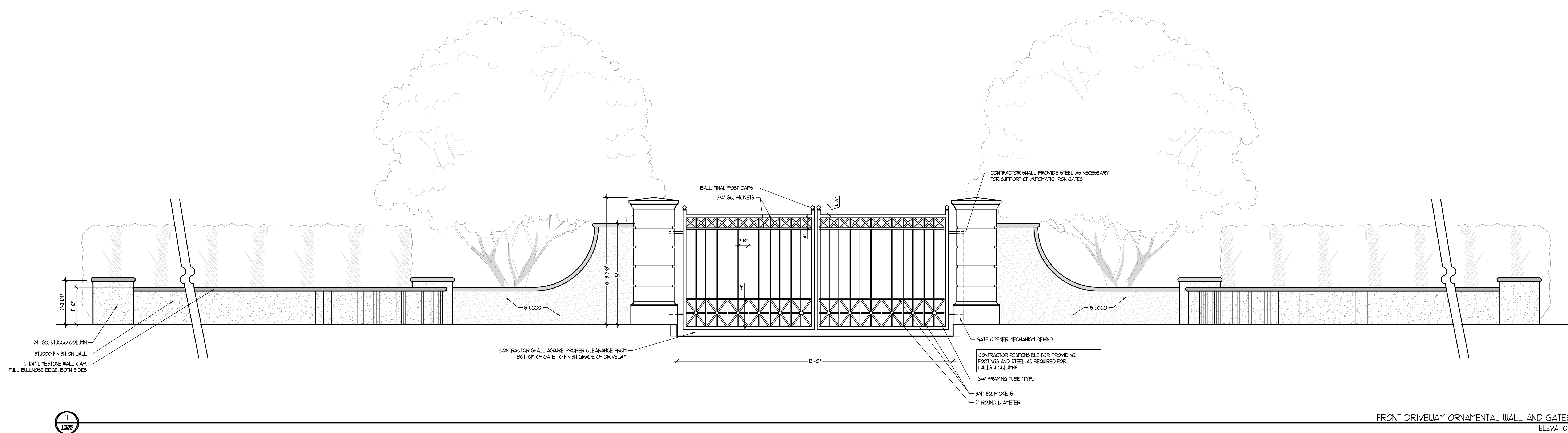
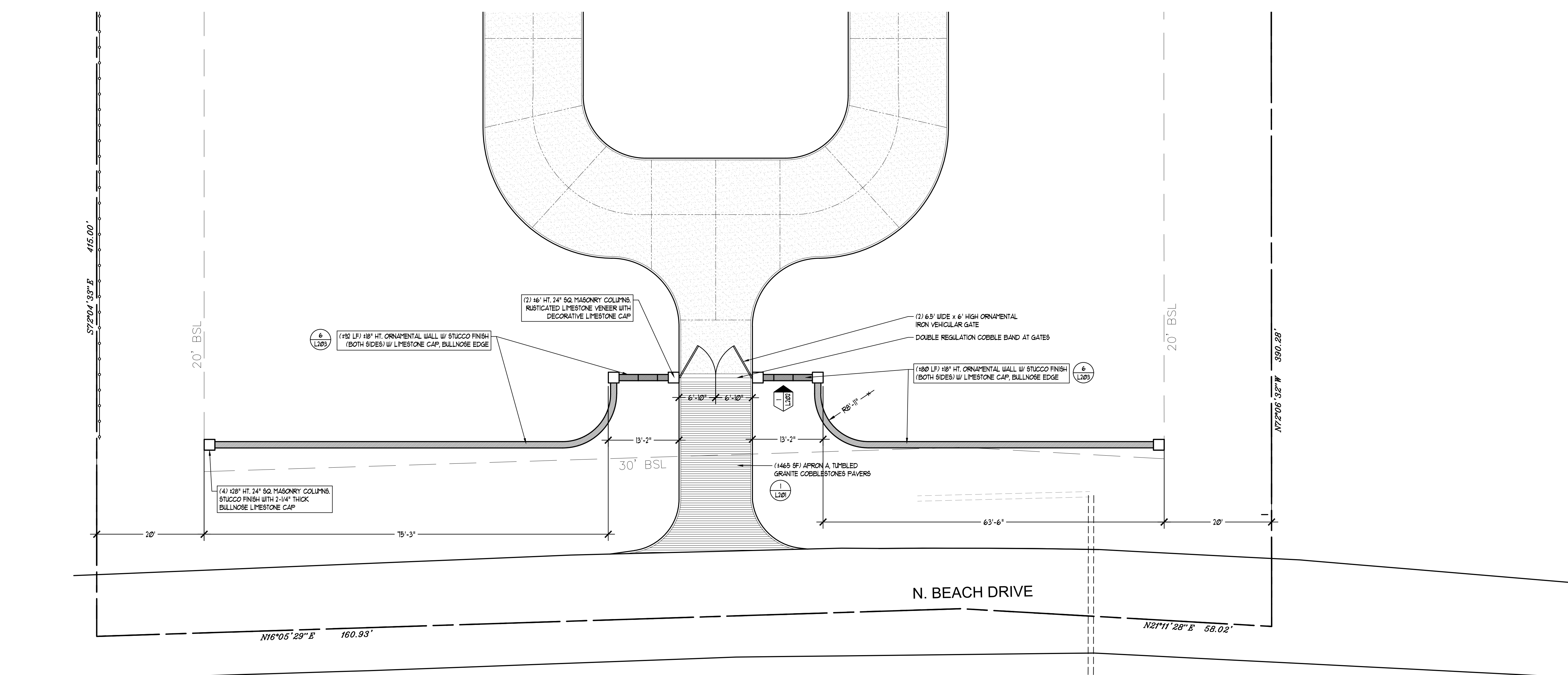
## REVISIONS

|          |          |
|----------|----------|
| JOB NO:  | 22685    |
| SCALE:   | 1" = 10' |
| DRAWN:   | AGM      |
| CHECKED: | CH       |

NORTH: 

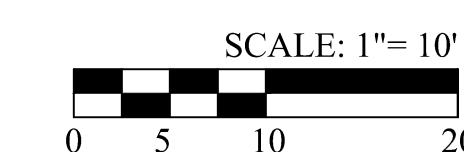
HARDSCAPE  
PLAN

SHEET NO:  
**L-105**



FRONT DRIVEWAY ORNAMENTAL WALL AND GATES

CONSTRUCTION SET  
RELEASED FOR CONSTRUCTION



---

SCALE: 1" = 10'



A horizontal scale bar with alternating black and white segments. Below the bar are numerical markers at 0, 5, 10, and 20, representing feet.



VILLAGE OF FOX POINT  
7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 247-6622  
www.villageoffoxpoint.com

Permit Number: \_\_\_\_\_

| OFFICE USE ONLY |  |
|-----------------|--|
| Issued Date     |  |
| Zoning          |  |

## BUILDING PERMIT

|                              |                                                                                                                                                                          |                |                          |
|------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|--------------------------|
| Job Address                  | 420 E. APPLE TREE RD.                                                                                                                                                    | Building Type: | Residential - Commercial |
| Description of Work          | TAKING A (2) WIDE DOUBLE HUNG WINDOW OUT & REPLACING IT WITH A (2) PANEL SWINGING PATIO DOOR. WE ARE STAYING WITHIN THE EXISTING WIDTH OF THE WINDOW & REMOVING KNEEWALL |                |                          |
| Estimated Cost of Project \$ | 8600 <sup>00</sup>                                                                                                                                                       |                |                          |

|                |                          |
|----------------|--------------------------|
| Owner/Occupant |                          |
| Contact Name   | GREG & MAGGIE SCALZO     |
| Address        | 420 E. APPLE TREE RD.    |
| Phone          | 847-962-1995             |
| Business Name  |                          |
| City/State/Zip | MELBON WI 53217          |
| Email          | SCALZO.GREGORY@GMAIL.COM |

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

|                                 |                            |
|---------------------------------|----------------------------|
| Contractor                      |                            |
| Company Name                    | VERHALEN INC/PHILIC        |
| Address                         | 500 PILGRIM WAY            |
| Phone                           | 920-435-3791 / CS 262-8531 |
| Dwelling Contractor #           | DC 051700026               |
| Contact Name                    | C.J. CALLIES (PELLA)       |
| City/State/Zip                  | GREEN BAY WI 54304         |
| Email                           | CCALLIES@PELLA.WI.COM      |
| Dwelling Contractor Qualifier # | 072100814                  |

| Square Footage Under Construction |                       |          |          |        |
|-----------------------------------|-----------------------|----------|----------|--------|
| 1 <sup>st</sup> Floor             | 2 <sup>nd</sup> Floor | Basement | Addition | Garage |

| Description                                                                                                            | Rate             | Amount    |
|------------------------------------------------------------------------------------------------------------------------|------------------|-----------|
| Project - Per \$1,000 of estimated cost $8,600^00 \times 0.0095 =$                                                     | \$9.50           | 81.70     |
| Building Board                                                                                                         | \$75.00          | 75.00     |
| Footing early start - \$210.00 one and two family; \$280.00 commercial                                                 |                  |           |
| Plan Review - \$250.00 one and two family; New Construction<br>\$300.00 plus \$27.00/unit commercial; New Construction |                  |           |
| State Seal                                                                                                             | \$65.00          |           |
| Razing, Interior Demolition \$85.00 minimum plus                                                                       | \$0.12/sqft      |           |
| Moving buildings over public ways \$230.00 plus                                                                        | \$0.12/sqft      |           |
| Fuel tanks - Per 1,000 gallons                                                                                         | \$24.00          |           |
| Re-inspection                                                                                                          | \$100.00         |           |
| Other                                                                                                                  |                  |           |
| Work started without permit Double Fee                                                                                 |                  |           |
| Minimum Fee                                                                                                            | \$70.00          |           |
| Payable to: Village of Fox Point                                                                                       | Total Permit Fee | \$ 156.70 |

Applicant Signature

C.J. Callies (PELLA)

Date

9/9/21

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES



VILLAGE OF FOX POINT  
7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 347-8622  
www.villageoffoxpoint.com

## BUILDING BOARD

Building Board typically meets on the second Wednesday of every month at 5:00 p.m. The application deadline is 12 p.m. on the Friday prior. All applications must be complete and include the proper filing fee.

Building Board meetings will be held via Zoom. Building Board agenda with the Zoom address will be posted on the website under Agendas & Minutes.

Examples of projects that must appear before the Building Board: New Construction, Additions, Exterior Improvements, Detached Garage, Decks, Sheds > 100 sq ft, Window Replacement, New Doors, Patio Doors, Pools, Signs and Solar Systems.

Complete Building Board Applications must include:

- ☒ One set of drawings to 1/4 inch scale on 24" x 36" maximum size sheets. These shall include all elevations, floor plans, foundation plan, and cross sections.
  - **Elevation Drawings** shall include all proposed elevations of the building even if changes to the elevation are not proposed. This is to ensure consistency of all elevations. In cases where a building element may be skewed from another, it may be necessary to draw more than the four primary elevations of the building to clearly explain the intent of the design. All building elevations must be fully dimensioned to indicate heights above grade for all components. If the project is a building addition or remodeling, the original structure should be clearly illustrated as new building versus existing structure.
  - **The exterior material selection** shall be shown on all cases of additions and remodeling. All building materials must be identified and noted on each elevation drawing. This is to include, but not limited to, type and size of siding, type and size of masonry, window type and material, roofing material, fascia, rakes, soffits, eaves, and flashing materials. It is recommended to bring material samples and colors.
  - **Drawings for floor plans** shall include all floor plans of the proposed building. Each plan must include complete dimensions, and include room names for each space. In the case of an addition, each room shall be tagged either existing or new. In the case where there is a detached garage, a separate plan, fully dimensioned, for the garage must be included.
- ☒ Color photos that includes all elevations of existing home and any accessory structures on the property.
- ☐ Survey less than one year old or an accurate survey showing all buildings prepared by a certified surveyor registered by the State of Wisconsin. This must include all property lines with distances bearings, North arrow, exact location of all existing and proposed buildings, parking areas, drives, public improvements, easements, and other key features of the site. Show distances from front, rear and side property lines.
- ☐ Site plan include a North arrow and dimensions. This document must include all property lines, utility and access easements, existing setbacks, grades at one foot intervals, exact location of all existing and proposed buildings or additions including roof overhangs, all hard surfaced areas (parking areas, drives, patios, sidewalks, etc.), swimming pools, and other accessory structures.
- ☐ Open area calculation required for New Construction, Additions, and Accessory Structures.
- ☐ Existing and proposed grades submitted to engineering before Building Board meeting.
- ☐ Electronic copy of building plans emailed to [foxpoint@villageoffoxpoint.com](mailto:foxpoint@villageoffoxpoint.com).
- ☒ Completed Building Permit Application.
- ☒ Building Board Fee \$75.00 payable to the Village of Fox Point.

