

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

Schwemer Hall
7200 North Santa Monica Blvd.
Fox Point, WI 53217

Wednesday
November 10, 2021
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/84813397133?pwd=aIFQbUU0S0ZNcnUrSE51aFNDaTVoZz09>

Meeting ID: 848 1339 7133

Passcode: 7200

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the October 13, 2021 Building Board meeting.
3. 7620 N Bell Rd, proposed egress window.
4. David Swanson, 7724 N Beach Dr, proposed addition.
5. Mr Olin, 7700 N Club Cir, proposed in-ground pool.
6. Laura Kleczkowski, 405 E Dean Rd, proposed addition.
7. Discussion-Removing projects from Building Board.
8. Adjourn.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

VILLAGE OF FOX POINT BUILDING BOARD MINUTES

A meeting of the Building Board was held via Zoom, on Wednesday, October 13, 2021, at 5:00 pm. Those present included:

Justin Racinowski
Jeff Weber-Absent
Kristin Dufek
Lori Rosenthal
William Feldman
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by Kristin Dufek to approve the minutes from September 8, 2021. Motion was seconded by William Feldman. Motion Passed.

AGENDA

- **Renee Kirchner, 7250 N Beach Rd, proposed raze detached garage, build new garage, move framed shed, and build pergola.** It was the consensus of the Building Board to approve as submitted.
- **Phonso Smith, 7623 N Fairchild Rd, proposed window addition and patio door.** It was the consensus of the Building Board to approve as submitted.
- **Ralph Bultman, 7710 N Van Dyke Rd, proposed egress window.** It was the consensus of the Building Board to approve as submitted.
- **Tan Lo, 7736 N Beach Dr, proposed stone columns at driveway/entrance gate.** It was the consensus of the Building Board to approve as submitted.
- **Greg Scalzo, 420 E Apple Tree Rd, proposed replace window with patio door.** It was the consensus of the Building Board to approve as submitted.
- **David Turim, 8730 N Seneca Ct, proposed sunroom addition.** It was the consensus of the Building Board to approve as submitted.
- **Carl Valimont, 1461 E Goodrich Ln, proposed raze existing garage and build new garage.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by William Feldman. Motion seconded by Kristin Dufek. Motion Passed. Building Board adjourned at 5:45 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B

OFFICE USE ONLY

Issued Date

Zoning

BUILDING PERMIT

Job Address	7620 N. BELL RD.	Building Type:	Residential - Commercial
Description of Work	ADD BASEMENT BATHROOM ADD EGRESS WINDOW + PARTITION BR IN BASEMENT:		
Estimated Cost of Project \$	10,000		

Owner/Occupant	
Contact Name	Business Name
Address	City/State/Zip
Phone	Email

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name	Contact Name
Address	City/State/Zip
Phone	Email
Dwelling Contractor #	Dwelling Contractor Qualifier #

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage
		500		

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$9.50	95.00
Building Board	\$75.00	75.00
Footing early start - \$210.00 one and two family; \$280.00 commercial		
Plan Review - \$250.00 one and two family; New Construction \$300.00 plus \$27.00/unit commercial; New Construction		
State Seal	\$65.00	
Razing, Interior Demolition	\$85.00 minimum plus \$0.12/sqft	
Moving buildings over public ways	\$230.00 plus \$0.12/sqft	
Fuel tanks - Per 1,000 gallons	\$24.00	
Re-inspection	\$100.00	
Other		
Work started without permit	Double Fee	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ 170.00

Applicant Signature

John D. Lewis

Date

11/21/21

Rev 09/20

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.056874

Nov 4, 2021

7620 N Bell Rd

Previous Balance:	.00
LICENSES & PERMITS - PLUMBING PERMIT	60.00
24-44470 PLUMBING PERMIT	
LICENSES & PERMITS - BUILDING PERMIT	170.00
24-44460 BUILDING PERMIT	

Total:	230.00
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CHECK	Check No: 1439	230.00
	Payor: Joshua Lewis	

Total Applied:	230.00
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Change Tendered:	.00
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11/04/2021 11:36 AM

SHEET INDEX:

SHEET NO.	ARCHITECTURAL DRAWINGS:
A-0	SITE PLAN AND PROJECT INFORMATION
A-1	FIRST FLOOR PLAN
A-2	FOUNDATION PLAN AND SECOND FLOOR PLAN
A-3	SOUTH AND WEST ELEVATIONS
A-4	NORTH AND EAST ELEVATIONS
A-5	SECTIONS AND PARTIAL ELEVATIONS

SITE INFORMATION:

VILLAGE:	FOX POINT
COUNTY:	MILWAUKEE
ZONING:	A-1 (RESIDENTIAL)
BUILDING TYPE:	RESIDENTIAL

LOT AREA BREAKDOWN:

AREA OF LOT (07-12-13 SURVEY)	45,911 S.F.
AERA OF LOT (08-11-20 SURVEY)	38,207 S.F.
AREA OF LOT AS DESCRIBED IN PLAT OF SURVEY (ALL AREAS INCLUDE AREA OF ROAD)	42,173 S.F.

EXISTING HOUSE FOOT PRINT	2,334 S.F.
PROPOSED HOUSE FOOT PRINT	194 S.F.
PROPOSED GARAGE FOOT PRINT	1,202 S.F.
TOTAL BUILDING FOOT PRINT	3,730 S.F.

LOT COVERAGE CALCULATION	3,730 S.F.
PROPOSED BUILDING FOOT PRINT	42,173 S.F.
AREA OF LOT IN PLAT OF SURVEY	

LOT COVERAGE	8.8%
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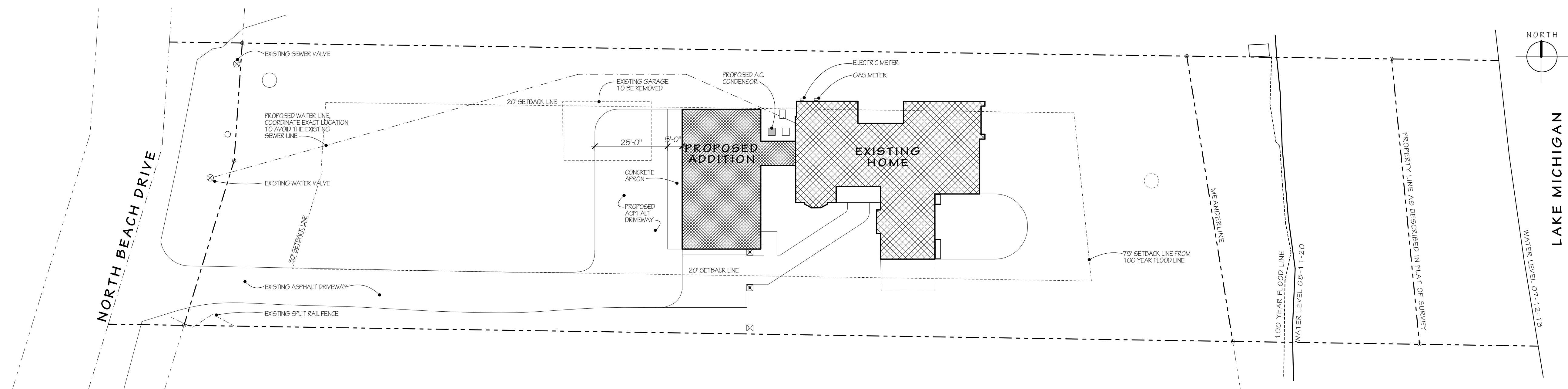
BUILDING AREA BREAKDOWN:

EXISTING FIRST FLOOR	2,334 S.F.
EXISTING SECOND FLOOR	1,474 S.F.
TOTAL EXISTING	3,808 S.F.

PROPOSED FIRST FLOOR	194 S.F.
PROPOSED GARAGE	1,202 S.F.
PROPOSED SECOND FLOOR	1,178 SF
TOTAL PROPOSED	2,574 S.F.

TOTAL BUILDING LIVING AREA	5,180 S.F.
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BUILDING LIVING AREA ●



SITE PLAN
1" = 20'-0"

ADDITION FOR:
CALAWAY-SWANSON RESIDENCE
7724 NORTH BEACH DRIVE
FOX POINT, WISCONSIN 53217

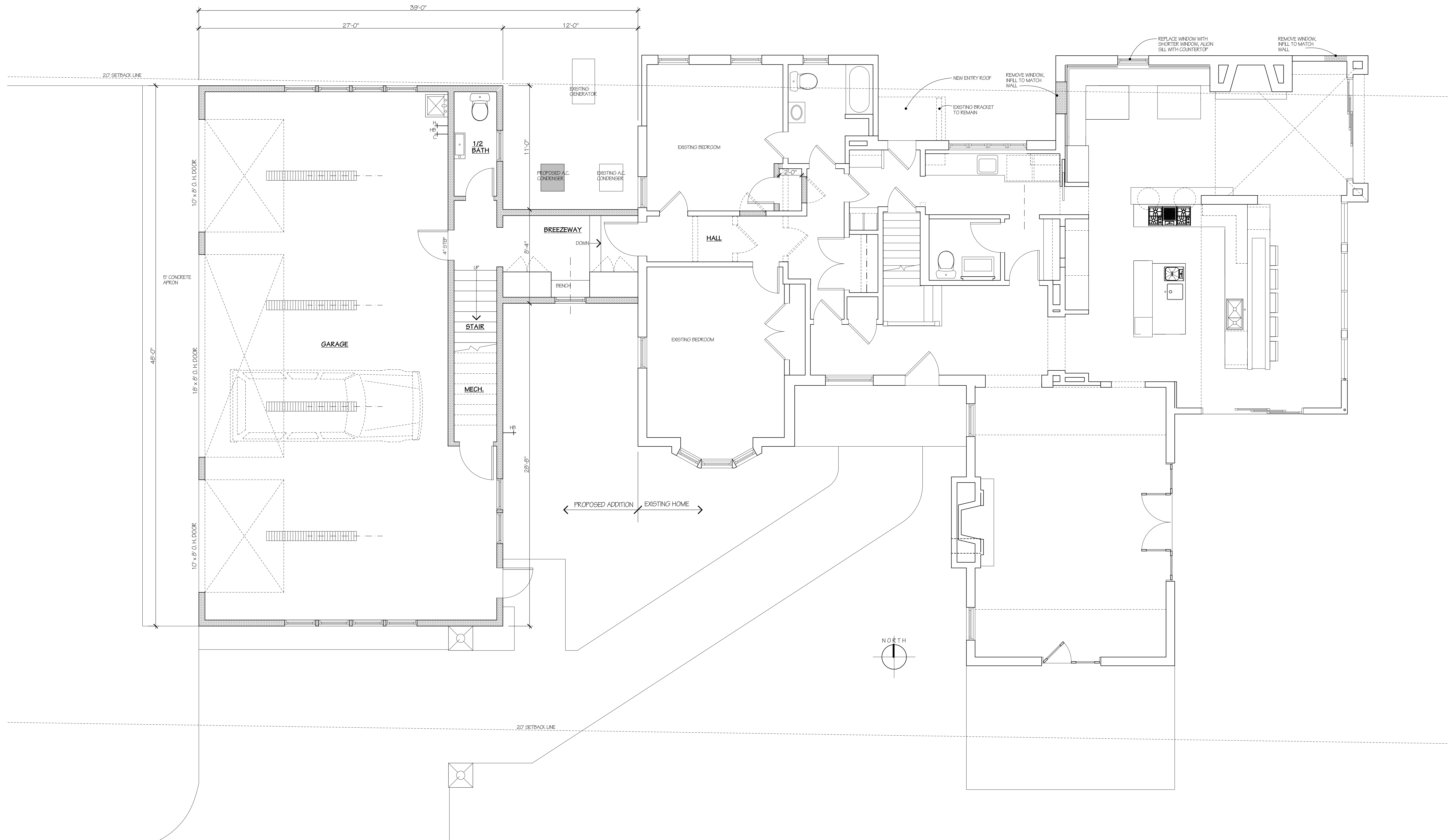
WYDEVEN
ARCHITECTS
7667 West State Street, Suite 303
Wauwatosa, Wisconsin 53213
Phone: 414-614-4677 Email: Bruce@WydevenArchitects.com