A REPRESENTATIVE MUST ATTEND BUILDING BOARD MEETING

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 1.056693

Sep 27, 2021

420 E Apple Tree

|                                                  |       |
|--------------------------------------------------|-------|
| Previous Balance:                                | .00   |
| LICENSES & PERMITS - BUILDING PERMIT             | 81.70 |
| 24-44460 BUILDING PERMIT                         |       |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00 |
| 24-44440 BUILDING PLANS-FILING FEE               |       |

---

|        |        |
|--------|--------|
| Total: | 156.70 |
|--------|--------|

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|       |                  |        |
|-------|------------------|--------|
| CHECK | Check No: 227778 | 156.70 |
|-------|------------------|--------|

Payor: VerHalen

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|                |        |
|----------------|--------|
| Total Applied: | 156.70 |
|----------------|--------|

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|                  |     |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

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09/27/2021 1:12 PM



VILLAGE OF FOX POINT  
7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 247-6622  
www.villageoffoxpoint.com

Permit Number: \_\_\_\_\_

| OFFICE USE ONLY |
|-----------------|
| Issued Date     |
| Zoning          |

## BUILDING PERMIT

|                              |                          |                                              |
|------------------------------|--------------------------|----------------------------------------------|
| Job Address                  | 8730 Seneca Ct           | Building Type: <u>Residential</u> Commercial |
| Description of Work          | Sunroom Addition         |                                              |
| Estimated Cost of Project \$ | <del>90,000</del> 90,000 |                                              |

|                |                       |
|----------------|-----------------------|
| Owner/Occupant |                       |
| Contact Name   | David Ferrito         |
| Address        | 8730 Seneca Ct        |
| Phone          |                       |
| Business Name  |                       |
| City/State/Zip |                       |
| Email          | Tom.Ferrito@yahoo.com |

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

|                                 |                         |
|---------------------------------|-------------------------|
| Contractor                      |                         |
| Company Name                    | Over-the-top Roofing    |
| Address                         | N59 W 14464 Babcock Ave |
| Phone                           | 414-531-7603            |
| Dwelling Contractor #           | 1096019                 |
| Contact Name                    | Rick Then               |
| City/State/Zip                  | Menomonee Falls 53051   |
| Email                           |                         |
| Dwelling Contractor Qualifier # | DC.Q-110800046          |

| Square Footage Under Construction |           |          |          |        |
|-----------------------------------|-----------|----------|----------|--------|
| 1st Floor                         | 2nd Floor | Basement | Addition | Garage |

| Description                                                                                                            | Rate                 | Amount      |
|------------------------------------------------------------------------------------------------------------------------|----------------------|-------------|
| Project - Per \$1,000 of estimated cost                                                                                | \$9.50               | 855.00      |
| Building Board                                                                                                         | \$75.00              | 75.00       |
| Footing early start - \$210.00 one and two family; \$280.00 commercial                                                 |                      |             |
| Plan Review - \$250.00 one and two family; New Construction<br>\$300.00 plus \$27.00/unit commercial; New Construction |                      |             |
| State Seal                                                                                                             | \$65.00              |             |
| Razing, Interior Demolition                                                                                            | \$85.00 minimum plus | \$0.12/sqft |
| Moving buildings over public ways                                                                                      | \$230.00 plus        | \$0.12/sqft |
| Fuel tanks - Per 1,000 gallons                                                                                         | \$24.00              |             |
| Re-inspection                                                                                                          | \$100.00             |             |
| Other                                                                                                                  |                      |             |
| Work started without permit                                                                                            | Double Fee           |             |
|                                                                                                                        | Minimum Fee          | \$70.00     |
| Payable to: Village of Fox Point                                                                                       | Total Permit Fee     | \$ 930.00   |

Applicant Signature

Date

Rev 09/20

**ISSUED PERMITS** are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 1.056740

Oct 6, 2021

8730 N Seneca Ct

|                                                  |        |
|--------------------------------------------------|--------|
| Previous Balance:                                | .00    |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00  |
| 24-44440 BUILDING PLANS-FILING FEE               |        |
| LICENSES & PERMITS - BUILDING PERMIT             | 855.00 |
| 24-44460 BUILDING PERMIT                         |        |

|        |        |
|--------|--------|
| Total: | 930.00 |
|--------|--------|

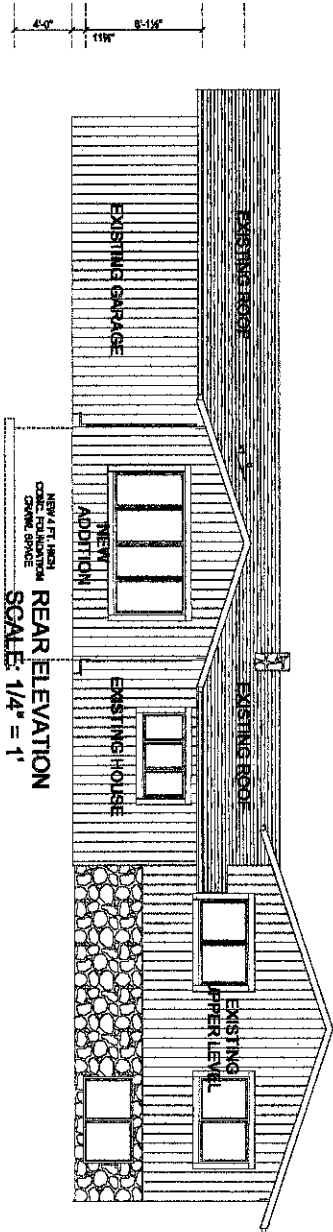
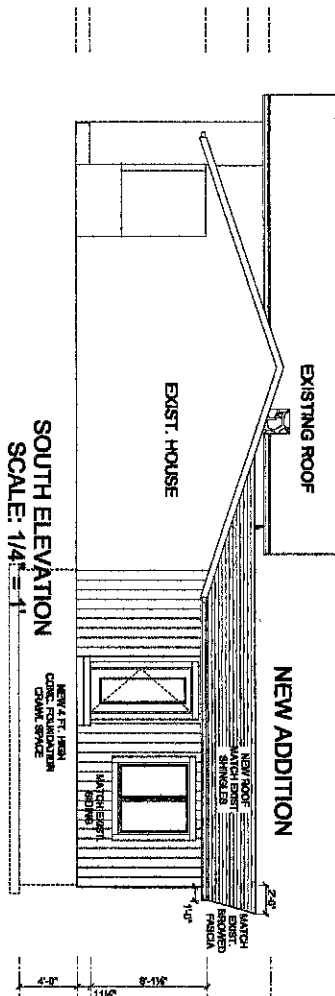
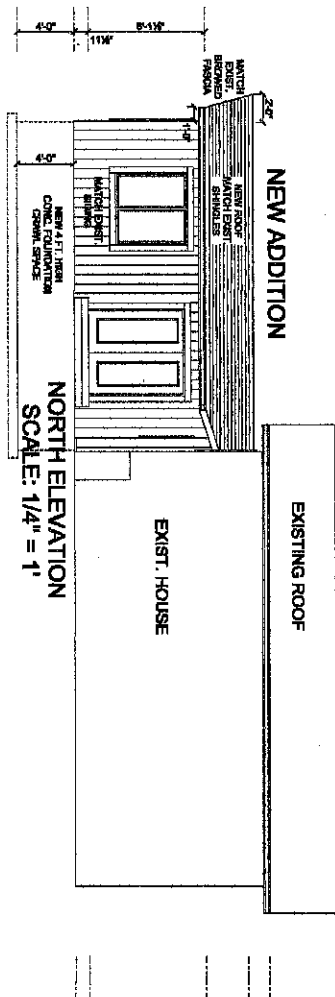
|             |        |
|-------------|--------|
| CREDIT CARD | 930.00 |
|-------------|--------|

Payor: John Ferrito

|                |        |
|----------------|--------|
| Total Applied: | 930.00 |
|----------------|--------|

|                  |     |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

10/06/2021 11:26 AM

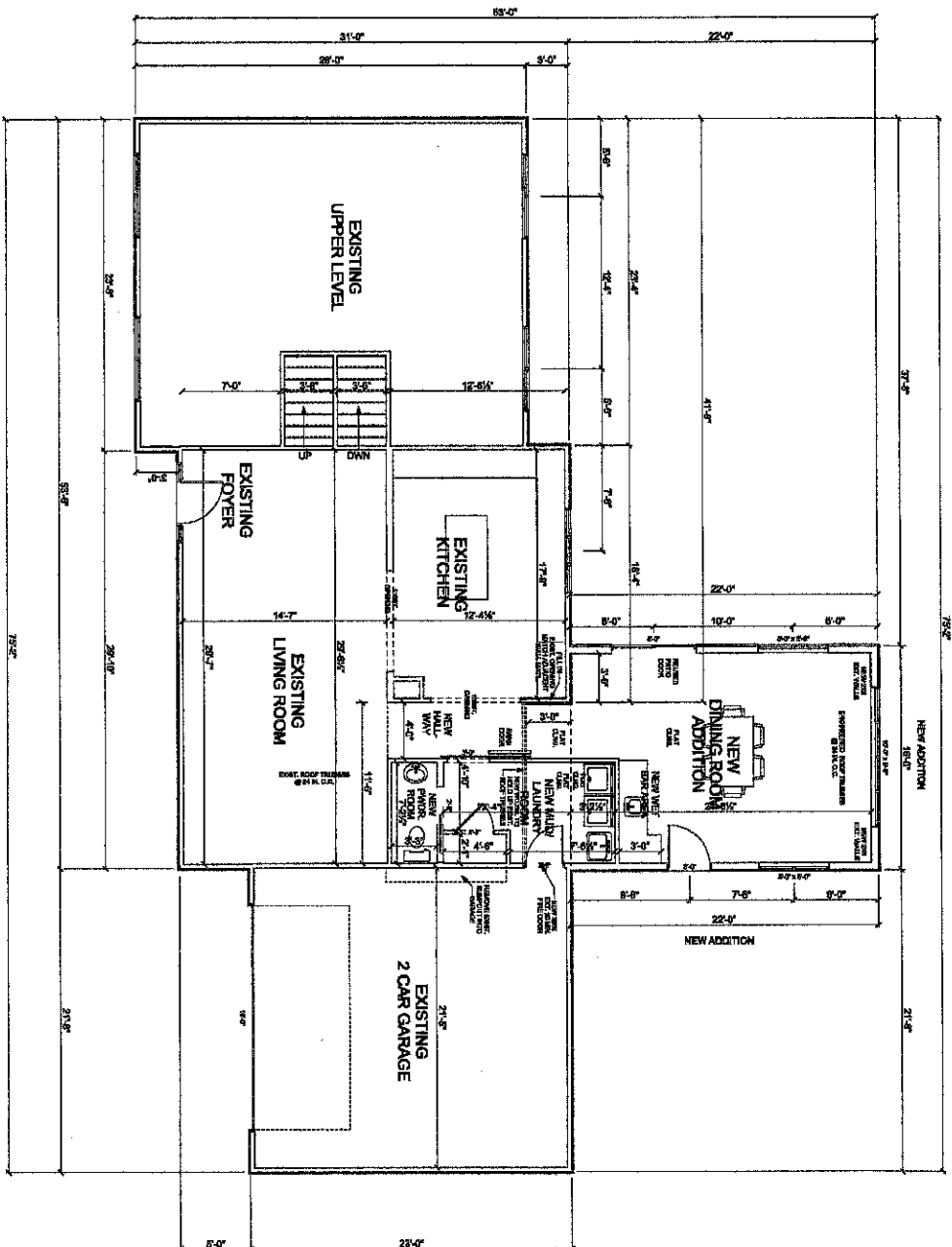


# ROOM ADDITION

SCALE: 1/4" = 1'

|                                                                                                             |  |
|-------------------------------------------------------------------------------------------------------------|--|
| <p><b>DANNY HOMES</b><br/> <b>BRUCE BEITZ</b><br/> <b>2814 OGDEN ST.</b><br/> <b>FOX LAKE, WI 53033</b></p> |  |
| <p><b>DAVE TURBIN</b><br/> <b>8720 SENECA COURT</b><br/> <b>FOX POINT, WI 53077</b></p>                     |  |
| ELEVATIONS                                                                                                  |  |
| PAGE 1 OF 4                                                                                                 |  |

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR DIMENSIONAL, STRUCTURAL, AND GENERAL ACCURACY, THE CONTRACTOR AND OWNER SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE ACCURACY OF THE INFORMATION AND BE RESPONSIBLE FOR THE SAME.



## ROOM ADDITION

**SCALE: 1/4" = 1'**

MAIN FLOOR PLAN  
SCALE: 1/4" = 1'

**SCALE: 1/4" = 1'**

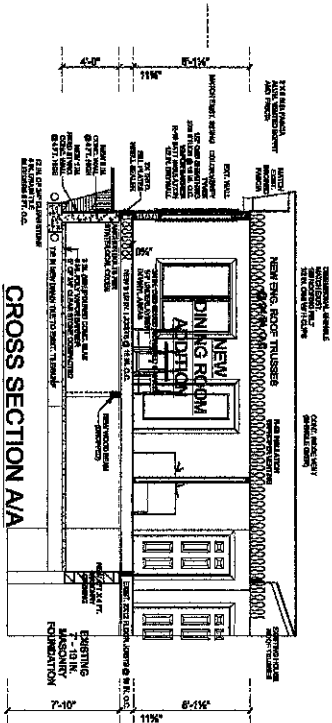
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR DIMENSIONAL, STRUCTURAL, AND GENERAL ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

**DIVINITY HOMES**  
**BRUCE REITZ**  
**201A O'CONNELL ST.**  
**FOX LAKE, WI 53033**

**DAVE TURPIN**  
**8730 SENECA COURT**  
**FOX POINT, WI 53217**

MAIN FLOOR PLAN  
PAGE 3 OF 4





CROSS SECTION A/A  
SCALE: N.T.S.

# ROOM ADDITION

SCALE: 1/4" = 1'

ALTHOUGH EVERY EFFORT HAS BEEN MADE  
IN PREPARING THESE PLANS AND CHECKING  
THEIR ACCURACY, THE ARCHITECT ASSUMES  
NO LIABILITY FOR ANY ERRORS OR OMISSIONS  
GENERAL, INCLUDING THE CONTRACTOR'S AND  
SUBCONTRACTOR'S OBLIGATION TO CHECK ALL DETAILS  
AND DIMENSIONS OF THEIR TRADE AND BE  
RESPONSIBLE FOR THE SAME.

|                     |  |
|---------------------|--|
| DIVERSITY HOMES     |  |
| BRUCE REITZ         |  |
| 2014 DOONELL ST.    |  |
| FOX LAKE, WI 53933  |  |
| DAVE TYRUM          |  |
| 8120 SENECA COURT   |  |
| FOX POINT, WI 53277 |  |
| CROSS SECTION       |  |
| PAGE 4 OF 4         |  |

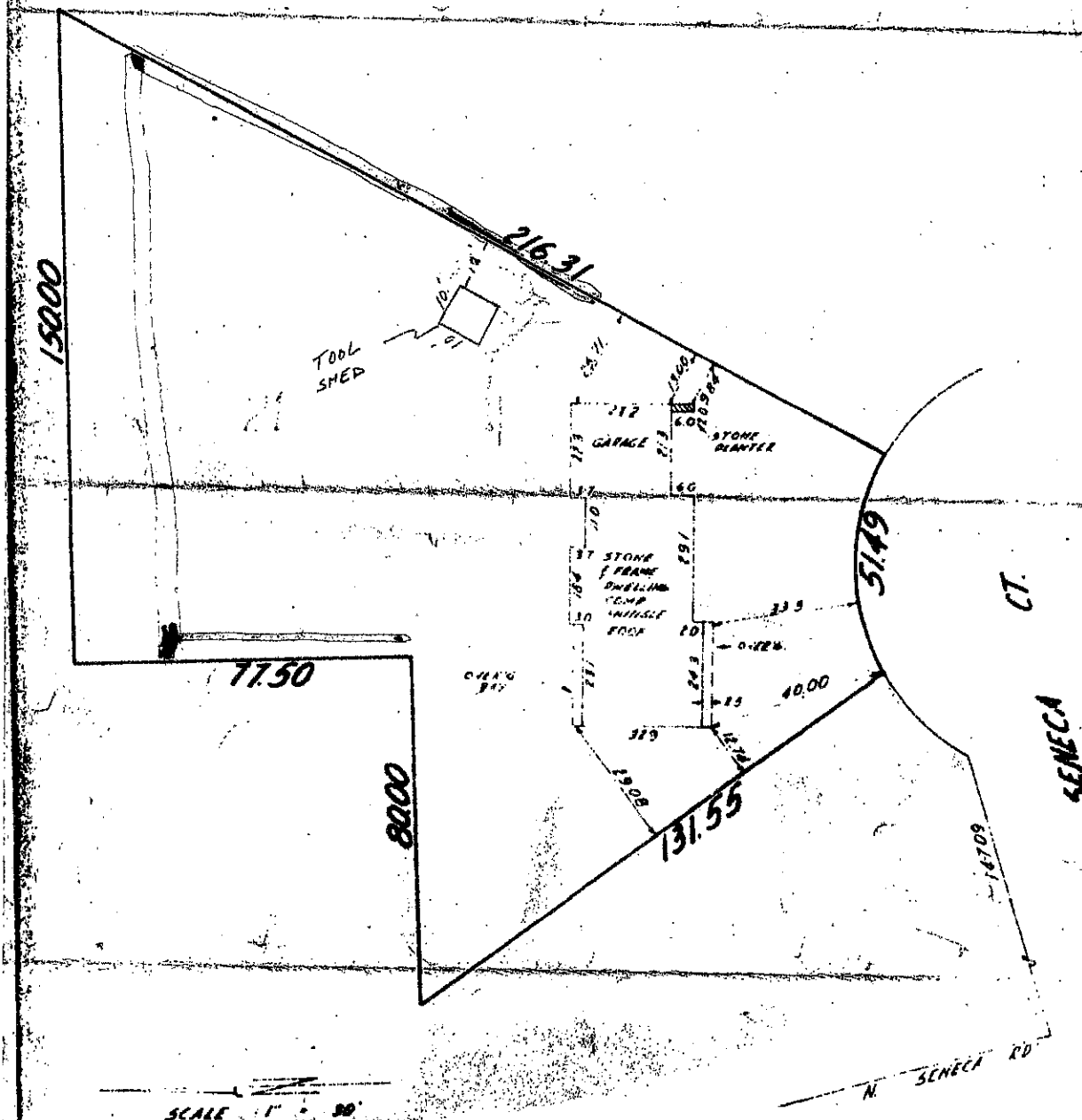
273-7100

Known as North Seneca Court, V of Fox Point, Wisconsin.

Known as North Seneca Court, V of Fox Point, Wisconsin  
 Lot 21 in Block 1 in FOX POINT SUBURBAN ACRES, being a subdivision of a part of  
 the NE 1/4 of Section 8, T 8 N, R 22 E, in the Village of Fox Point, Milwaukee County  
 Wisconsin  
 Survey No. 81608-M

April 24, 1962

**Survey No. 81609-M**



We Certify that we have surveyed the above described property and that the above plat is an accurate survey and a true representation thereof and correctly shows the exterior boundary lines and location of buildings and other improvements on said property and the correct measurements thereof.

**NATIONAL SURVEY SERVICE**  
**CIVIL ENGINEERS AND SURVEYORS**  
1725 W. QUIET ST. BLUEMOUND 5-1000  
MILWAUKEE 5, WISCONSIN



Kenneth E Burke  
SUPERVISOR

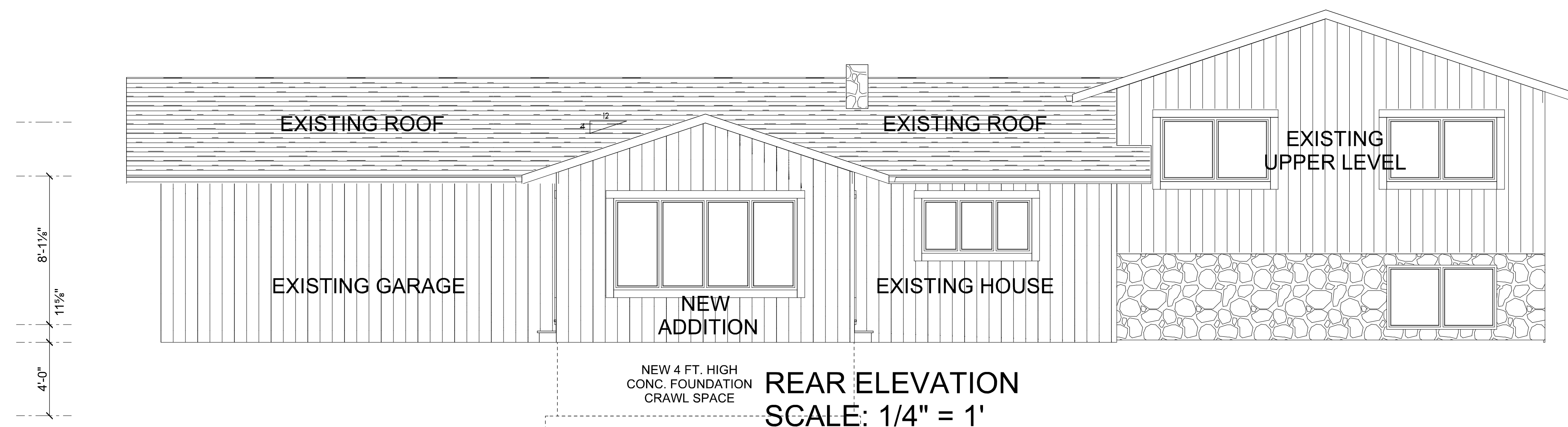
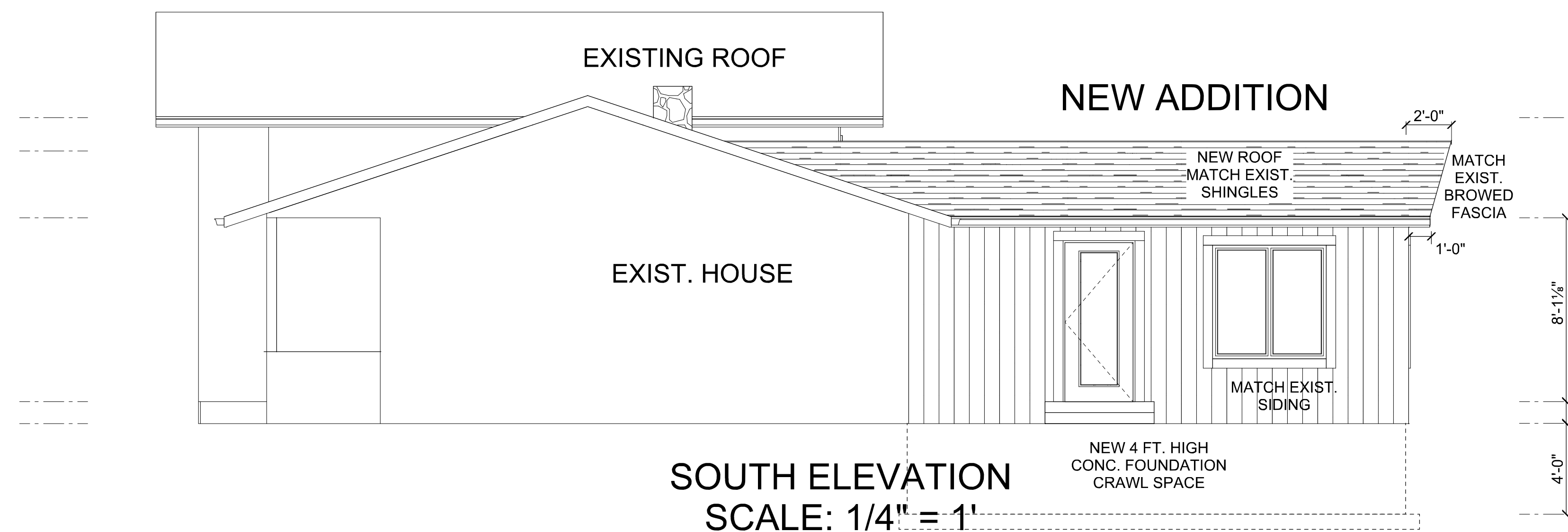
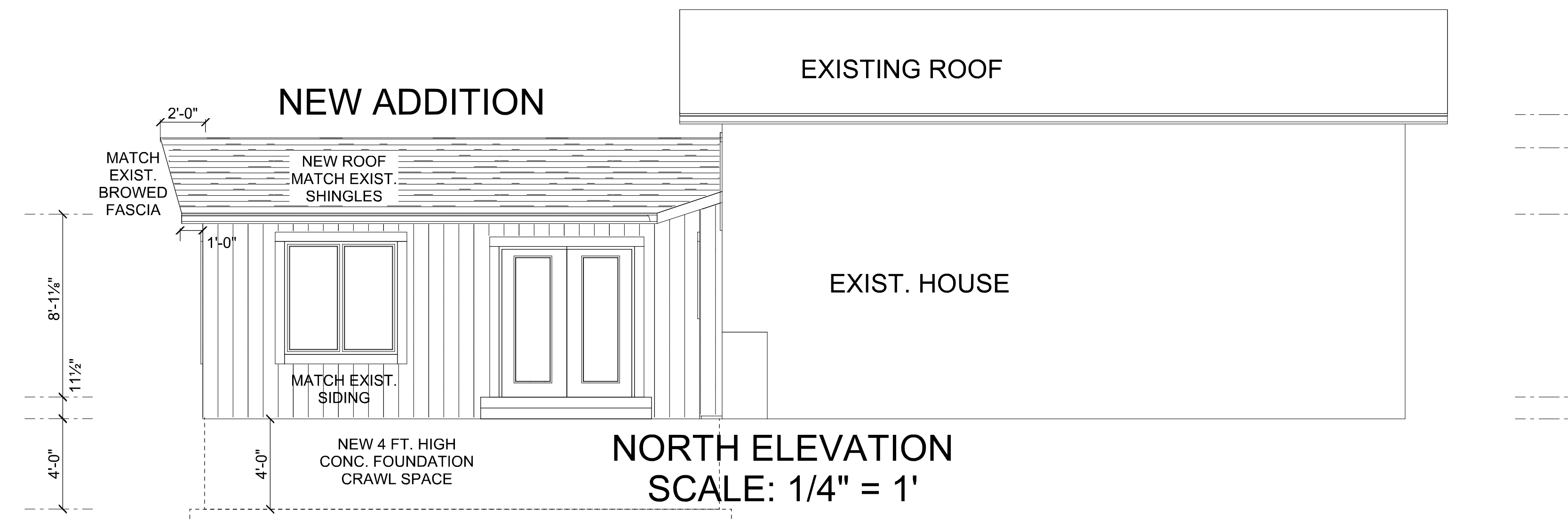












ROOM ADDITION

SCALE: 1/4" = 1'

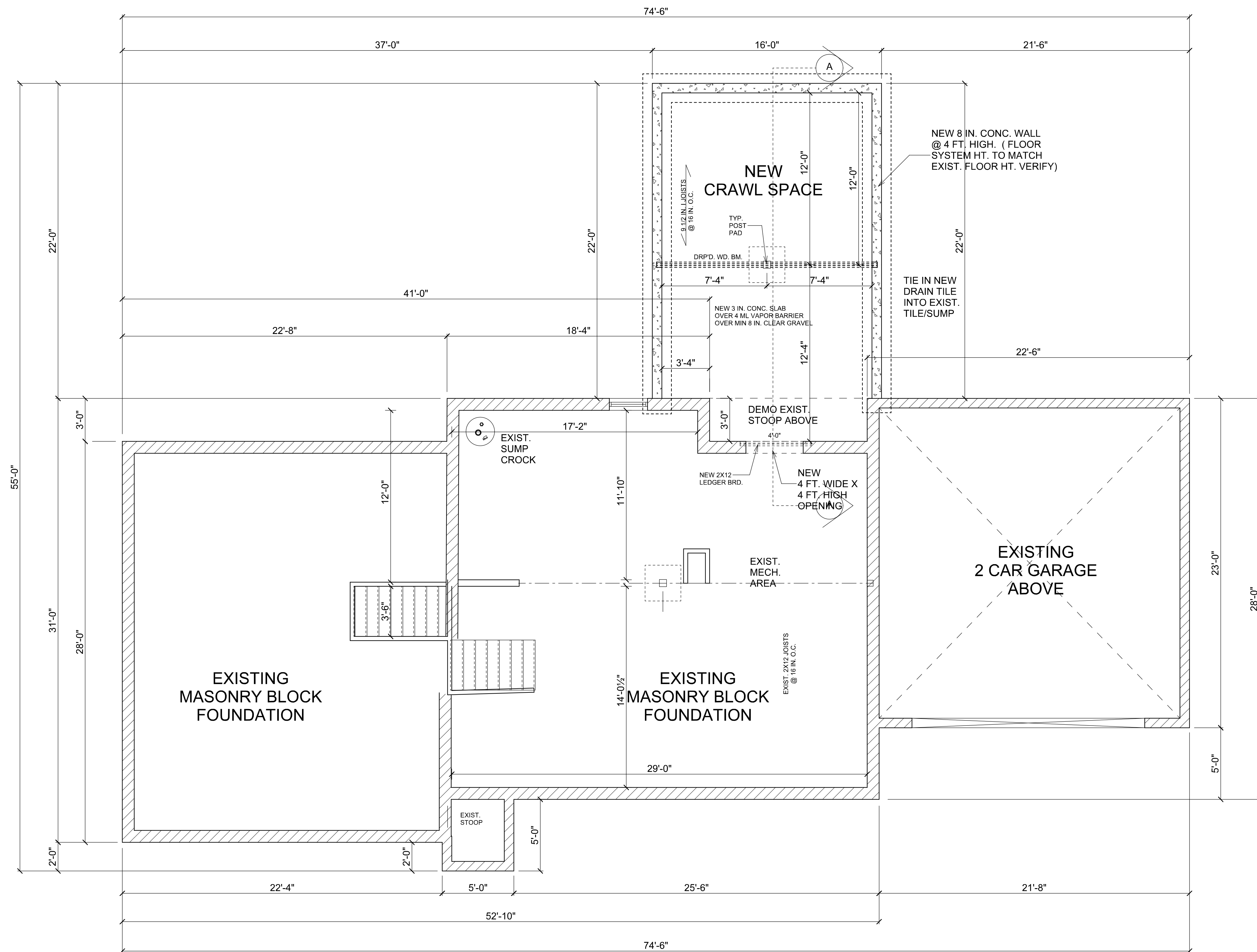
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR DIMENSIONAL, STRUCTURAL, AND GENERAL ACCURACY; THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

**DIVINITY HOMES**  
**BRUCE REETZ**  
**201A OCONNELL ST.**  
**FOX LAKE, WI 53933**

**DAVE TURIM**  
**8730 SENECA COURT**  
**FOX POINT, WI 53217**

ELEVATIONS

PAGE 1 OF 4



FOUNDATION PLAN  
SCALE: 1/4" = 1'