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PROJECT NO.
2009
DATE
10-12-21

SHEET

A-0



FIRST FLOOR PLAN

1/4" = 1'-0"
PROPOSED AND EXISTING PLAN

ADDITION FOR:
CALAWAY-SWANSON RESIDENCE
7724 NORTH BEACH DRIVE
FOX POINT, WISCONSIN 53217

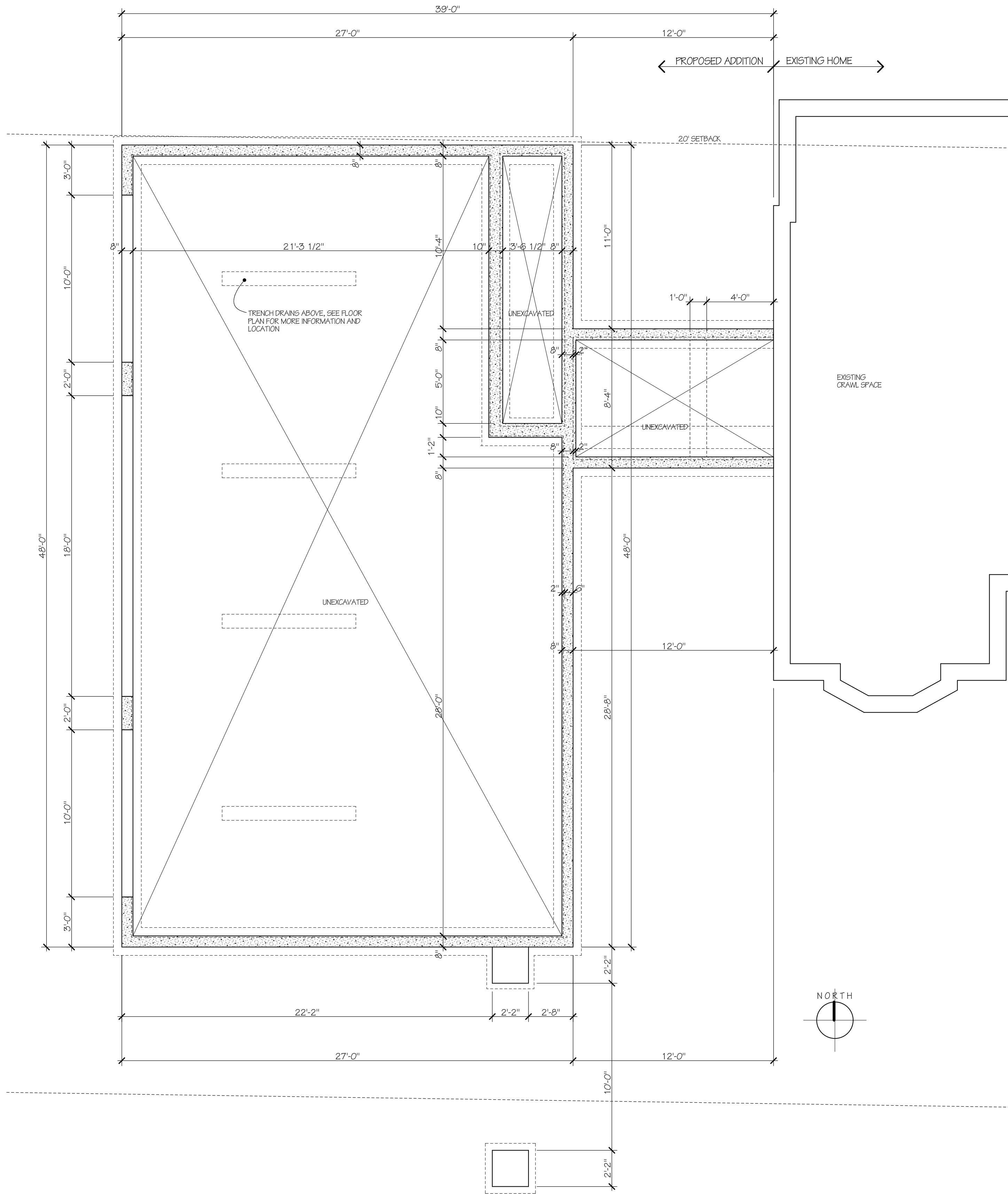
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Wauwatosa, Wisconsin 53213
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2009
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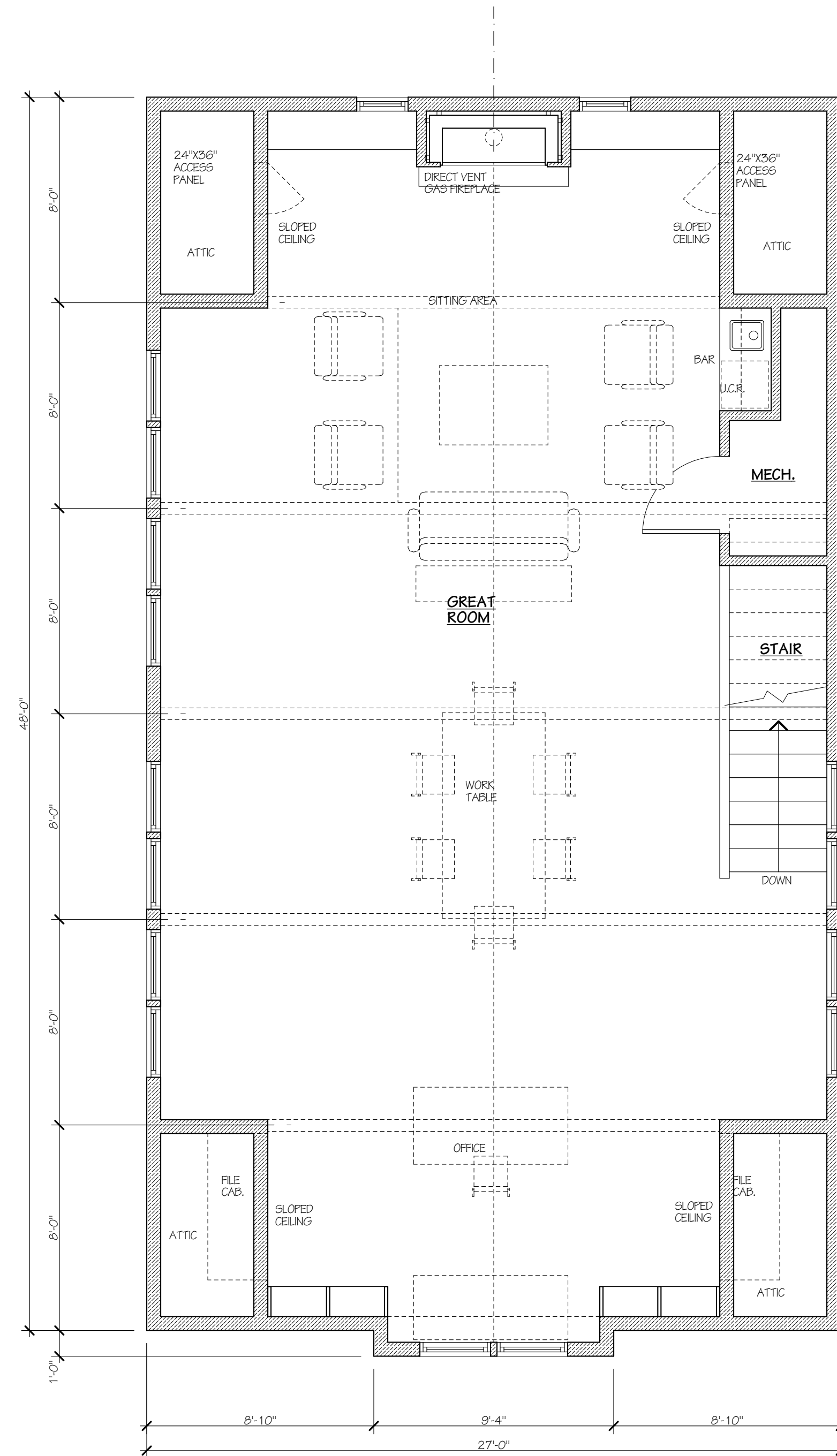
SHEET

A-1



FOUNDATION PLAN

1/4" = 1'-0"
PROPOSED PLAN



SECOND FLOOR PLAN

1/4" = 1'-0"
PROPOSED PLAN

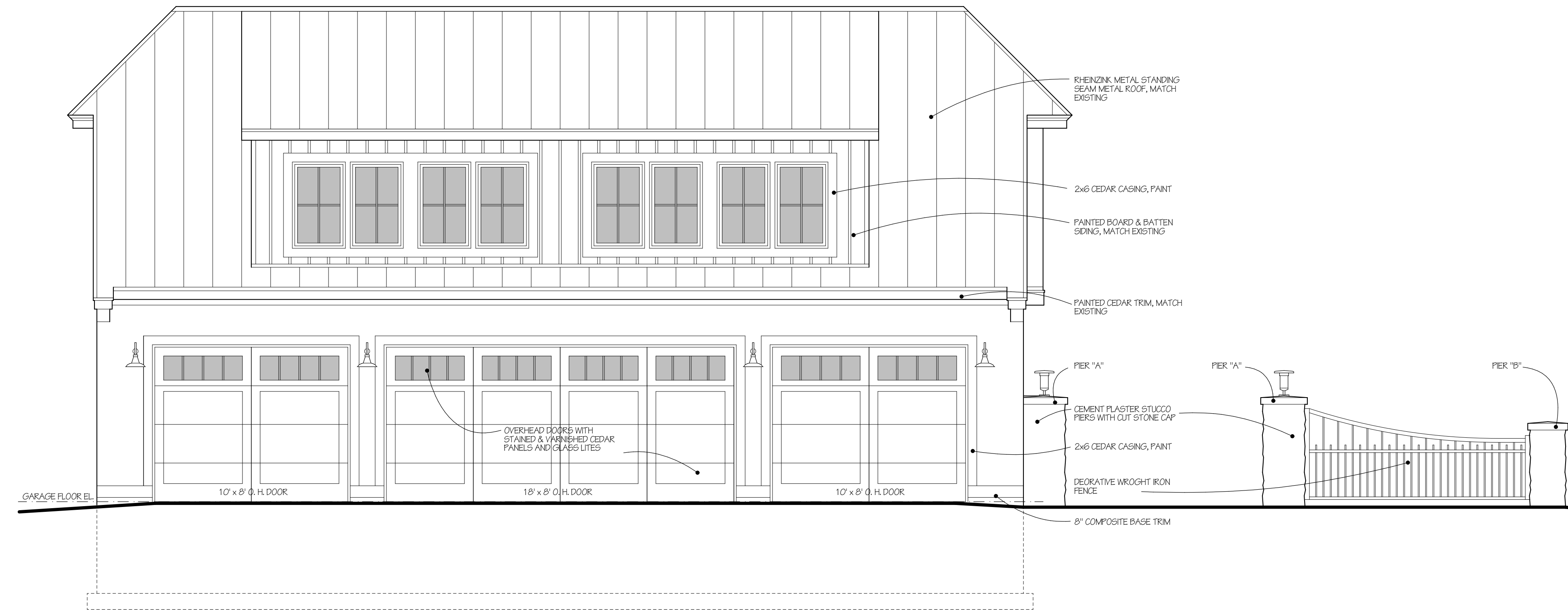
ADDITION FOR:
CALAWAY-SWANSON RESIDENCE
7724 NORTH BEACH DRIVE
FOX POINT, WISCONSIN 53217