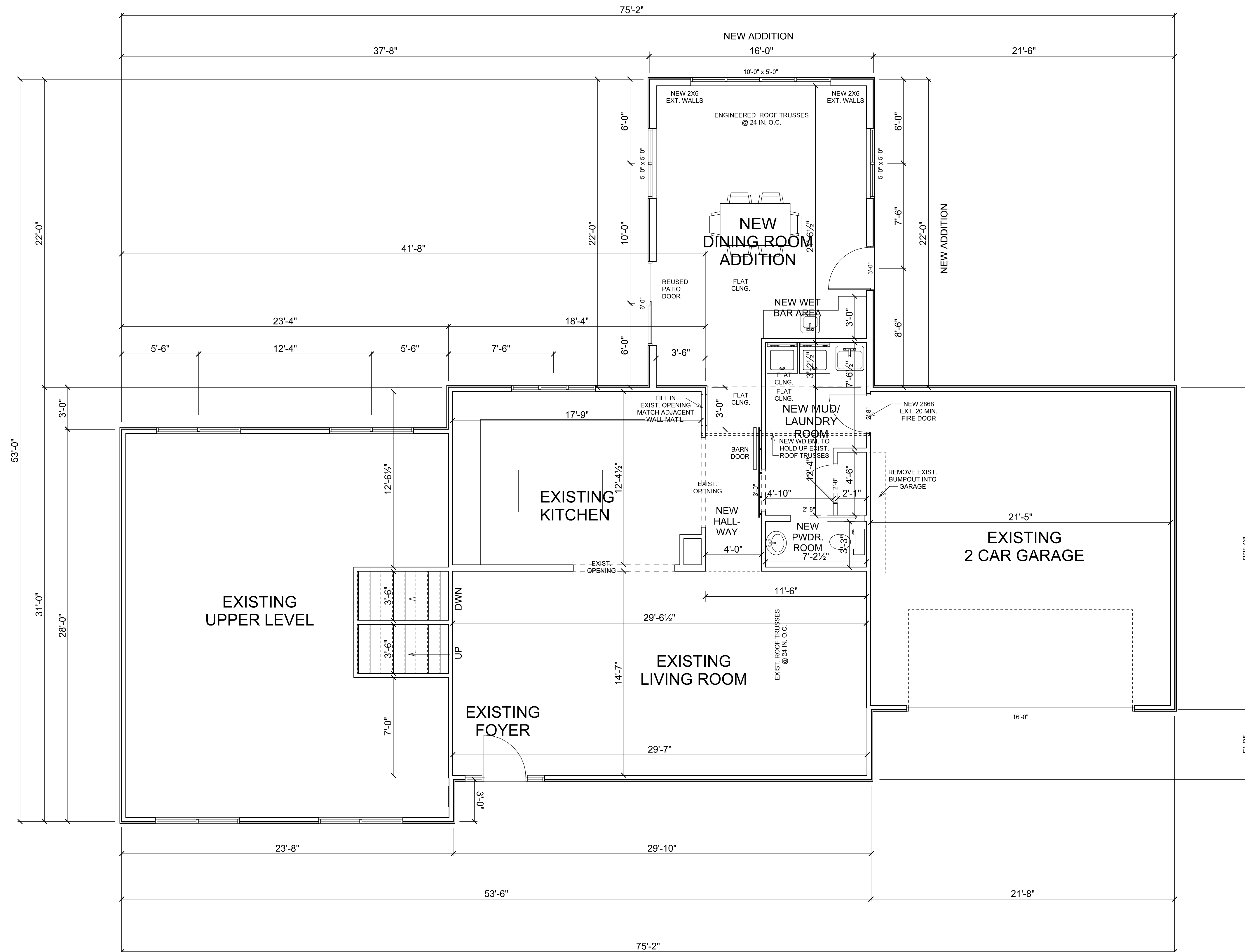
ROOM ADDITION

SCALE: 1/4" = 1'

ALTHOUGH EVERY EFFORT HAS BEEN MADE  
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**DIVINITY HOMES**  
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**201A OCONNELL ST.**  
**FOX LAKE, WI 53933**

**DAVE TURIM**  
**8730 SENECA COURT**  
**FOX POINT, WI 53217**



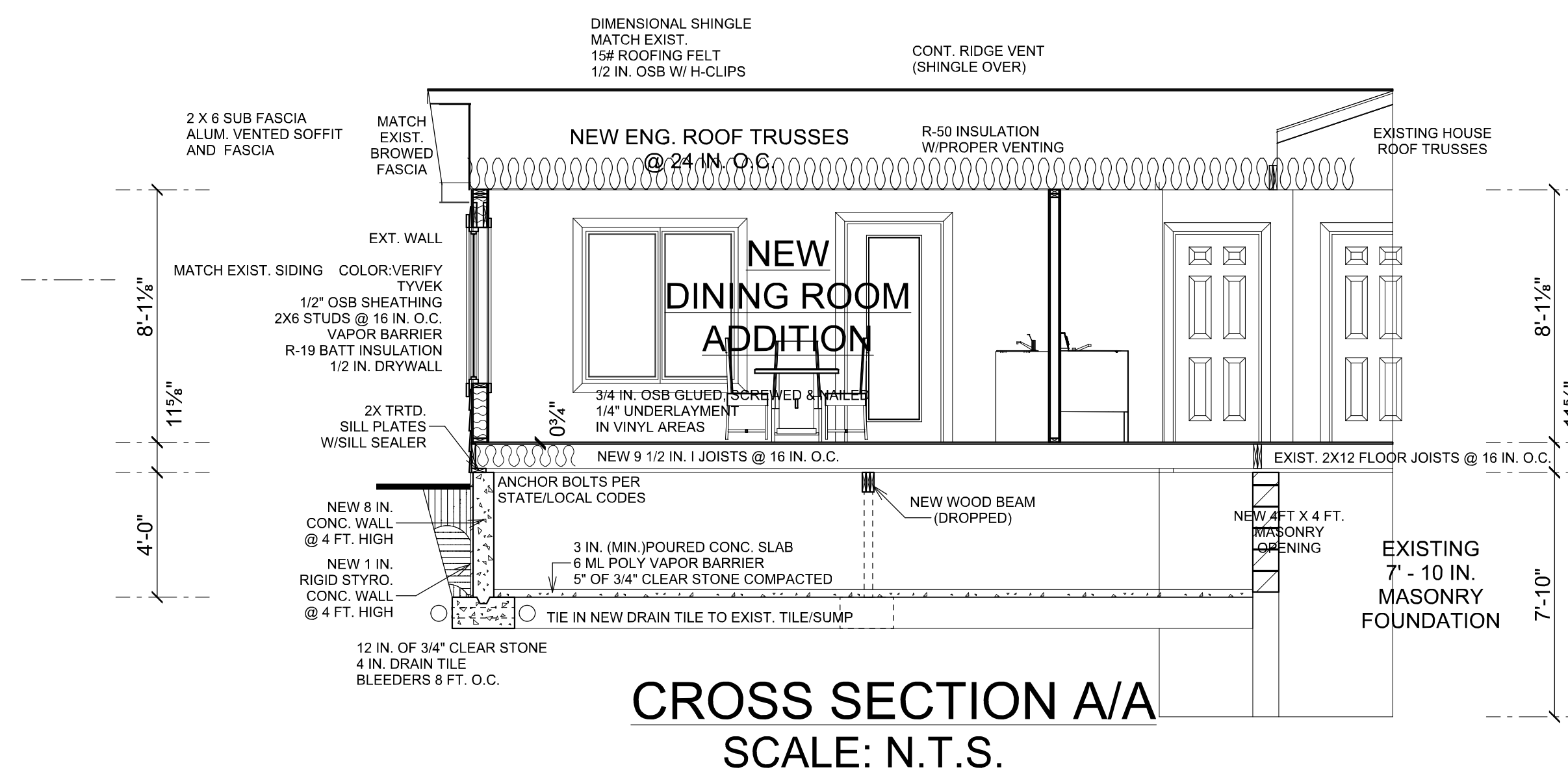
MAIN FLOOR PLAN  
SCALE: 1/4" = 1'

ROOM ADDITION

SCALE: 1/4" = 1'

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR DIMENSIONAL, STRUCTURAL, AND GENERAL ACCURACY; THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAILS AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

|                                                                          |  |
|--------------------------------------------------------------------------|--|
| DIVINITY HOMES<br>BRUCE REETZ<br>201A OCONNELL ST.<br>FOX LAKE, WI 53933 |  |
| DAVE TURIM<br>8730 SENECA COURT<br>FOX POINT, WI 53217                   |  |
| MAIN FLOOR PLAN                                                          |  |
| PAGE 3 OF 4                                                              |  |



ALTHOUGH EVERY EFFORT HAS BEEN MADE  
IN PREPARING THESE PLANS AND CHECKING  
THEM FOR DIMENSIONAL, STRUCTURAL, AND  
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**201A OCONNELL ST.**  
**FOX LAKE, WI 53933**

**DAVE TURIM**  
**8730 SENECA COURT**  
**FOX POINT, WI 53217**

CROSS SECTION

PAGE 4 OF 4

ROOM ADDITION

SCALE: 1/4" = 1'

**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 247-6622  
www.villageoffoxpoint.com

**Permit Number:**

| OFFICE USE ONLY |          |
|-----------------|----------|
| Issuance Date   |          |
| Zoning          | A-1, 55' |

**BUILDING PERMIT**

**Job Address** 1461 E Goodrich Lane **Building Type:** ☒ Residential ☐ Commercial  
**Description of Work:**

Take down the existing garage and build a new garage on the same footprint and footings.

**Estimated Cost of Project:** \$ 50,000.00

**Owner/Occupant**

**Name** Carl & Nancy Valimont **Business Name** \_\_\_\_\_  
**Address** 1461 E Goodrich Lane **City/State/Zip** Fox Point, WI. 53217  
**Phone** 414-534-8914 **Email** carl.valimont@denaliwm.com

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

**Contractor**

**Company Name** Flatwater Homes LLC **Contractor Name** \_\_\_\_\_  
**Address** 2020 E. Glendale Ave. **City/State/Zip** Whitefish Bay, WI. 53211  
**Phone** 414-750-1574 **Email** jdemski@flatwaterhomesllc.com  
**Dwelling Contractor #** DC-042000346 **Dwelling Contractor Qualifier #** DCQ-062000649

**Square Footage Under Construction**

**1<sup>st</sup> Floor** \_\_\_\_\_ **2<sup>nd</sup> Floor** \_\_\_\_\_ **Basement** \_\_\_\_\_ **Addition** \_\_\_\_\_ **Garage** 660

**Permit Costs**

|                                                                        | Rate                 | Amount      |
|------------------------------------------------------------------------|----------------------|-------------|
| Project - Per \$1,000 of estimated cost                                | \$9.50               | \$ 475.00   |
| Building Board                                                         | \$75.00              | \$75.00     |
| Footing early start - \$210.00 one and two family; \$280.00 commercial |                      |             |
| Plan Review - \$250.00 one and two family; New Construction            |                      |             |
| \$300.00 plus \$27.00/unit commercial; New Construction                |                      |             |
| State Seal                                                             | \$65.00              |             |
| Razing, Interior Demolition                                            | \$85.00 minimum plus | \$0.12/sqft |
| Moving Buildings over Public Ways                                      | \$230.00 plus        | \$0.12/sqft |
| Fuel Tanks - Per 1,000 gallons                                         | \$24.00              |             |
| Re-inspection                                                          | \$100.00             |             |

Work started without permit **Double Fee**

**Payable to: Village of Fox Point**

**Total Permit Fee** \$550.00

**\*\*Minimum Fee \$70.00**

**Applicant Signature** \_\_\_\_\_

Rev 0619

**Date** 10/8/21

**ISSUED PERMITS are available on the Village website under PERMITS & LICENSES**

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 1.056751

Oct 8, 2021

1461 E Goodrich

|                                                  |        |
|--------------------------------------------------|--------|
| Previous Balance:                                | .00    |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00  |
| 24-44440 BUILDING PLANS-FILING FEE               |        |
| LICENSES & PERMITS - BUILDING PERMIT             | 475.00 |
| 24-44460 BUILDING PERMIT                         |        |
| <hr/>                                            |        |
| Total:                                           | 550.00 |
| <hr/>                                            |        |
| CHECK                                            | 550.00 |
| Check No: 1591                                   |        |
| Payor: Joel Demski                               |        |
| Total Applied:                                   | 550.00 |
| <hr/>                                            |        |
| Change Tendered:                                 | .00    |
| <hr/>                                            |        |

Duplicate Copy

10/08/2021 9:28 AM



## VILLAGE OF FOX POINT

7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 247-6622  
[www.villageoffoxpoint.com](http://www.villageoffoxpoint.com)

## BUILDING BOARD

The Building Board meeting is typically held on the first and third Friday of every month starting at 7:45 a.m. Please check the website, [www.villageoffoxpoint.com](http://www.villageoffoxpoint.com) for an up to date schedule.

The application deadline is the Monday prior to the Friday meeting at noon. All applications must be complete and shall include the proper filling fee.

The following are examples of projects that must appear before the Building Board: New Construction, Additions, Exterior Improvements, Detached Garage, Decks, Sheds ( $\geq 100$  sqft), Window Replacement, New Doors, Patio Doors, and Signs.

- ☐ **Three (3) Sets of drawings** to 1/4 inch scale on 24" x 36" maximum size sheets. These shall include all elevations, floor plans, foundation plan, and cross sections.  
**Elevation Drawings** shall include all proposed elevations of the building, even if changes to the elevation are not proposed. This is to ensure consistency of all elevations. In cases where a building element may be skewed from another, it may be necessary to draw more than the four primary elevations of the building to clearly explain the intent of the design. All building elevations must be fully dimensioned to indicate heights above grade for all components. If the project is a building addition or remodeling, the original structure should be clearly illustrated as new building versus existing structure. **The complete existing elevation should be shown in all cases of additions and remodeling.** All building materials must be identified and noted on each elevation drawing. This is to include, but not limited to, type and size of siding, type and size of masonry, window type size and material, roofing material, fascia, rakes, soffits, eaves, and flashing materials. It is recommended to bring material samples and colors.  
**Dimensioned floor plans** shall include all floor plans of the proposed building. Each plan must include complete dimensions, and include room names for each space. In the case of an addition, each room shall be tagged either existing or new. In the case where there is a detached garage, a separate plan, fully dimensioned, for the garage must be included
- ☐ **Three (3) Sets – Color photos** that includes all elevations of existing home and any accessory structures on the property.
- ☐ **Three (3) Sets – Survey** (to be less than one year old or an accurate survey showing all buildings) This document must include all property lines with distances bearings, North arrow, exact location of all existing and proposed buildings, parking areas, drives, public improvements, easements, and other key features of the site. Show distances from front, rear and side property lines.
- ☐ ~~**Site Plan** (Include a North arrow, dimensions, and proposed roof configuration) This document must include all property lines, utility and access easements, zoning setbacks, grades at one foot intervals, exact location of all existing and proposed buildings or additions including roof overhangs, all hard surfaced areas (parking areas, drives, patios, sidewalks, etc.), swimming pools, and other accessory structures.~~
- ☒ **Open Area** calculation required for New Construction, Additions, and Accessory Structures.
- ☒ **Completed Building Permit Application**
- ☒ **Building Board Fee** \$75.00 Payable to the Village of Fox Point.
- ☐ **IT IS MANDATORY THAT A REPRESENTATIVE IS IN ATTENDANCE.**

# FWH – Valimont Garage Design

- Windows will be white paint grade
- Siding will be beveled cedar or composite, to match existing
- Door to match existing
- Skirt on freeze board to match existing
- Asphalt shingles to match the existing house
- White round gutters to match the existing

## Open Air Calculation

Total lot area – 92,979 sq./ft. or 2.134 acres

Total structure area – 5,212 sq./ft.