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PROJECT NO.
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DATE
10-12-21

SHEET
A-2



WEST ELEVATION

1/4" = 1'-0"
PROPOSED ELEVATION



SOUTH ELEVATION

1/4" = 1'-0"
PROPOSED AND EXISTING ELEVATION

ADDITION FOR:
CALAWAY-SWANSON RESIDENCE
7724 NORTH BEACH DRIVE
FOX POINT, WISCONSIN 53217

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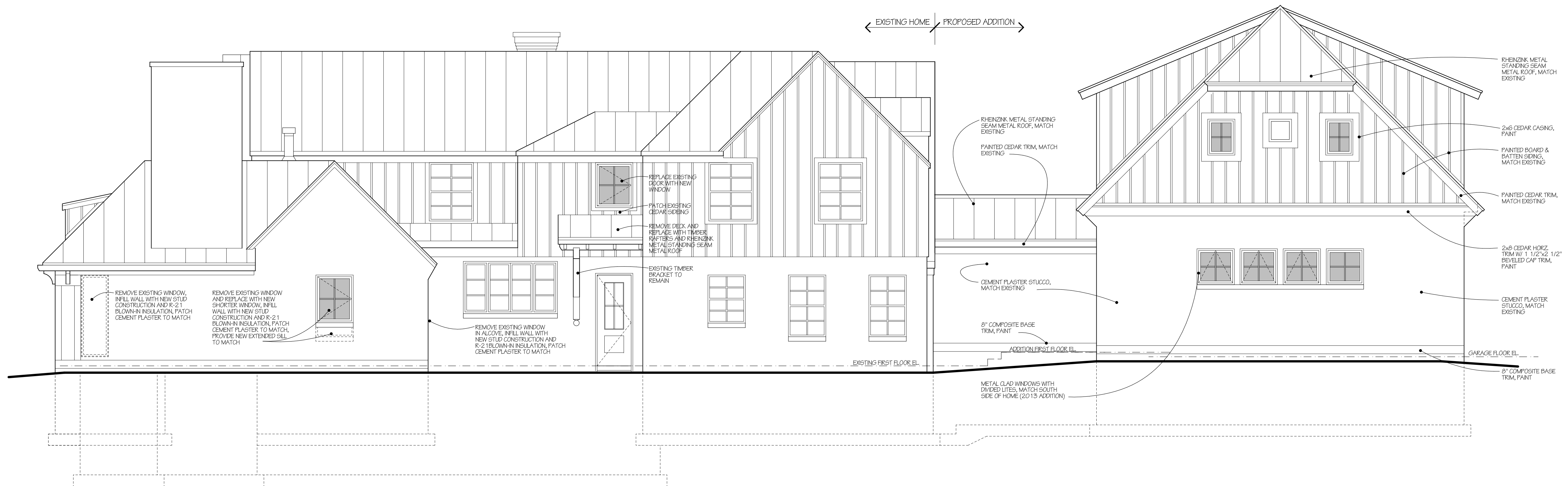
PROJECT NO.
2009
DATE
10-12-21

SHEET
A-3



EAST ELEVATION

1/4" = 1'-0"
EXISTING ELEVATION



NORTH ELEVATION

1/4" = 1'-0"
PROPOSED AND EXISTING ELEVATION

ADDITION FOR:
CALAWAY-SWANSON RESIDENCE
7724 NORTH BEACH DRIVE
FOX POINT, WISCONSIN 53217

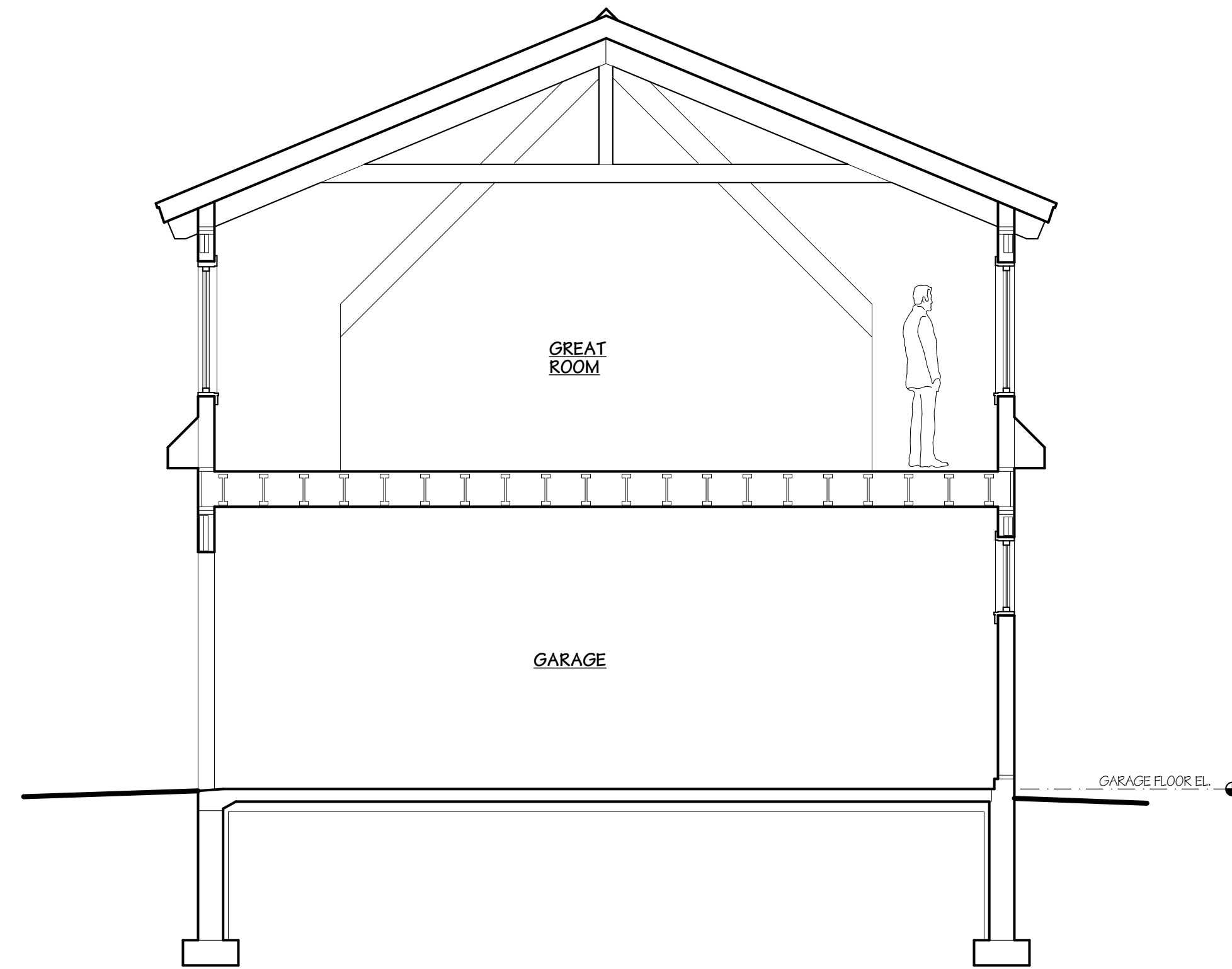
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PROJECT NO. 2009
DATE 10-12-21

SHEET

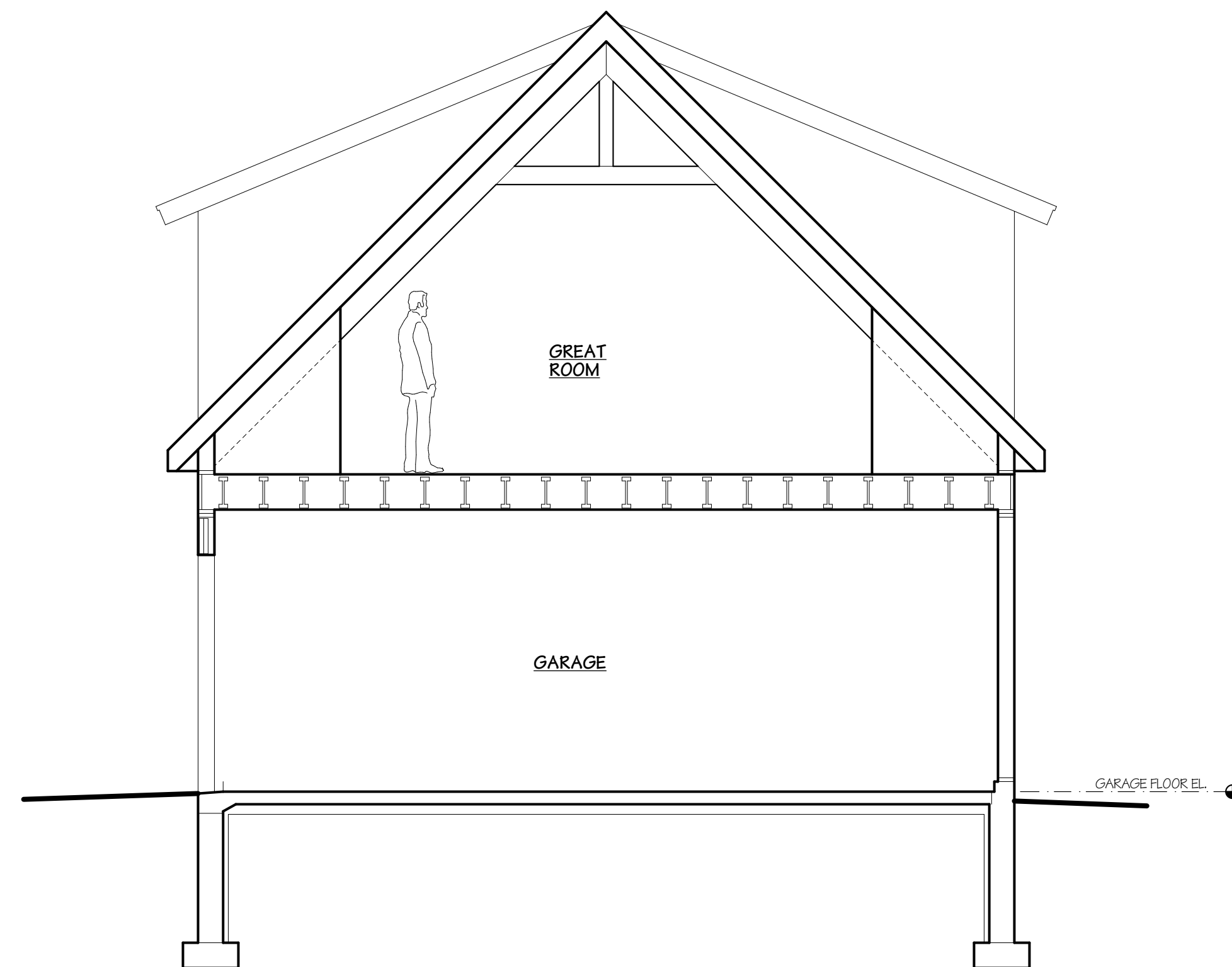
A-4



GARAGE SECTION (LOOKING NORTH)
1/4" = 1'-0"
PROPOSED SECTION



WEST ELEVATION
1/4" = 1'-0"
PROPOSED SECTION / EXISTING ELEVATION



GARAGE SECTION (LOOKING NORTH)
1/4" = 1'-0"
PROPOSED SECTION



SECTION / ELEVATION (LOOKING WEST)
1/4" = 1'-0"
PROPOSED SECTION / ELEVATION



VIEW FROM THE WEST



VIEW FROM THE EAST



VIEW FROM THE SOUTHWEST



VIEW FROM THE NORTHEAST

Calaway-Swanson Residence
7724 North Beach Drive
Fox Point, Wisconsin 53217



VIEW FROM THE NORTHWEST



GARAGE TO BE REMOVED



VIEW FROM BEACH DRIVE



VIEW FROM BEACH DRIVE

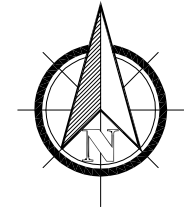
Calaway-Swanson Residence
7724 North Beach Drive
Fox Point, Wisconsin 53217



sai@wi.rr.com
2554 N. 100TH STREET
P.O. BOX 26596
WAUWATOSA, WISCONSIN 53226
(414) 257-2212 FAX: (414) 257-2443
MARC C. PASSARELLI P.L.S.