Home footprint 4,552 sq./ft.

Garage 660 sq./ft.

$5,212/92,979 = 5.6\%$  coverage

PLAT NO.

PERCOLATION TESTS

LAND CONSULTANT

SEWER & WATER DESIGN

SUBDIVIDING

**W. G. NIENOW ENGINEERING ASSOC.  
CONSULTING ENGINEERS—SURVEYORS**

1743 W. GREEN TREE ROAD

TELEPHONE 351-1620

MILWAUKEE, WIS.

WALLACE G. NIENOW, P.E.

ASSOCIATES

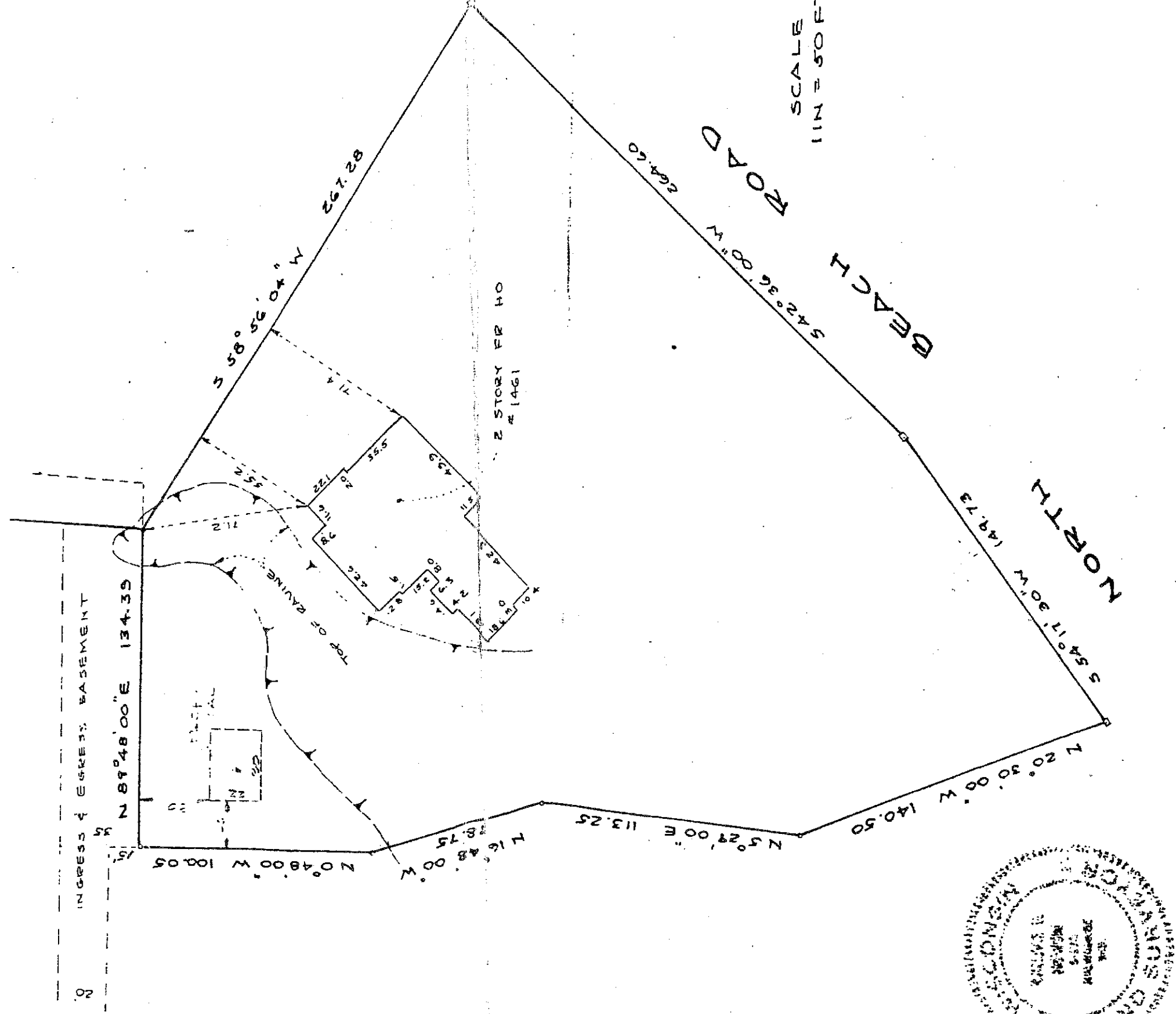
KENNETH B. WESTERN,

CARL R. RAHMIG, P.E.

**PLAT OF SURVEY**

PREPARED FOR J. J. Hegarty

DESCRIPTION OF PROPERTY Parcel 1 of Certified Survey Map No. 2702 located in the Northeast Fraction  
1/4 of Section 16, Town 8 North, Range 22 East, in the Village of Fox Point  
Milwaukee County, Wisconsin.



**AFFIDAVIT:**

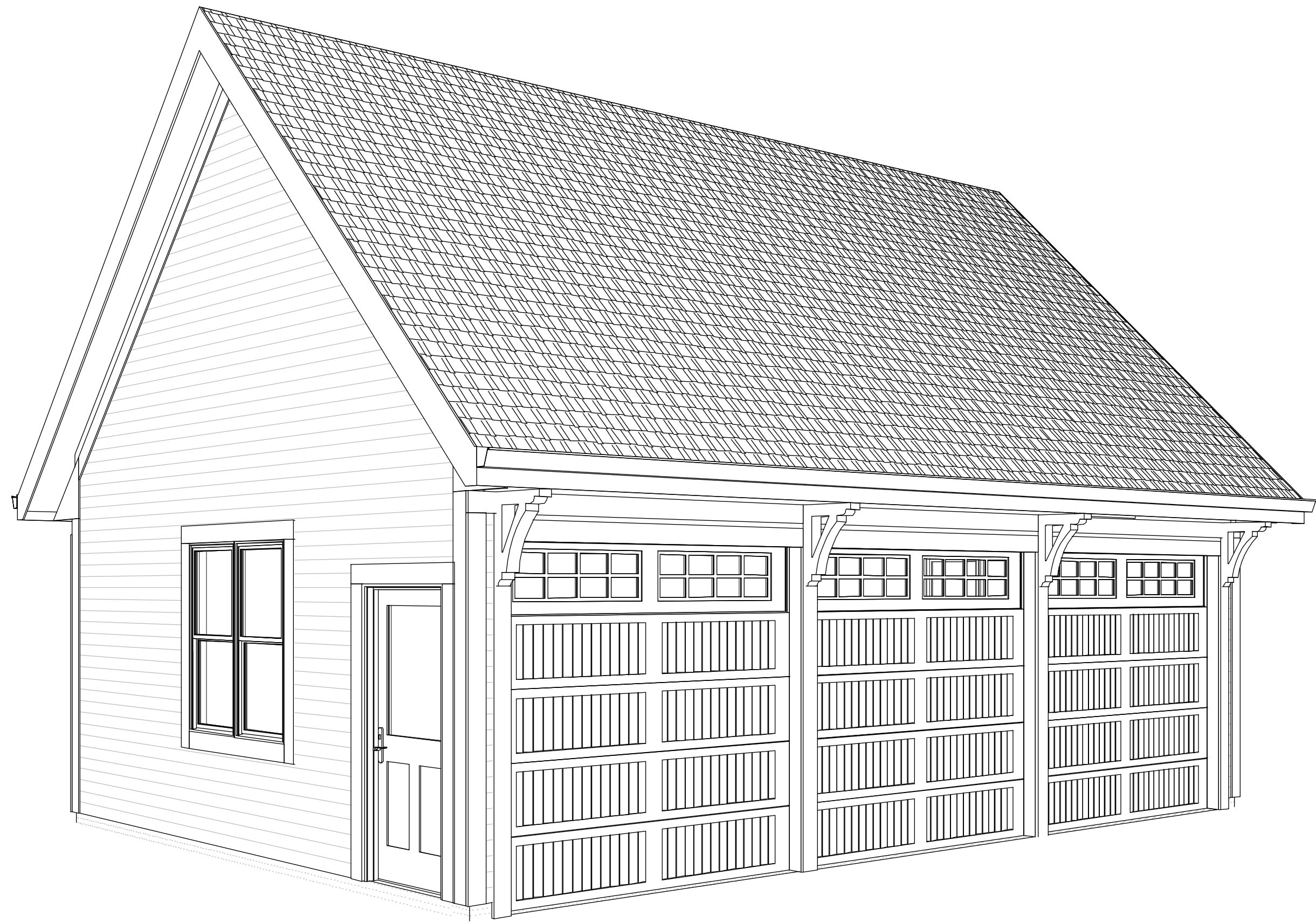
I hereby certify that I have made a survey on ..... 197.....  
and that the location of the ..... on above described  
property is correctly shown on the above plat.

STATE OF WISCONSIN  
COUNTY OF MILWAUKEE

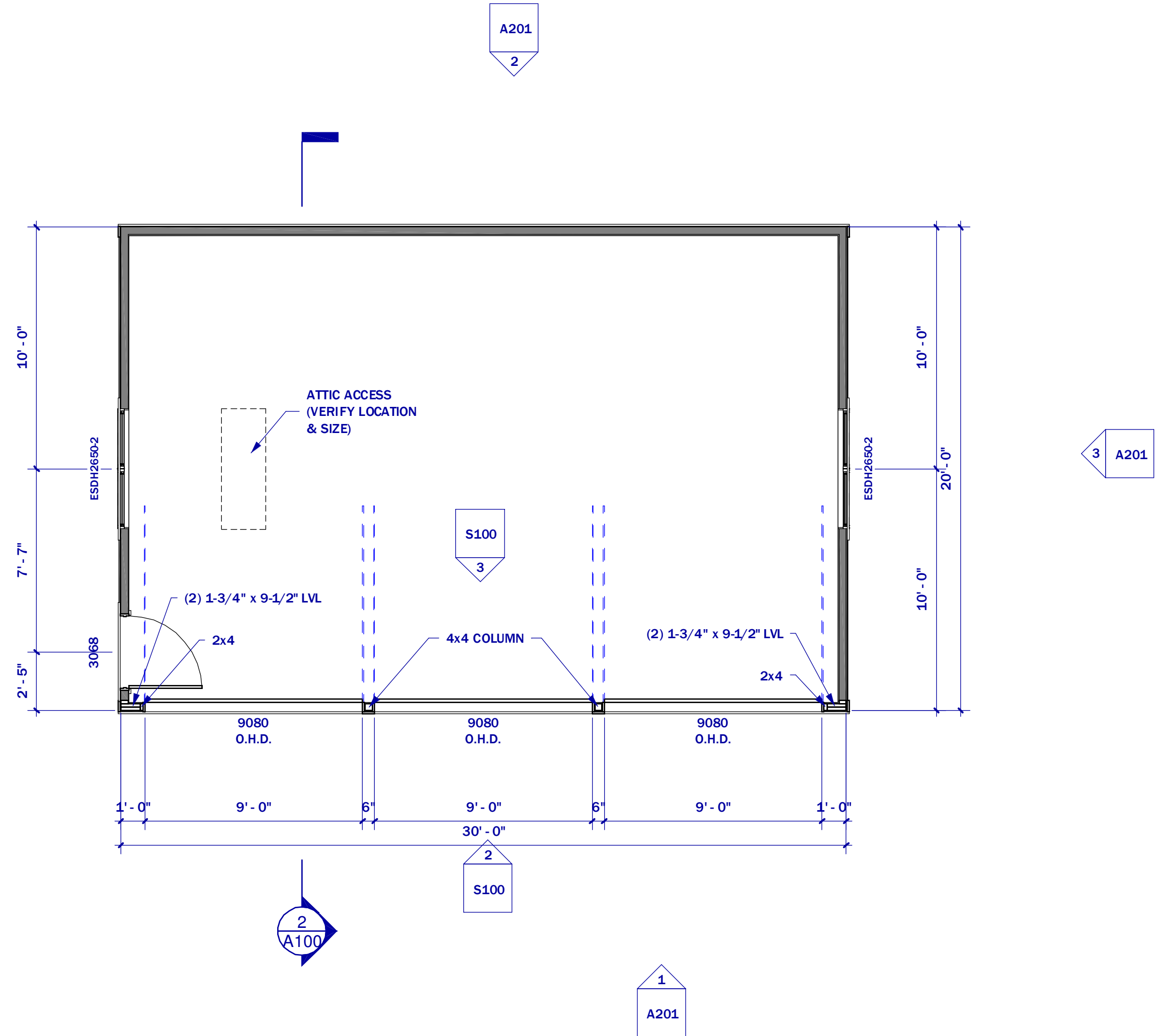
I, Wallace G. Nienow, Surveyor, do hereby certify  
have made a survey of the above described property and that the above plat is  
representation of said survey.