LEGEND

- - Denotes Found Iron Pipe
- - Denotes Found 3/4" Iron Rod with Cap
- ⊙ - Denotes Gas Meter
- △ - Denotes Electric Meter
- - Denotes Air Conditioner
- ⊕ - Denotes Water Valve
- ⊞ - Denotes Power Pole
- ⊗ - Denotes Round Catch Basin
- - Denotes Split Rail Fence



Total Area of Property = 38,207 Sq. Ft.
Area Excluding Road = 35,715 Sq. Ft.

PLAT OF SURVEY

All that part of Lot 8, in the Northeast Fractional ¼ of Section 16, Town 8 North, Range 22 East, in the Village of Fox Point, County of Milwaukee, State of Wisconsin, bounded and described as follows: Commencing at a point in the center of the public highway, said point being 1400.01 feet North 0° 09' West of and 1647.82 feet South 89° 56' East of the center of said Section 16; thence South 24° 41' West along the center of said public highway, 114.17 feet to a point; thence South 13° 07' West along the center of said public highway 229.40 feet to a point; thence South 21° 56' West along the center of said public highway, 168.13 feet to a point in the Southerly line of the Echols Tract so-called, which is the point of beginning of the land to be described; thence South 71° 38' East along the Southerly line of said Echols Tract, 420 feet to a point on the shore line of Lake Michigan at low water mark; thence South 12° 10' West along said shore line of Lake Michigan at the low water mark; thence South 12° 10' West along said shore line of Lake Michigan at the low water mark, 99.96 feet to a point; thence North 71° 27 ½' West, 450.56 feet to a point in the center line of said public highway; thence North 34° 33' East along the center of said public highway, 63.44 feet to a point; thence North 21° 56' East along the center line of said public highway, 36.56 feet to the point of beginning.

Address: 7724 N. Beach Dr.

Surveyed for: **BRUCE WYDEVEN**

"I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, apparent easements and roadways and visible encroachments, if any.

"This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from date hereof; and as to them I warrant the accuracy of said survey map.

NOTE : THIS IS NOT AN
ORIGINAL SURVEY UNLESS
THIS SEAL IS RED.

NOTE: EASEMENT DOCUMENTS #'S 1027155,
1312943, 1312945, 2091255 PER CHICAGO
TITLE COMMITMENT POLICY NO. 001299892 NOT
SHOWN.

SCALE : 1" = 40'

100 YEAR FLOODPLAIN
ELEV: 584.00'

WATER LEVEL (8/11/20)
ELEV: 583.47'

WATER LEVEL (7/12/13)
ELEV: 579.82'

WISCONSIN REGISTERED LAND SURVEYOR

08/11/2020
FIELD WORK DATE

NAS/MWW
FIELD WORK BY

(Addition revised
10/11/2021)
09/09/2020
DATE DRAFTED

MWW
DRAFTED BY

35831
JOB NUMBER



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

BUILDING BOARD

Building Board typically meets on the second Wednesday of every month at 5:00 p.m. The application deadline is 12 p.m. on the Friday prior. All applications must be complete and include the proper filling fee.

Building Board meetings will be held via Zoom. Building Board agenda with the Zoom address will be posted on the website under **Agendas & Minutes**.

Examples of projects that must appear before the Building Board: New Construction, Additions, Exterior Improvements, Detached Garage, Decks, Sheds ≥ 100 sq. ft., Window Replacement, New Doors, Patio Doors, Pools, Signs and Solar Systems.

Complete Building Board Applications must include:

- ☐ **One set of drawings** to 1/4 inch scale on 24" x 36" maximum size sheets. These shall include all elevations, floor plans, foundation plan, and cross sections.
 - Elevation Drawings shall include all proposed elevations of the building, even if changes to the elevation are not proposed. This is to ensure consistency of all elevations. In cases where a building element may be skewed from another, it may be necessary to draw more than the four primary elevations of the building to clearly explain the intent of the design. All building elevations must be fully dimensioned to indicate heights above grade for all components. If the project is a building addition or remodeling, the original structure should be clearly illustrated as new building versus existing structure.
 - The complete existing elevation should be shown in all cases of additions and remodeling. All building materials must be identified and noted on each elevation drawing. This is to include, but not limited to, type and size of siding, type and size of masonry, window type size and material, roofing material, fascia, rakes, soffits, eaves, and flashing materials. It is recommended to bring material samples and colors.
 - Dimensioned floor plans shall include all floor plans of the proposed building. Each plan must include complete dimensions, and include room names for each space. In the case of an addition, each room shall be tagged either existing or new. In the case where there is a detached garage, a separate plan, fully dimensioned, for the garage must be included.
- ☐ **Color photos** that includes all elevations of existing home and any accessory structures on the property.
- ☐ **Survey** less than one year old or an accurate survey showing all buildings prepared by a certified surveyor registered by the State of Wisconsin. This must include all property lines with distances bearings, North arrow, exact location of all existing and proposed buildings, parking areas, drives, public improvements, easements, and other key features of the site. Show distances from front, rear and side property lines.
- ☐ **Site plan** include a North arrow and dimensions. This document must include all property lines, utility and access easements, zoning setbacks, grades at one foot intervals, exact location of all existing and proposed buildings or additions including roof overhangs, all hard surfaced areas (parking areas, drives, patios, sidewalks, etc.), swimming pools, and other accessory structures.
- ☐ **Open area** calculation required for New Construction, Additions, and Accessory Structures.
- ☐ **Existing and proposed grades** submitted to engineering before Building Board meeting.
- ☐ **Electronic copy of building plans** emailed to mrakow@villageoffoxpoint.com
- ☐ **Completed Building Permit Application.**
- ☐ **Building Board Fee** \$75.00 payable to the Village of Fox Point.

A REPRESENTATIVE MUST ATTEND BUILDING BOARD MEETING

**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

OFFICE USE ONLY
Issued Date
Zoning

BUILDING PERMIT

Job Address 7700 north club circle ,Fox Point WI	Building Type: Residential - Commercial
Description of Work In-Ground Concrete Pool	
Estimated Cost of Project \$ 190,000.00	

Owner/Occupant	
Contact Name Mr. and Mrs Olin	Business Name
Address 7700 north club circle ,Fox Point WI	City/State/Zip
Phone 414-698-8854	Email olinfamily5@wi.rr.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Neuman pools INC.	Contact Name Mark Brzezinski.
Address W9684 Beaverland Parkway	City/State/Zip Beaver Dam WI, 53916
Phone 920-885-3371	Email mbrzezinski@neumanpools.com
Dwelling Contractor #	Dwelling Contractor Qualifier #

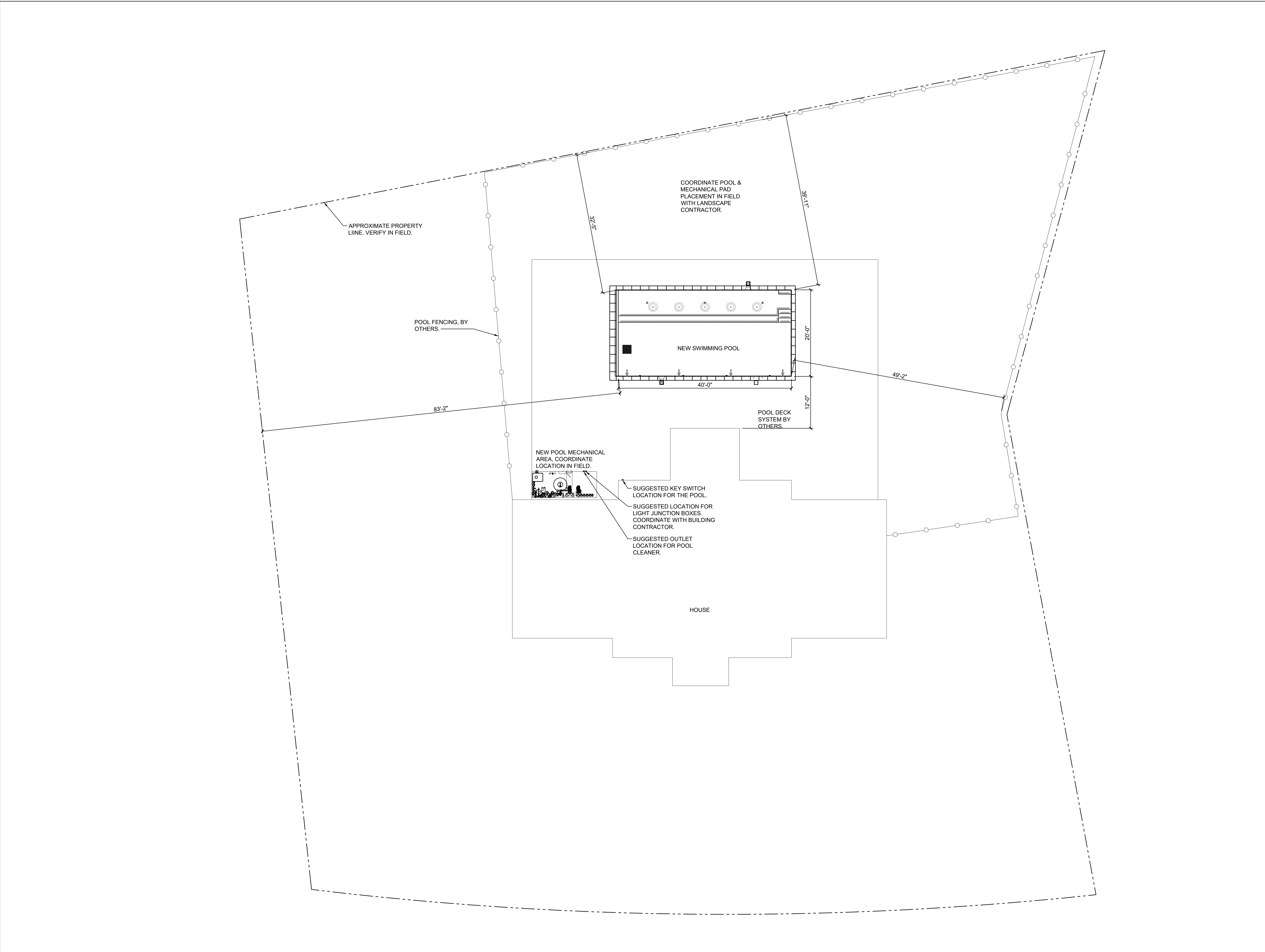
Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$9.50	\$1,805.00
Building Board	\$75.00	\$75.00
Footing early start - \$210.00 one and two family; \$280.00 commercial		
Plan Review - \$250.00 one and two family; New Construction \$300.00 plus \$27.00/unit commercial; New Construction		
State Seal	\$65.00	
Razing, Interior Demolition \$85.00 minimum plus	\$0.12/sqft	
Moving buildings over public ways \$230.00 plus	\$0.12/sqft	
Fuel tanks - Per 1,000 gallons	\$24.00	
Re-inspection	\$100.00	
Other		
Work started without permit Double Fee		
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$ 1,880.00