Milwaukee, Wisconsin

September 22, 1971  
Wallace G. Nienow

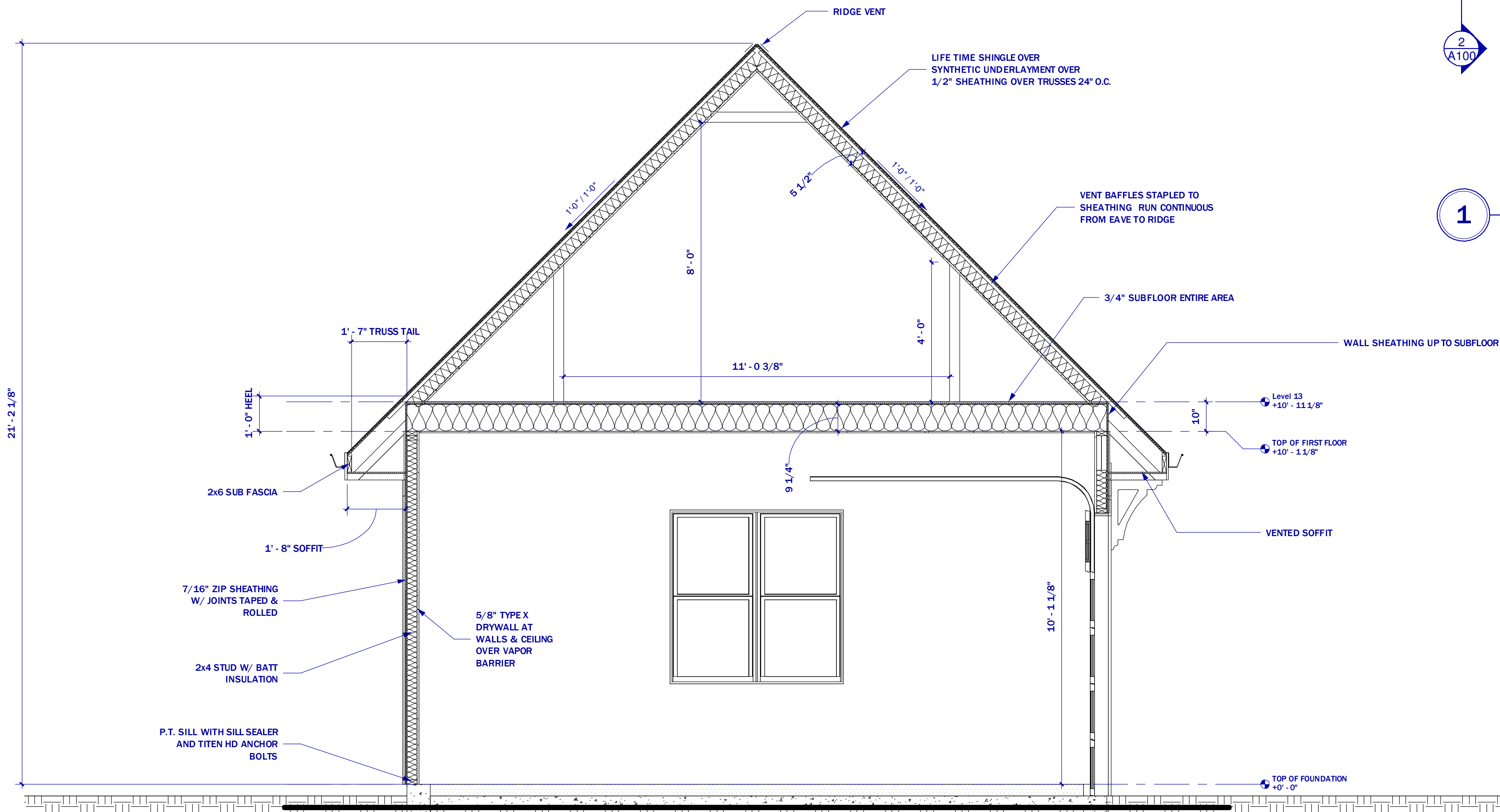


A201 4



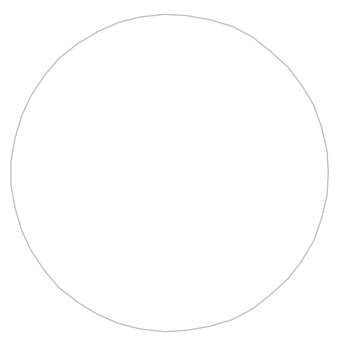
## 1 FIRST FLOOR PLAN

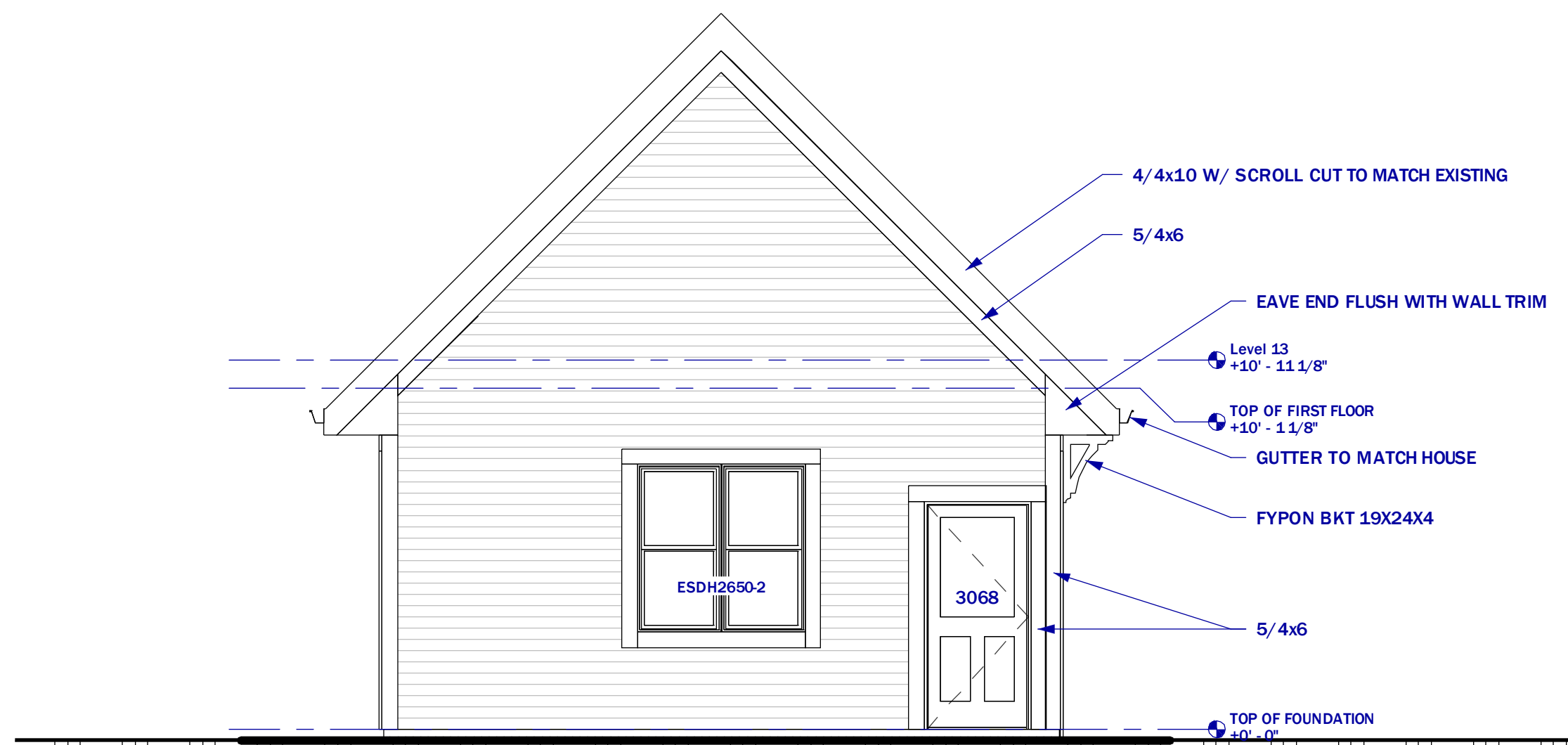
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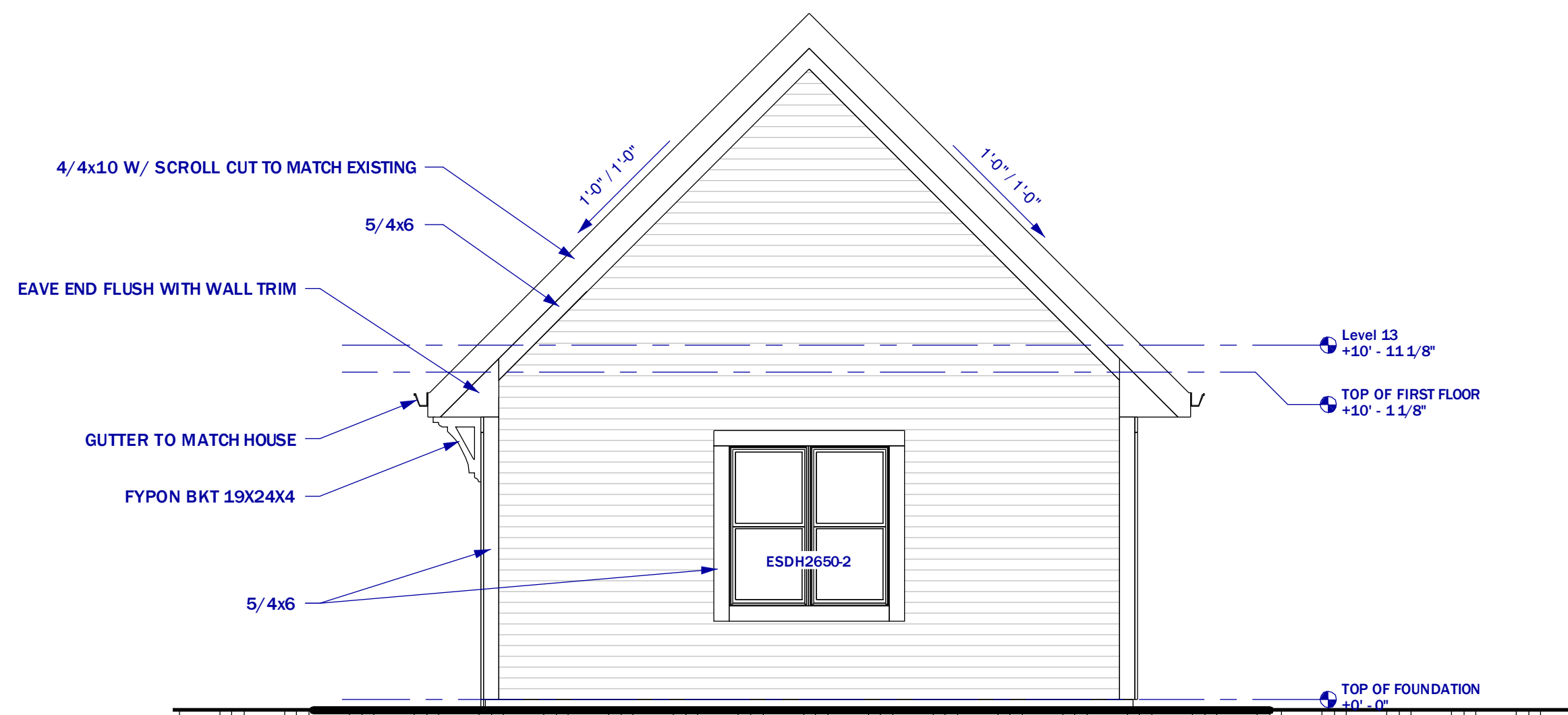
## 2 Section 6

SCALE: 1/2" = 1'-0"

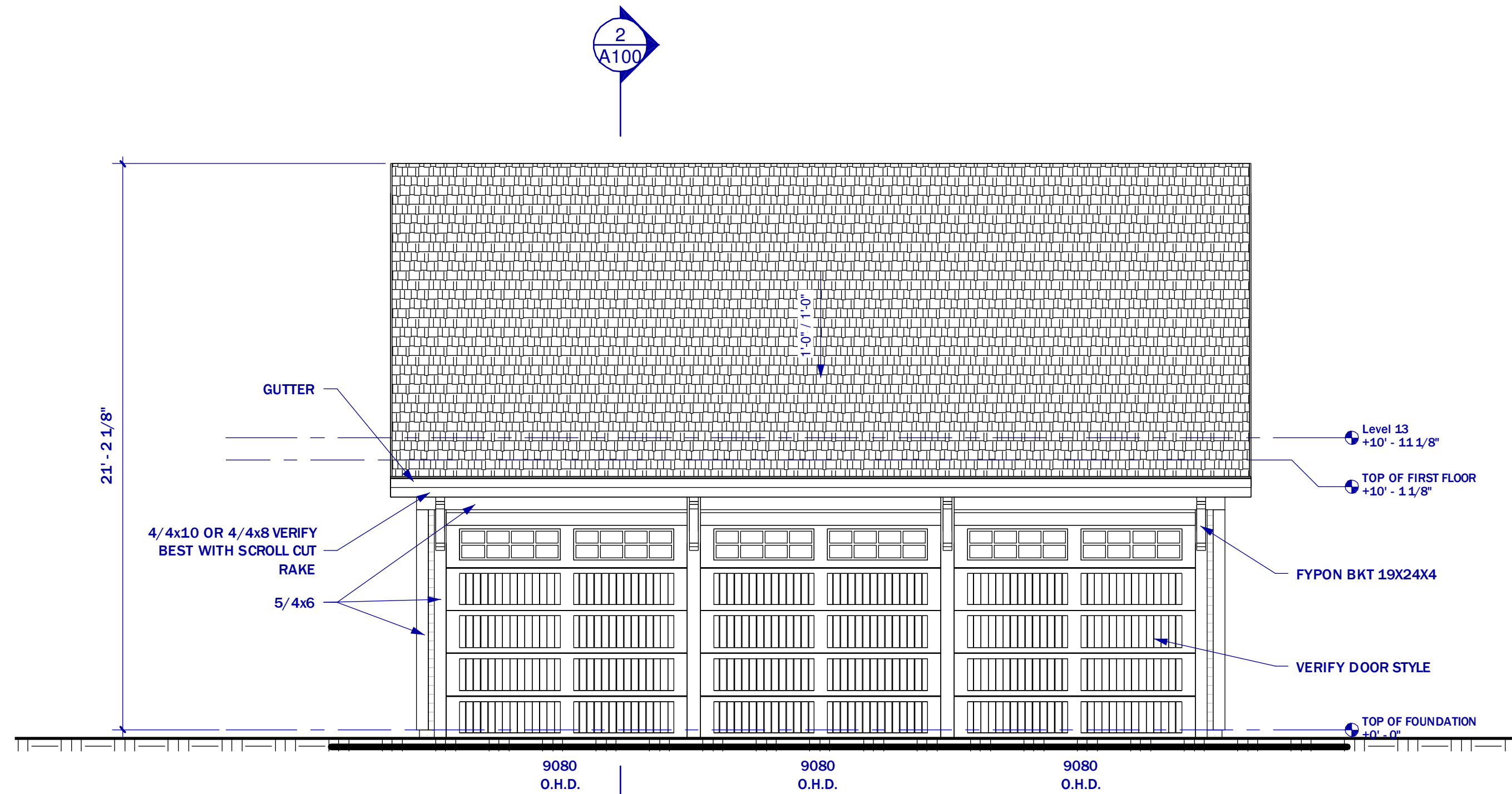




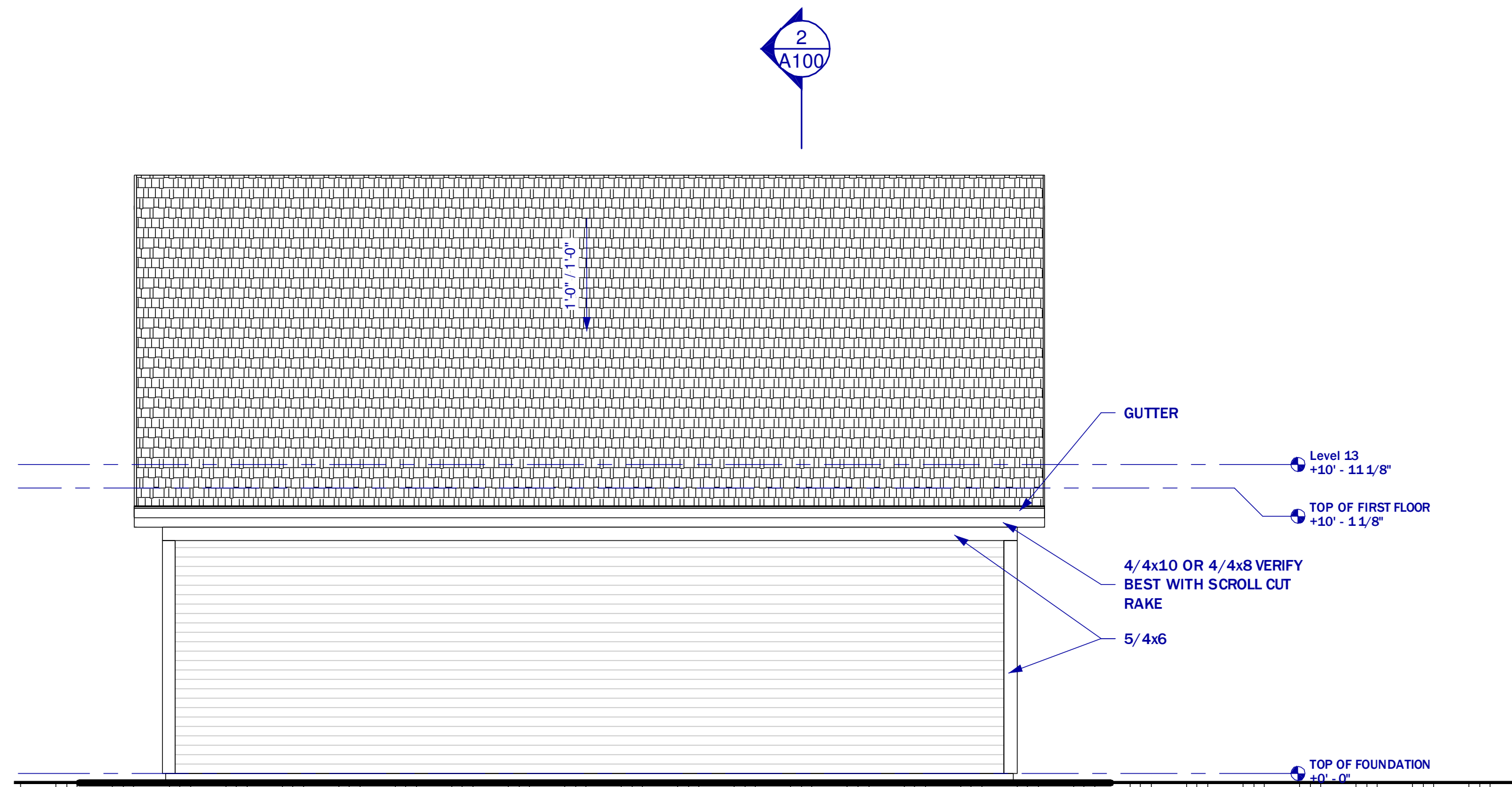
4 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