Applicant Signature**Date** 11-3-2021

Rev 09/20

ISSUED PERMITS are available on the Village website under *PERMITS & LICENSES*



OLIN RESIDENCE SWIMMING
POOL

7700 NORTH CLUB CIRCLE
FOX POINT, WI 53217

REVISION SCHEDULE		
NO	DESCRIPTION	DATE
	CONSTRUCTION SET	2021.06.24
1	CB1 - POOL CHANGE	2021.10.14

ISSUE DATE: 2021.06.24
PROJECT NO: 2021019
DRAWN BY: RML
CHECKED BY: MB

OVERALL POOL AREA
PLAN

PL1.00

OLIN RESIDENCE SWIMMING POOL

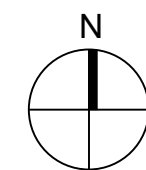
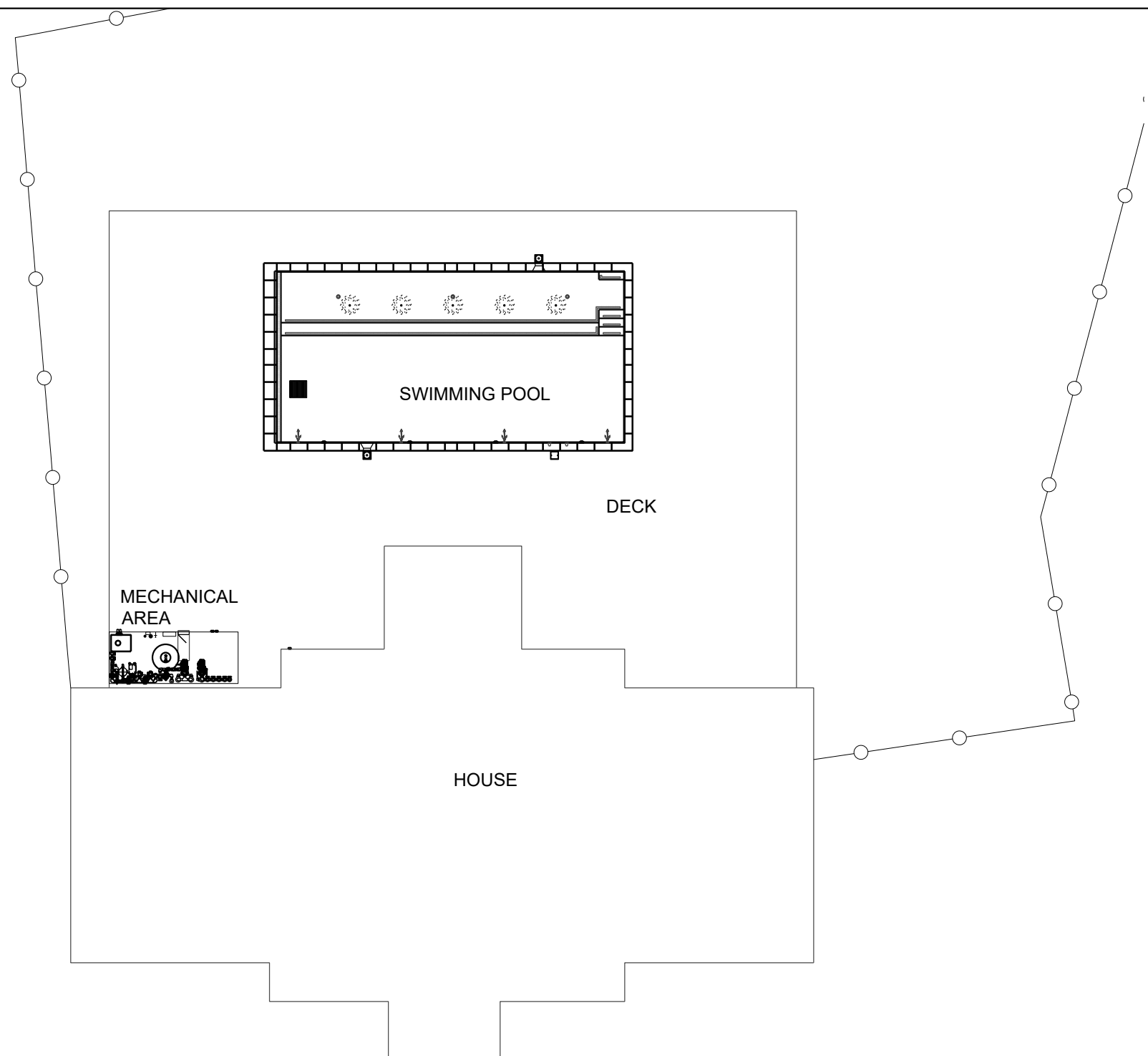
7700 NORTH CLUB CIRCLE
FOX POINT, WI 53217
NEW OUTDOOR SWIMMING POOL

neuman pools inc.

W9684 Beaverland Parkway
Post Office Box 413
Beaver Dam, Wisconsin 53916
Copyright © 2020

Voice: 920.885.3365
Fax: 920.885.3371
www.neumanpools.com

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Sheet List Table

Sheet Number	Sheet Title
PL0.00	COVER SHEET
PL0.01	GENERAL NOTES & DETAILS
PL1.00	OVERALL POOL AREA PLAN
PL1.10	POOL PLAN
PL1.11	POOL LAYOUT PLAN
PL1.12	POOL SECTIONS
PL1.13	POOL DETAILS
PL2.00	POOL PIPING PLAN
PL3.00	MECHANICAL AREA PLAN
PL3.01	UTILITY NOTES & DETAILS
PL3.02	POOL CONDUIT PLAN

SHEET LIST

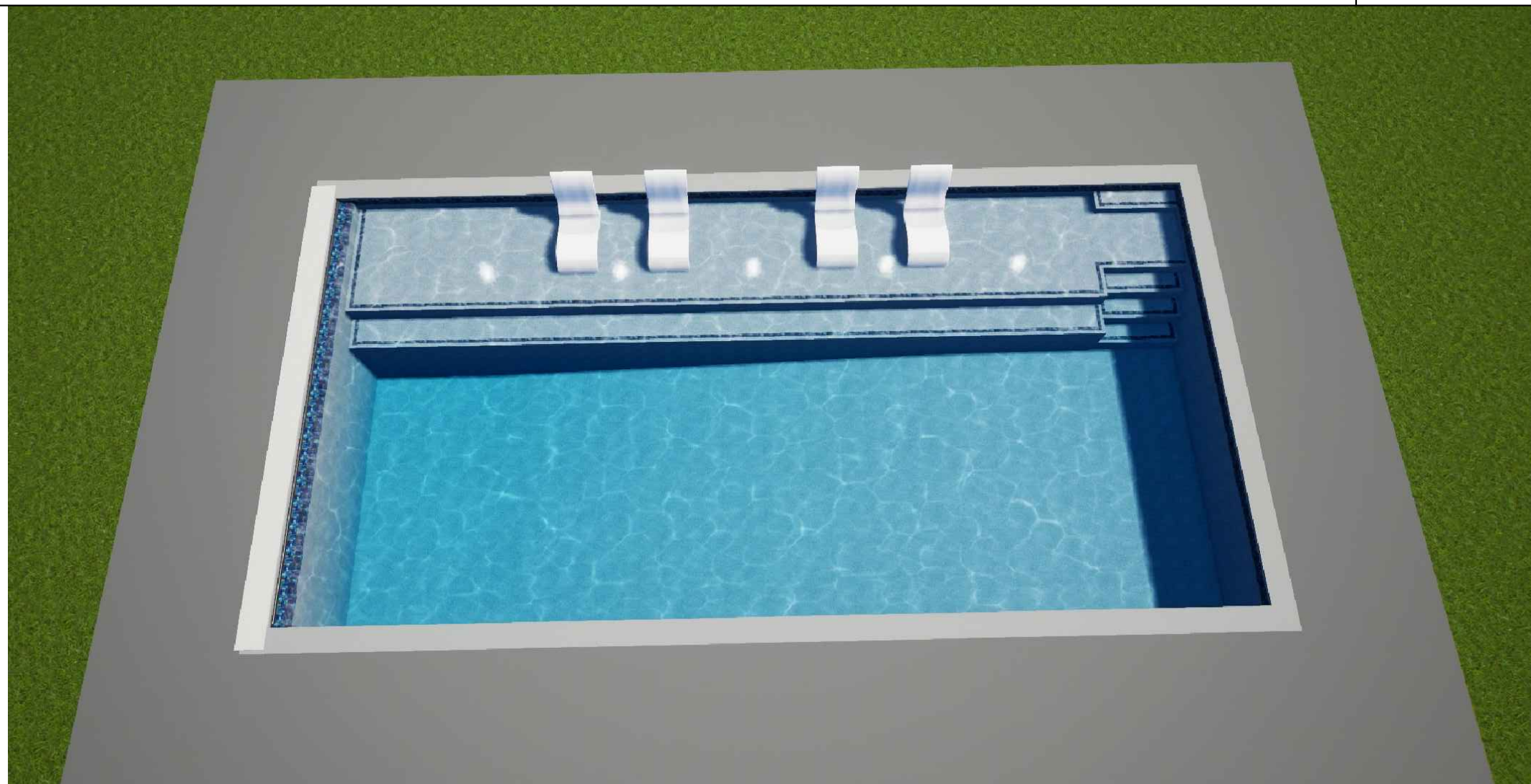
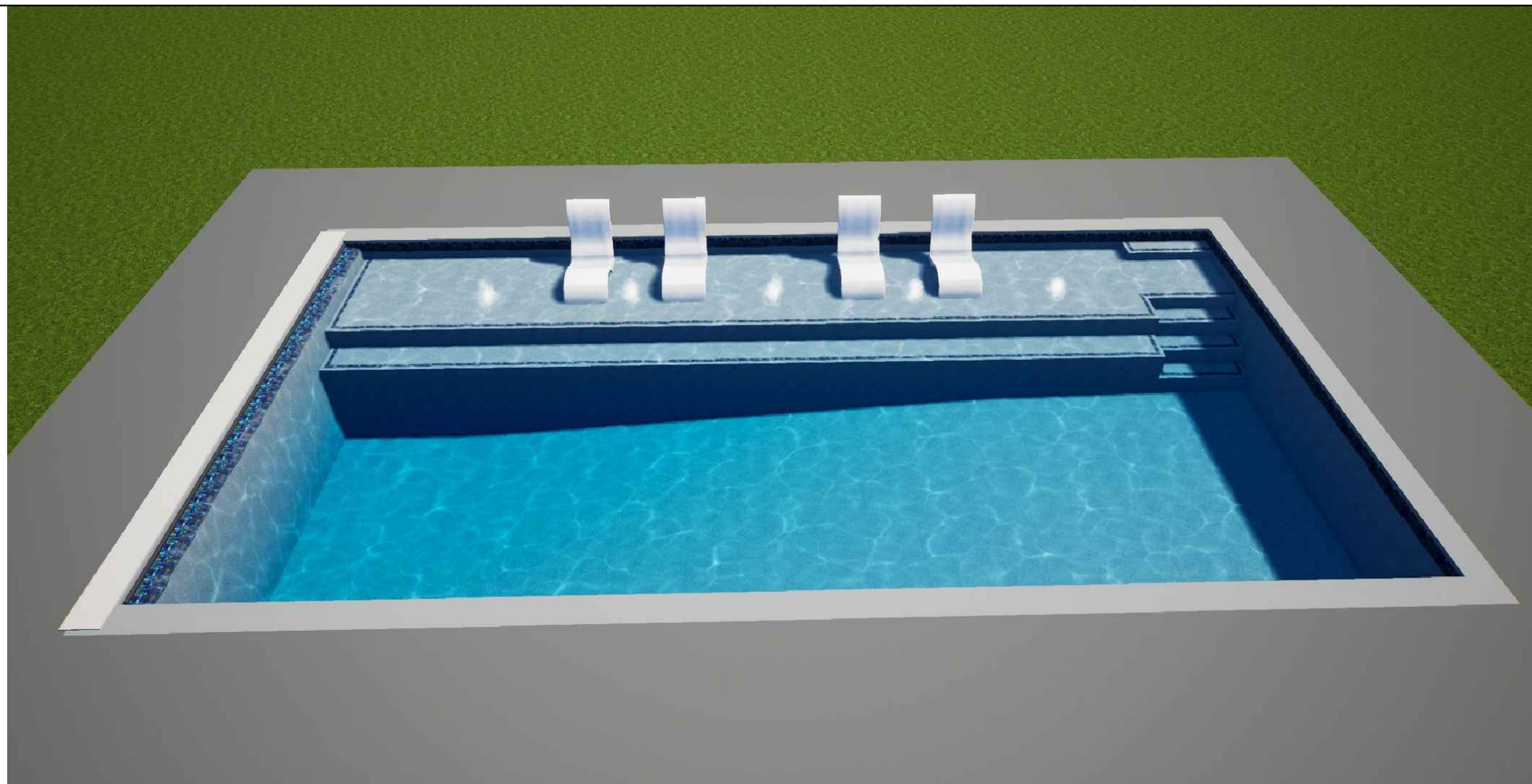
2

NONE

HOUSE PLAN

1

NONE



POOL AREA RENDERING

3

POOL AREA RENDERING

4

NONE

LOCATION PLAN

5

NONE

OLIN RESIDENCE SWIMMING POOL

7700 NORTH CLUB CIRCLE
FOX POINT, WI 53217

REVISION SCHEDULE

NO	DESCRIPTION	DATE
	CONSTRUCTION SET	2021.06.24
1	CB1 - POOL CHANGE	2021.10.14
	CB2 - SITE UPDATE	2021.11.02

ISSUE DATE: 2021.06.24
PROJECT NO: 2021019
DRAWN BY: RML
CHECKED BY: MB

COVER SHEET

PL0.00

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OLIN RESIDENCE SWIMMING
POOL

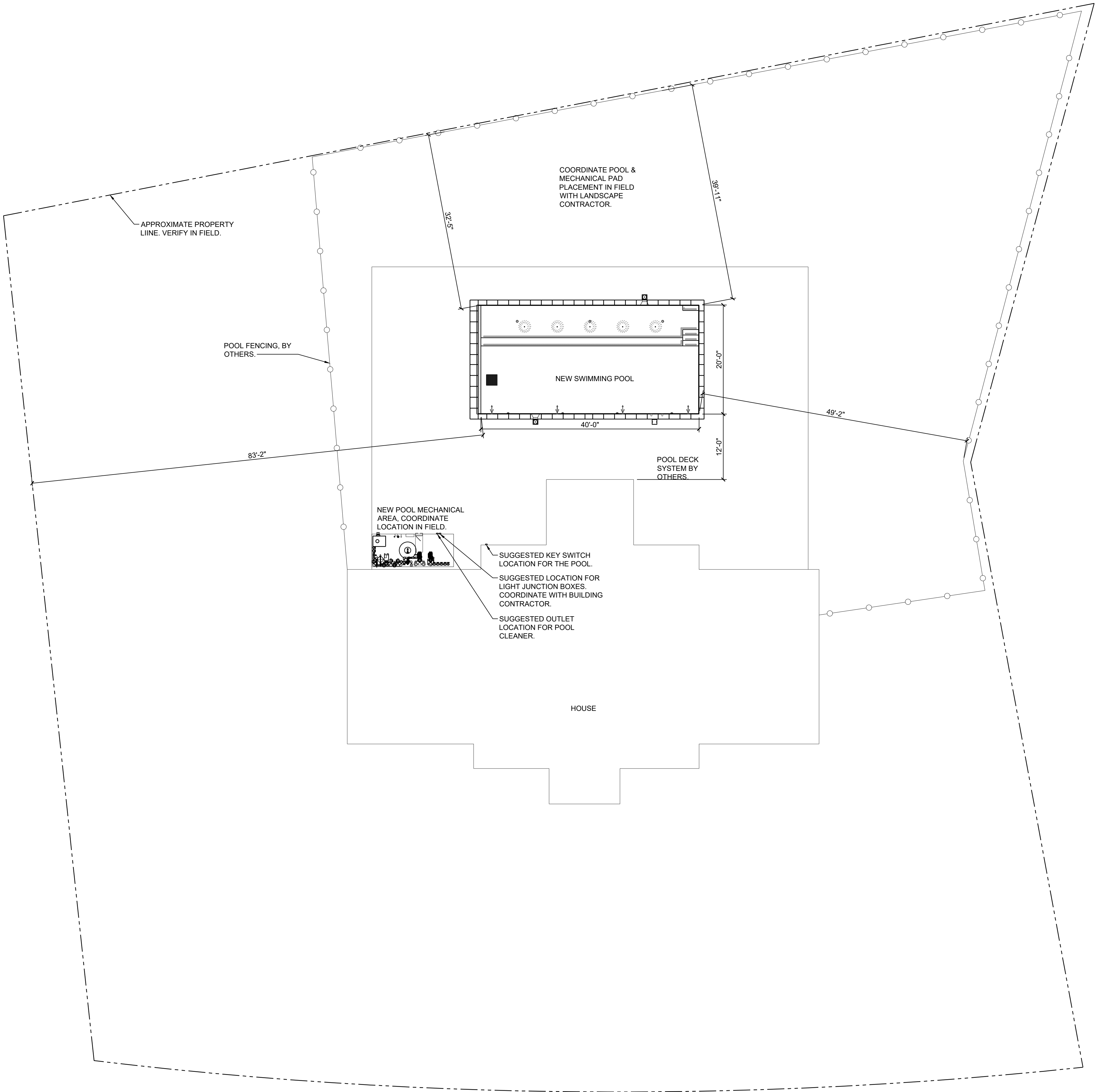
7700 NORTH CLUB CIRCLE
FOX POINT, WI 53217

REVISION SCHEDULE

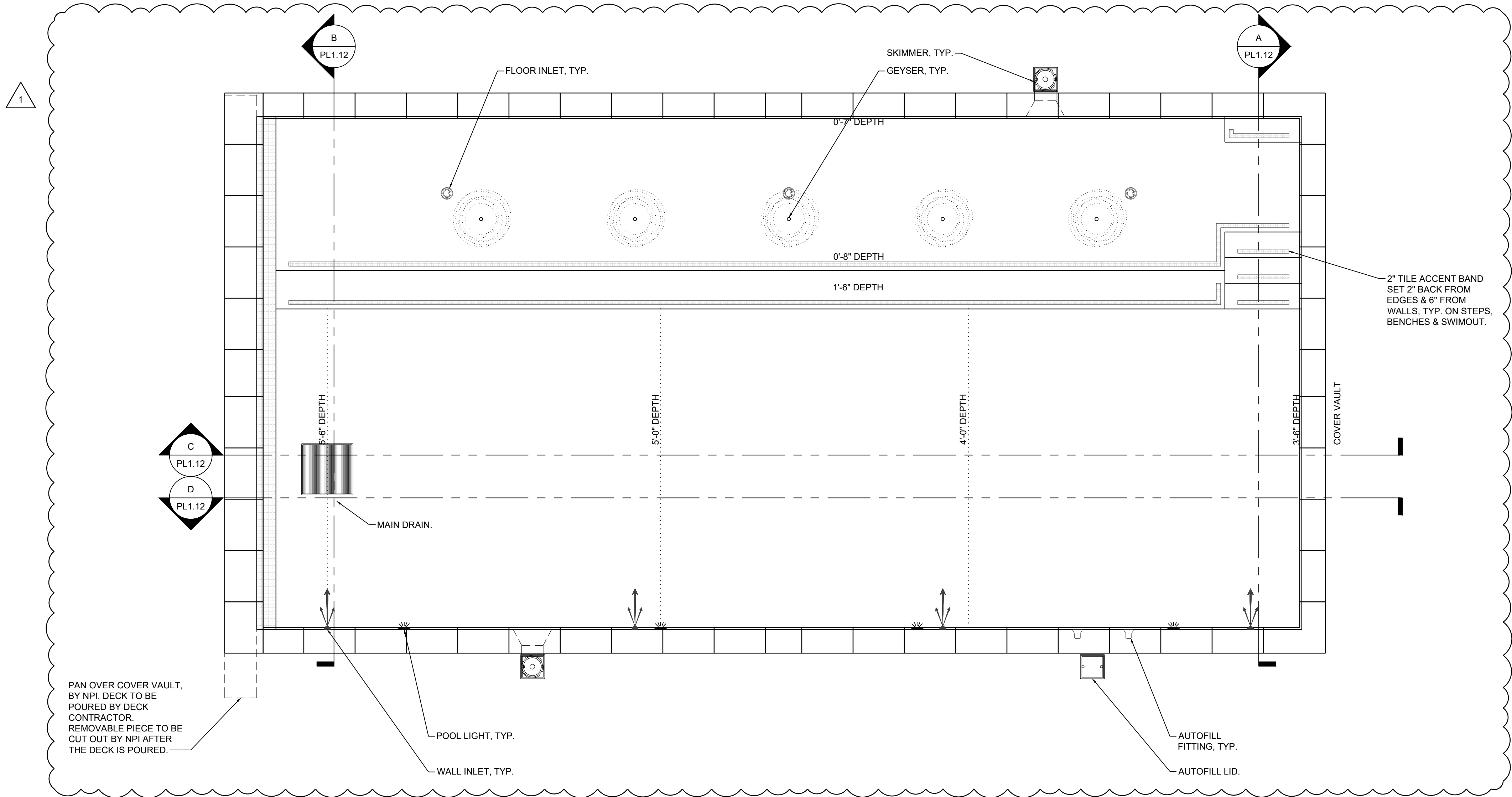
NO	DESCRIPTION	DATE
	CONSTRUCTION SET	2021.06.24
1	CB1 - POOL CHANGE	2021.10.14
	CB2 - SITE UPDATE	2021.11.02

ISSUE DATE: 2021.06.24
PROJECT NO: 2021019
DRAWN BY: RML
CHECKED BY: MB

OVERALL POOL AREA
PLAN



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POOL PLAN

1

3/8"=1'-0"

PERIMETER:
SURFACE AREA:
WATER DEPTH:
WATER VOLUME:
WATER GALLONS:
TURNOVER RATE:
CIRCULATION RATE:

SWIMMING POOL
120 LINEAL FEET
800 SQUARE FEET
3'-6" TO 5'-6" MAXIMUM
2,446 CUBIC FEET
18,294 GALLONS
183 MINUTES
100 GPM

EQUIPMENT	QUANTITY	DESCRIPTION
WALL INLETS:	4	PENTAIR, WALL INLET, #8429-0000, WHITE.
FLOOR INLETS:	3	PENTAIR, FLOOR INLET, #8417-0000, WHITE.
MAIN DRAINS:	2	AQUASTAR, #24101, 24"x24" FRAME & GRATE, WHITE.
SKIMMERS:	2	PENTAIR STARITE, U3-8650-1404, WHITE.
SENSOR/FILL FITTINGS:	2	HAYWARD, #SP1019, 2" SOCKET CONNECTION, WHITE ABS BODY AND GRATE, 2 3/4"x4 7/16".
SENSOR DECK LID:	1	PENTAIR STARITE, U3-8650-1404, WHITE LID & FRAME.
LIGHTS:	4	PENTAIR, GLOBRITE COLOR (#602054), 12V, 15W LED LIGHTS W/GUNITE NICHE. REFER TO SHEET PL3.00 FOR TRANSFORMERS.
HYDROVALVE:	1	HAYWARD, #SP-1056 2" HYDROSTATIC RELIEF VALVE WITH STARITE #7282-0013 2" PVC COLLECTION TUBE.
POOL COVER:	1	COVER POOLS SAFE T-3 AUTOMATIC COVER, SLIP CLUTCH, 3/4HP, 120V, 15 AMP. SQUARE LEADING EDGE BAR.
WINTER COVER:	1	MERLIN INDUSTRIES, DURAMESH POOL COVER W/BRASS CONCRETE DECK ANCHORS AND COLLARS, COLOR TO BE SELECTED.
POOL VACUUM:	1	MAYTRONICS, DOLPHIN M600 ROBOTIC CLEANER, 120V, 20 AMP.
GEYSERS:	5	NPI CUSTOM, FIELD INSTALLED GEYSERS, SCH 80 PVC.