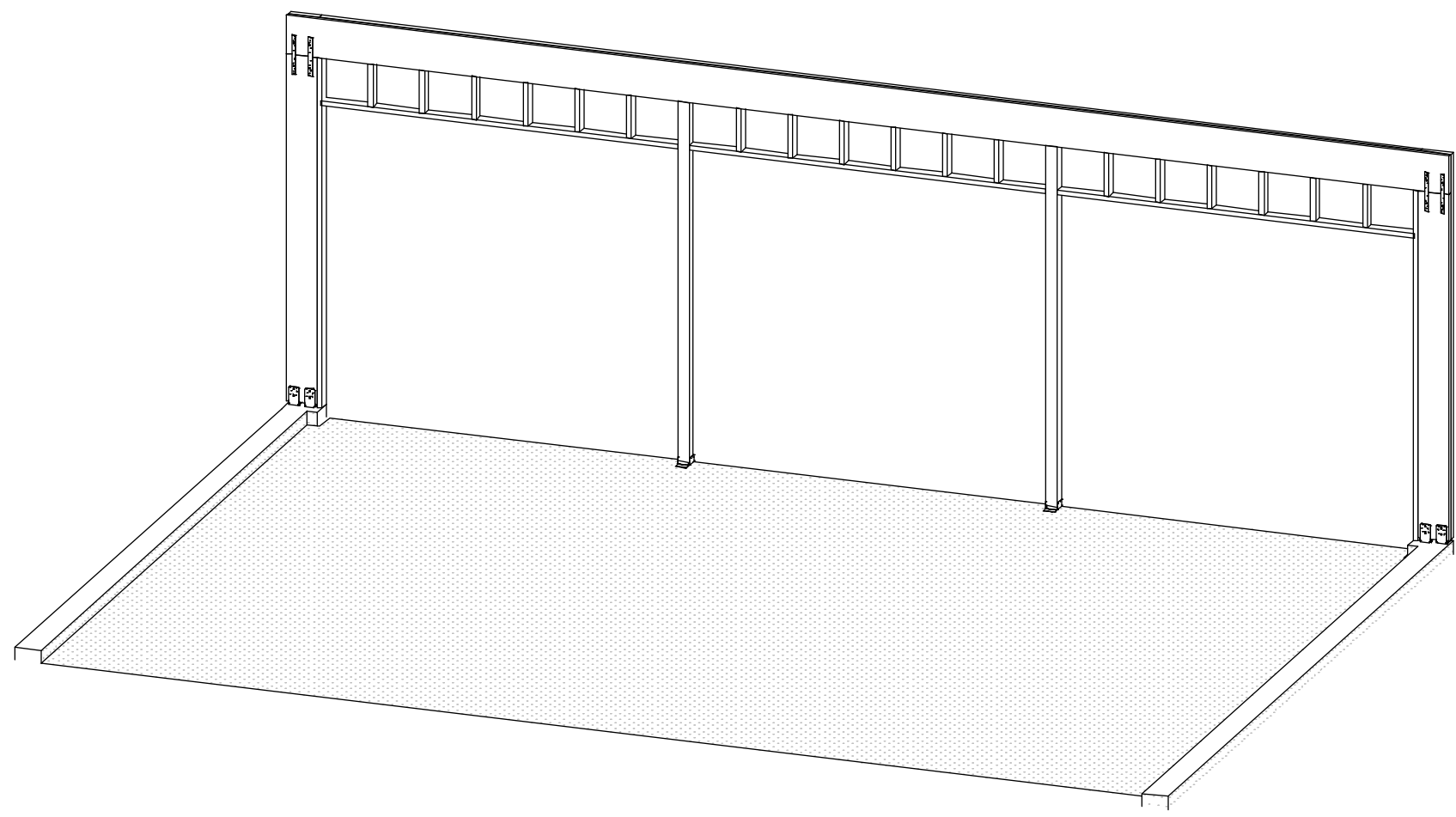
3 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



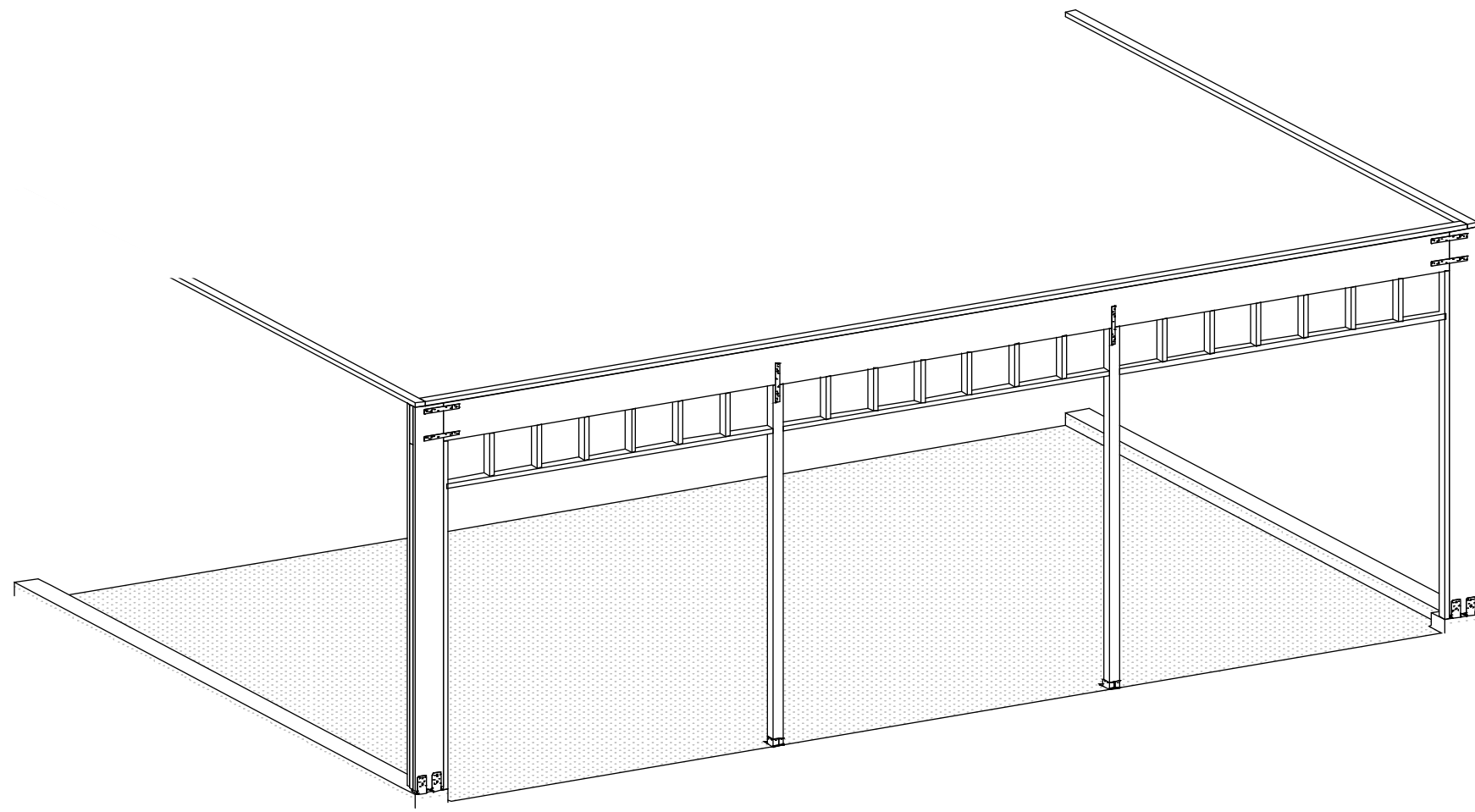
1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



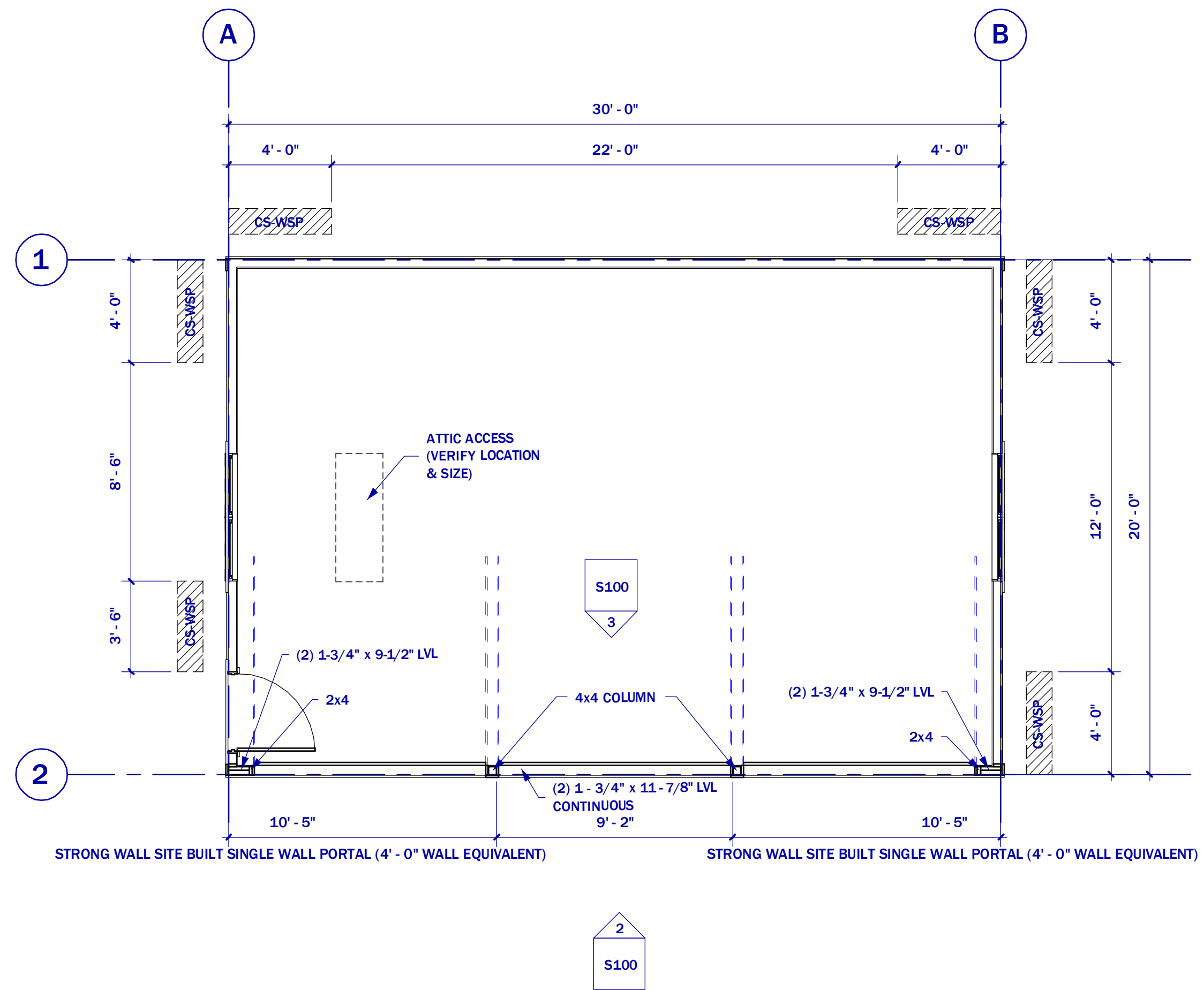
2 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