OLIN RESIDENCE SWIMMING POOL

7700 NORTH CLUB CIRCLE
FOX POINT, WI 53217

REVISION SCHEDULE

NO	DESCRIPTION	DATE
	CONSTRUCTION SET	2021.06.24
1	CB1 - POOL CHANGE	2021.10.14
	CB2 - SITE UPDATE	2021.11.02

ISSUE DATE: 2021.06.24
PROJECT NO: 2021019
DRAWN BY: RML
CHECKED BY: MB

POOL PLAN

POOL DATA

2

DECK EQUIPMENT LIST

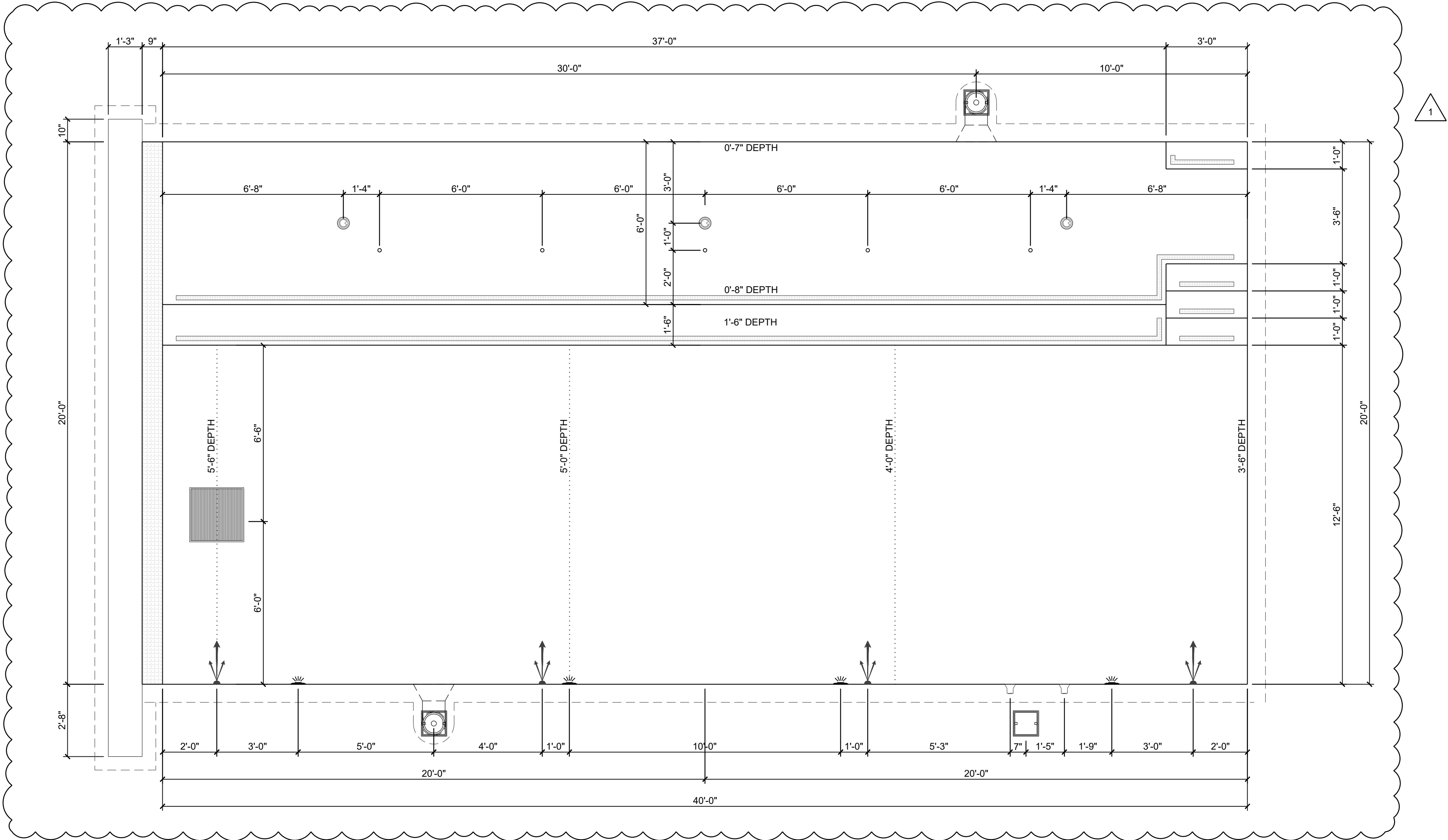
3

NONE

NONE

PL1.10

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OLIN RESIDENCE SWIMMING
POOL

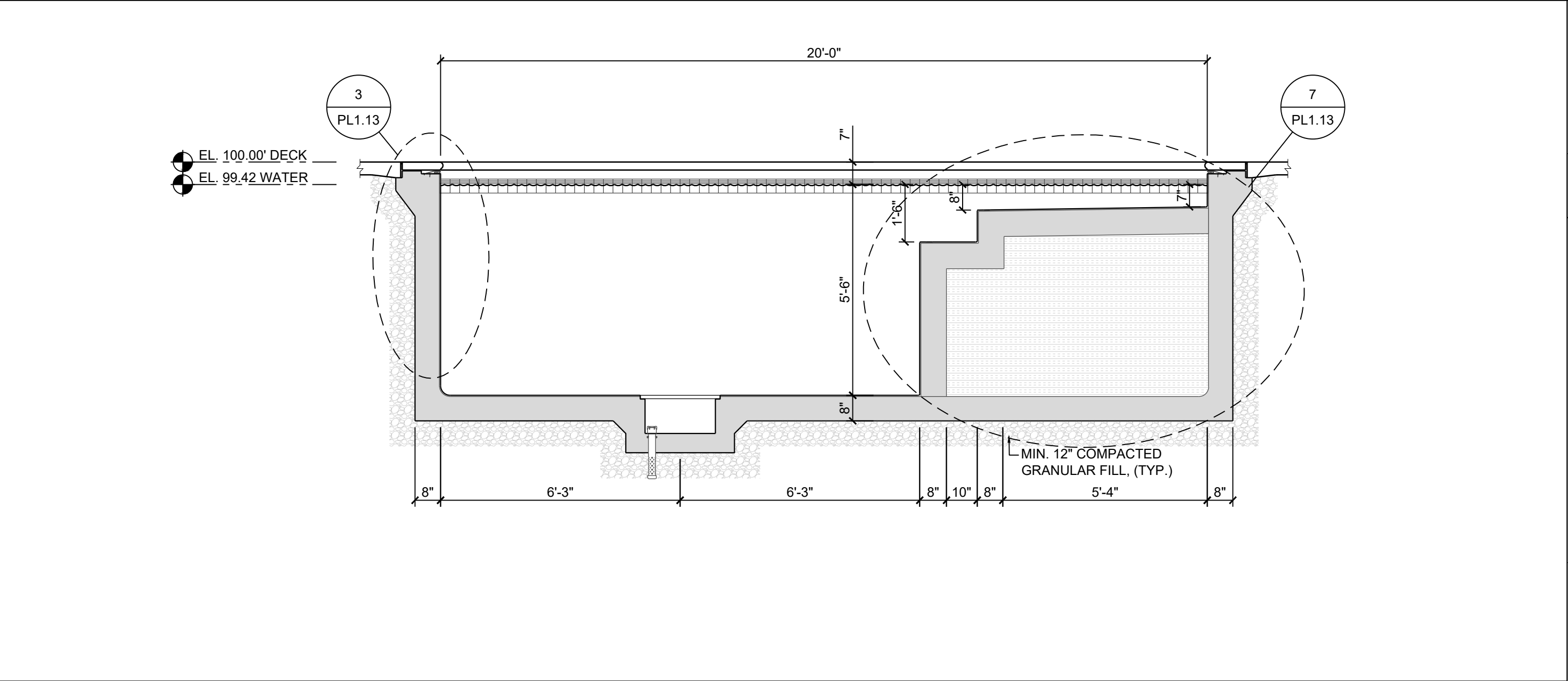
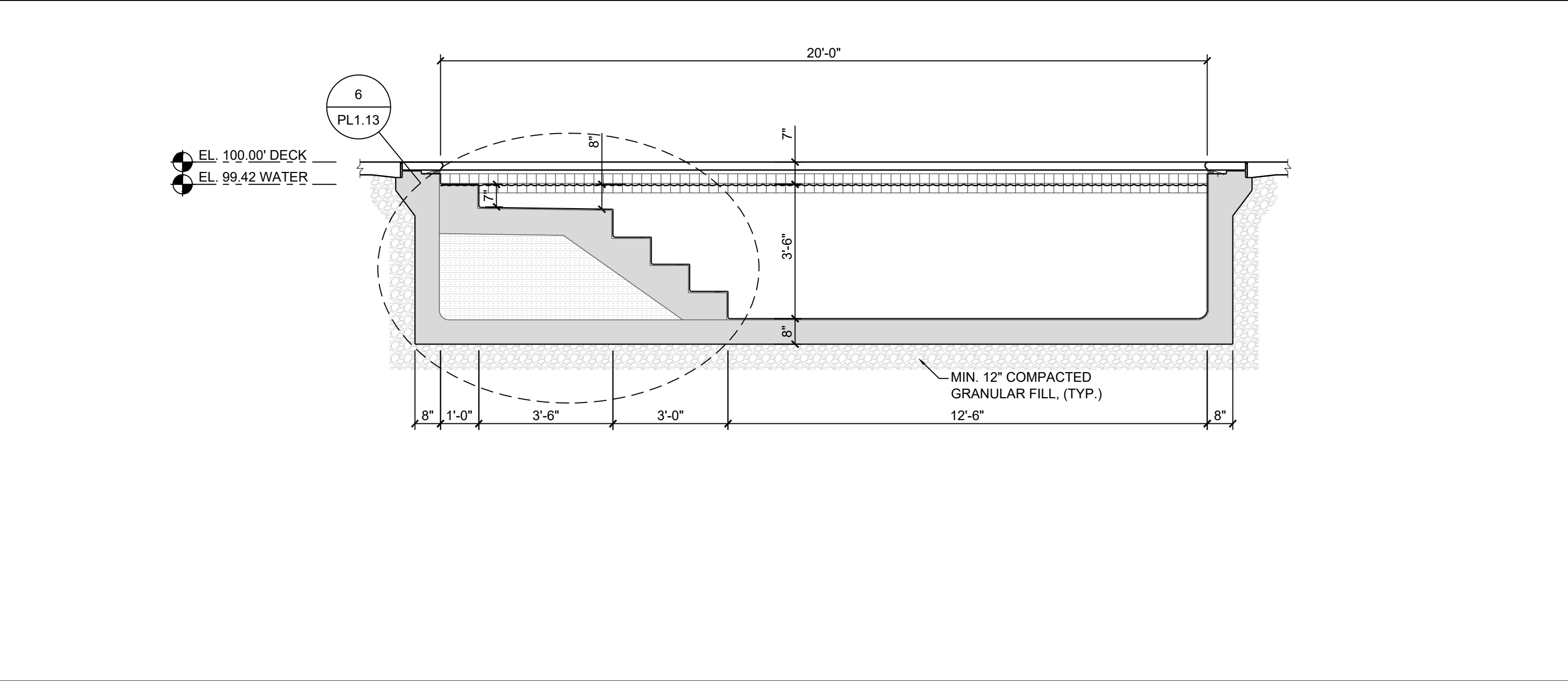
7700 NORTH CLUB CIRCLE
FOX POINT, WI 53217