5 SITE BUILT PORTAL FRAME - INTERIOR  
SCALE:

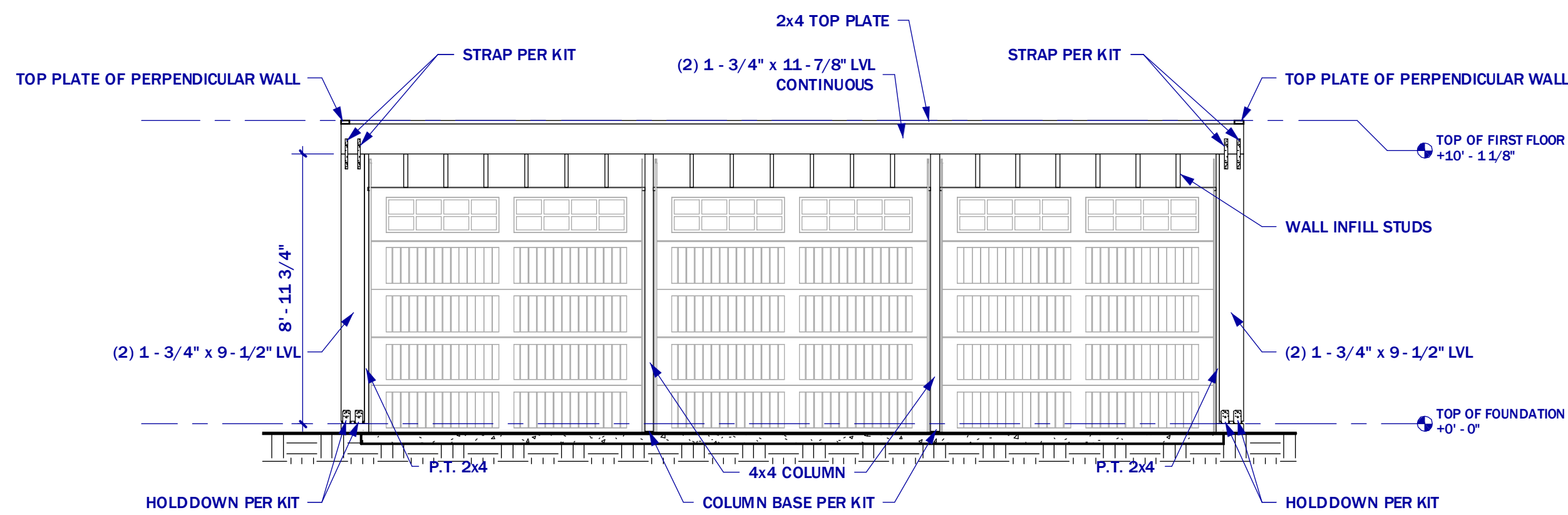


4 SITE BUILT PORTAL FRAME - EXTERIOR  
SCALE:

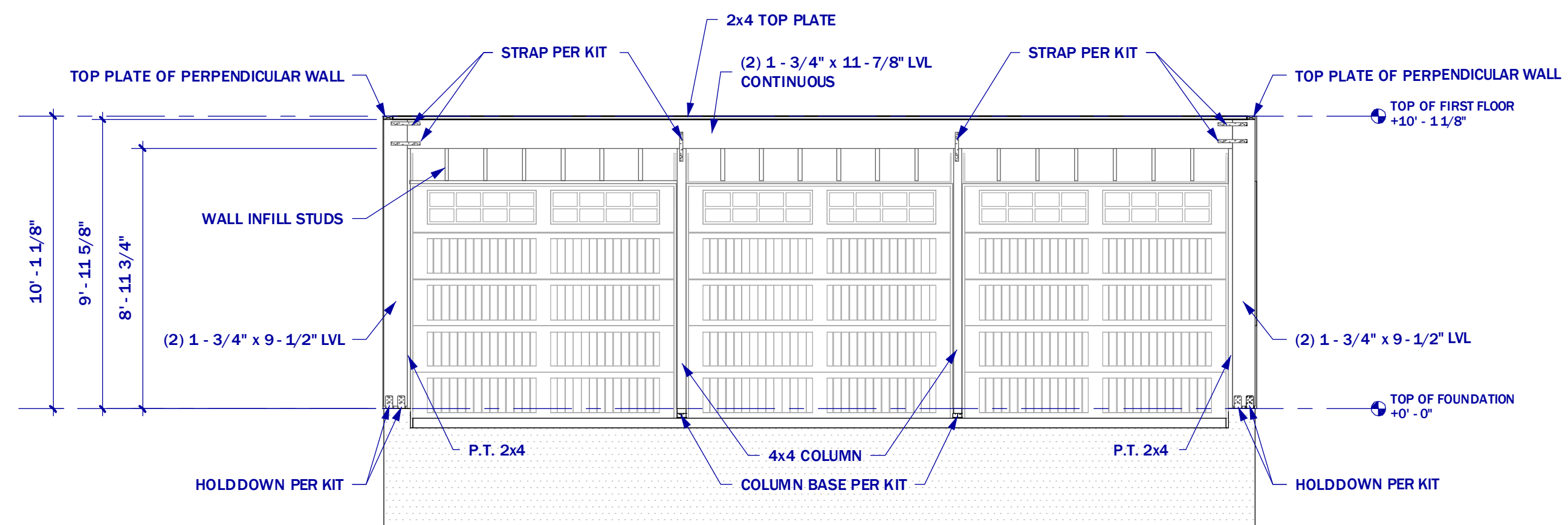


1 FIRST FLOOR - WALL BRACING  
SCALE: 1/4" = 1'-0"

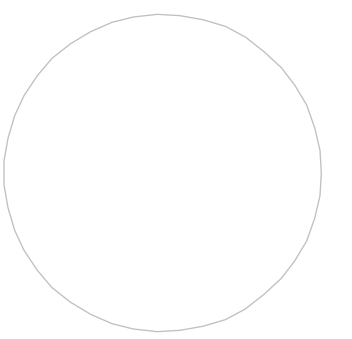
| FIRST FLOOR WALL BRACING SCHEDULE - RECTANGLE "A"                                                                                                                                                                                                             |                |                |                    |                                                 |                                                |                      |                    |                                                                                                                                                                                                                                 |                         |                   |                                                                   |                                                                   |                                                              |                                                              |                                                              |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|----------------|--------------------|-------------------------------------------------|------------------------------------------------|----------------------|--------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|-------------------|-------------------------------------------------------------------|-------------------------------------------------------------------|--------------------------------------------------------------|--------------------------------------------------------------|--------------------------------------------------------------|
| PROJECT WIND EXPOSURE CATEGORY: B                                                                                                                                                                                                                             |                |                |                    |                                                 |                                                |                      |                    |                                                                                                                                                                                                                                 |                         |                   |                                                                   |                                                                   |                                                              |                                                              |                                                              |
| WALL BRACE LINE                                                                                                                                                                                                                                               | BRACE MATERIAL | BRACING METHOD | BRACE LINE SPACING | REQUIRED BRACE UNITS (INTERMITTENT METHOD ONLY) | REQUIRED BRACE LENGTH (CONTINUOUS METHOD ONLY) | WIND EXPOSURE FACTOR | WALL HEIGHT FACTOR | EAVE TO RIDGE FACTOR (INTERMITTENT METHOD ONLY)                                                                                                                                                                                 | DRYWALL OMISSION FACTOR | WIND FACTOR TOTAL | TOTAL BRACE UNIT LENGTH REQUIRED - FEET- (CONTINUOUS METHOD ONLY) | TOTAL BRACE UNIT LENGTH PROVIDED - FEET- (CONTINUOUS METHOD ONLY) | TOTAL BRACE UNIT REQUIRED - FEET- (INTERMITTENT METHOD ONLY) | TOTAL BRACE UNIT PROVIDED - FEET- (INTERMITTENT METHOD ONLY) | MAX. OPENING HT. (ADJACENT TO PANEL- CONTINUOUS METHOD ONLY) |
| A                                                                                                                                                                                                                                                             | OSB            | CONTINUOUS     | 30.00'             | NA                                              | 6.00'                                          | 1.00                 | 1.00               | NA                                                                                                                                                                                                                              | 1.00                    | 1.00              | 6.00'                                                             | 7.50'                                                             | NA                                                           | NA                                                           | 6'-08"                                                       |
| B                                                                                                                                                                                                                                                             | OSB            | CONTINUOUS     | 30.00'             | NA                                              | 6.00'                                          | 1.00                 | 1.00               | NA                                                                                                                                                                                                                              | 1.00                    | 1.00              | 6.00'                                                             | 8.00'                                                             | NA                                                           | NA                                                           | 5'-00"                                                       |
| 1                                                                                                                                                                                                                                                             | OSB            | CONTINUOUS     | 20.00'             | NA                                              | 4.60'                                          | 1.00                 | 1.00               | NA                                                                                                                                                                                                                              | 1.00                    | 1.00              | 4.60'                                                             | 8.00'                                                             | NA                                                           | NA                                                           | NA                                                           |
| 2                                                                                                                                                                                                                                                             | LVL            | PORTAL         | 20.00'             | NA                                              | 4.60'                                          | 1.00                 | 1.00               | NA                                                                                                                                                                                                                              | 1.00                    | 1.00              | 4.60'                                                             | 8.00'                                                             | NA                                                           | NA                                                           | 7'-08"                                                       |
| WALL BRACING SCHEDULE NOTES:                                                                                                                                                                                                                                  |                |                |                    |                                                 |                                                |                      |                    |                                                                                                                                                                                                                                 |                         |                   |                                                                   |                                                                   |                                                              |                                                              |                                                              |
| ● REQUIRED BRACE UNIT LENGTH INCORPORATES WHETHER WALL SUPPORTS ROOF & CEILING ONLY; ONE FLOOR & CEILING OR TWO FLOORS, ROOF & CEILING PER TABLES SPS 321.25-I (INTERMITTENT METHOD) & SPS 321.25-J (CONTINUOUS METHOD) OF THE WISCONSIN ADMINISTRATIVE CODE. |                |                |                    |                                                 |                                                |                      |                    | ● WIND FACTOR TOTAL INCLUDES WIND EXPOSURE FACTOR, WALL HEIGHT FACTOR AND EAVE TO RIDGE FACTOR<br>● EAVE TO RIDGE FACTOR FOR CONTINUOUS METHODS ACCOUNTED FOR IN TABLE 321.25-J<br>● INTERPOLATION USED IN BRACING CALCULATIONS |                         |                   |                                                                   |                                                                   |                                                              |                                                              |                                                              |

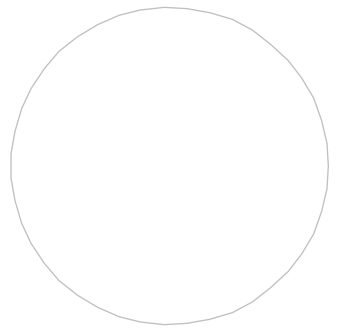


3 FRONT PORTAL FRAME - INTERIOR  
SCALE: 1/4" = 1'-0"



2 FRONT PORTAL FRAME - EXTERIOR  
SCALE: 1/4" = 1'-0"





TECHNICAL BULLETIN

**Strong-Wall® Site-Built Portal Frame System**  
Hardware Installation Instructions

Single-Wall Portal

**Single-Wall Portal Frame Kit**  
(2) Holddown assemblies  
(2) Orange composite standoff bases\*  
(5) Moment connection straps  
(1) Adjustable post base (ABW442)  
(33) SDW22300 truss-ply screws  
(8) SD9112 Connector screws  
(1) 6-lobe T-40 driver bit  
(1) Installation instructions

\*Extra composite standoff bases included. Only use the base that corresponds to the column width and discard extra base(s).

**Single-Wall Portal Cut Lengths**  
Tall column (C1) = H1 + BD - 1 3/4"  
Short column (C2) = H1 - 1 3/4"  
Long beam (B1) = W1 + CW + PW  
Short beam (B2) = W1 + PW

**Legend:**  
BD = Beam Depth  
CW = Column Width  
PW = Post Width  
H1 = Opening Height  
W1 = Opening Width

Double-Wall Portal

**Double-Wall Portal Frame Kit**  
(4) Holddown assemblies  
(4) Orange composite standoff bases\*  
(8) Moment connection straps  
(66) SDW22300 truss-ply screws  
(1) 6-lobe T-40 driver bit  
(1) Installation instructions

**Double-Wall Portal Cut Lengths**  
Tall column (C1) = H1 + BD - 1 3/4"  
Short column (C2) = H1 - 1 3/4"  
Long beam (B1) = W1 + CW + CW  
Short beam (B2) = W1

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TECHNICAL BULLETIN

**Strong-Wall® Site-Built Portal Frame System**  
Hardware Installation Instructions

Holddown Installation

1. Install holddown assembly on anchor bolts as shown.  
2. Tighten nuts on anchor bolts.  
**Note:** Tighten nuts only after adhesive has cured.

**Note:** Refer to T-L-PFSANIN18 for anchorage installation instructions and details. Reference building plans for anchorage and embedment depth. Additional anchorage information can be found at [strongtie.com/pfs](http://strongtie.com/pfs).

**Single-Wall Beam Assembly**  
**\*Note: Required Fasteners:**  
T = 3 1/2" use 0.162" x 3 1/2"  
T = 3" use 0.148" x 3"

**Double-Wall Beam Assembly**  
**\*Note: Required Fasteners:**  
T = 3 1/2" use 0.162" x 3 1/2"  
T = 3" use 0.148" x 3"

**PFS9 Column Assembly**

**PFS12 Column Assembly**

**Allowable Hole Zone**

**Note:** Every other row of nails is installed on opposite side.

**\*Note: Required Fasteners:**  
T = 3 1/2" use 0.162" x 3 1/2"  
T = 3" use 0.148" x 3"

Column-to-Beam Moment Connection Installation

1. Connect the beam sub-assembly to the column sub-assembly starting with the SDW screws (provided), as shown.

2. Install the PFS-MCS straps using 0.148"-diameter nails (2 1/4" minimum length). The straps must be installed horizontally on the tall column (C1) side and vertically on the short column (C2) side, as shown.

**Note:** Strong-Drive® SD10212 Connector screws (not provided) may be substituted for the nails.

**Column-to-Beam — Moment Connection Details**

**Single-Wall Portal — Post-to-Beam Detail**  
(strap only required on one side)

This technical bulletin is effective until June 30, 2023, and reflects information available as of June 1, 2021. This information is updated periodically and should not be relied upon after June 30, 2023. Contact Simpson Strong-Tie for current information and limited warranty or [www.strongtie.com](http://www.strongtie.com).  
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T-L-PFSHWN21 6/21 esp. 6/23

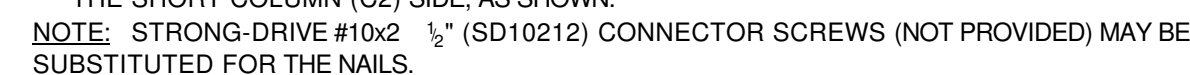
(800) 999-5099  
[strongtie.com](http://strongtie.com)



## 1

\* H1 FOR THE PFS FRAMING IS THE OPENING HEIGHT MEASURED FROM THE TOP OF CONCRETE AT THE HOLLOWDOWN LOCATION TO THE BOTTOM OF BEAM. ACTUAL OPENING HEIGHTS WILL VARY DEPENDING FOOTING TYPE. TAKE CURB HEIGHTS INTO CONSIDERATION WHEN CALCULATING COLUMN LENGTHS.

## 2



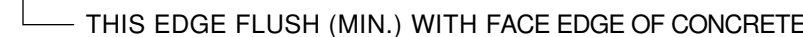
## 3

1. POST-INSTALLED ANCHOR RODS SHALL BE  $\frac{5}{8}$ " - DIAMETER ASTM F1554 GRADE 36 OR ASTM A36 MINIMUM THREADED RODS.  
2. POST-INSTALLED SOLUTIONS MUST BE INSTALLED WITH SIMPSON STRONG-TIE SET-3G OR AT-XP ANCHORING ADHESIVES.  
3. TABULATED EMBEDMENT DEPTHS ARE BASED ON 10'-TALL PORTAL FRAME. VISIT THE STRONG-WALL<sup>®</sup> BRACING SELECTOR SOFTWARE AT STRONGTIE.COM FOR ANCHORAGE SOLUTIONS SPECIFIC TO FRAME, MATERIAL AND USE.

### PLAN VIEW



## 5



## 4