REVISION SCHEDULE

NO	DESCRIPTION	DATE
	CONSTRUCTION SET	2021.06.24
1	CB1 - POOL CHANGE	2021.10.14
	CB2 - SITE UPDATE	2021.11.02

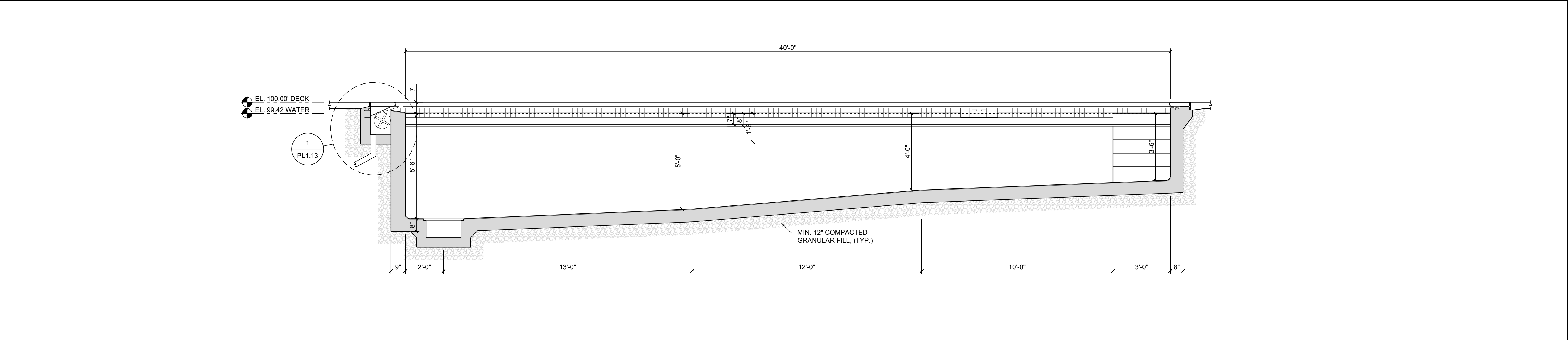
ISSUE DATE: 2021.06.24
PROJECT NO: 2021019
DRAWN BY: RML
CHECKED BY: MB

POOL LAYOUT PLAN

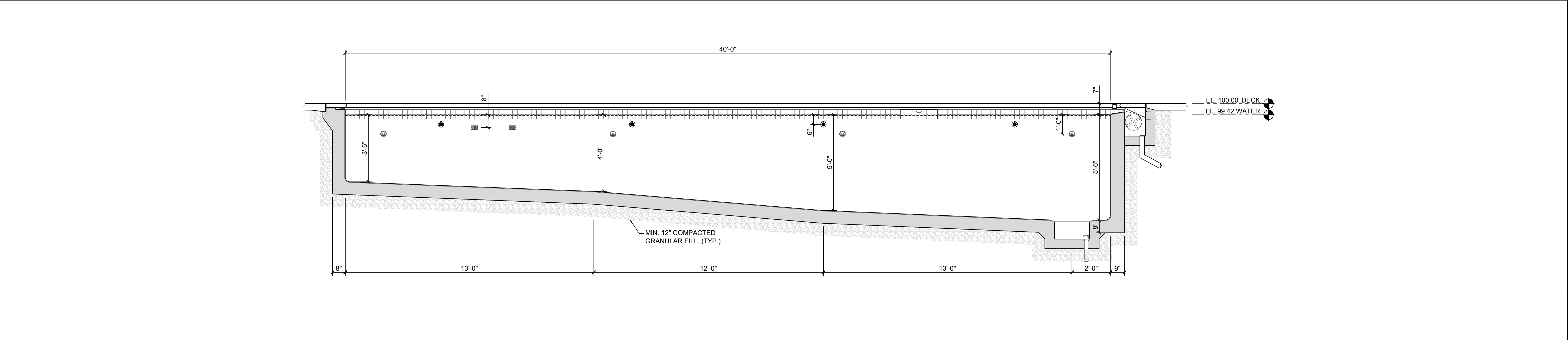


SWIMMING POOL SECTION  1

A 3/8"=1'-0" SWIMMING POOL SECTION  1 B 3/8"=1'-0"



SWIMMING POOL SECTION  1 C 3/8"=1'-0"



SWIMMING POOL SECTION  1 D 3/8"=1'-0"

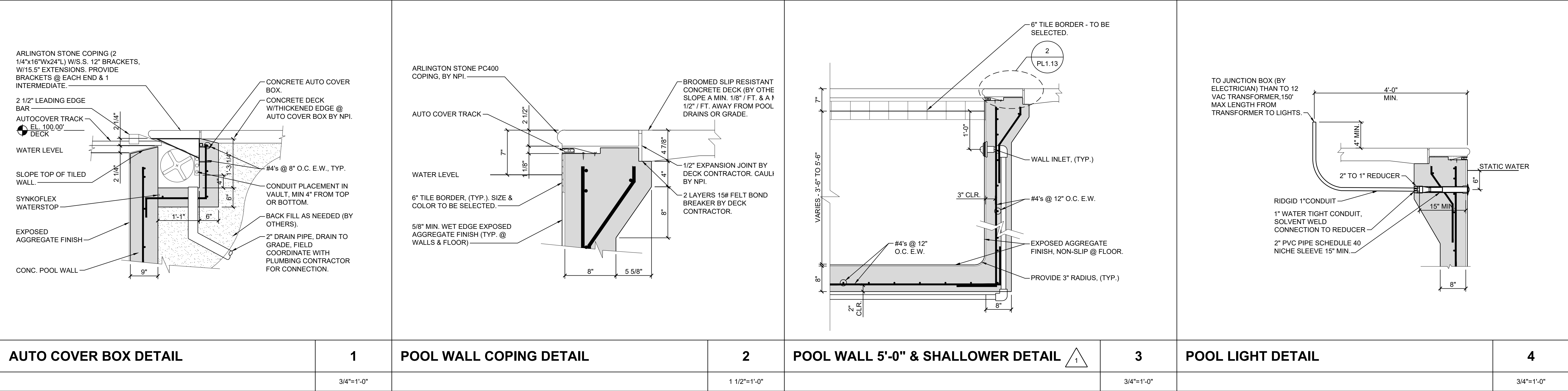
OLIN RESIDENCE SWIMMING
POOL
7700 NORTH CLUB CIRCLE
FOX POINT, WI 53217

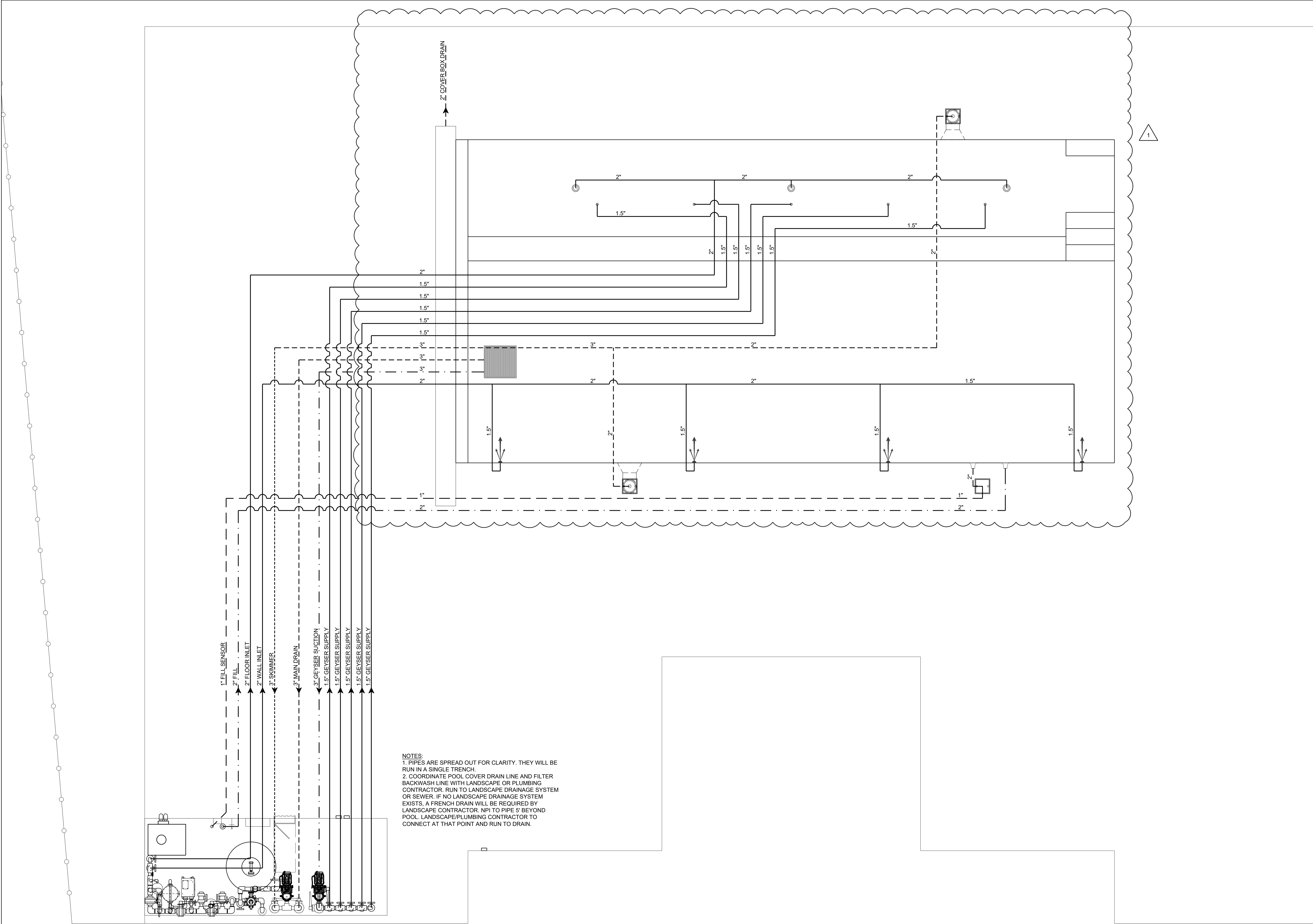
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NO	DESCRIPTION	DATE
	CONSTRUCTION SET	2021.06.24
1	CB1 - POOL CHANGE	2021.10.14
	CB2 - SITE UPDATE	2021.11.02

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POOL SECTIONS

PL1.12





OLIN RESIDENCE SWIMMING
POOL

7700 NORTH CLUB CIRCLE
FOX POINT, WI 53217

REVISION SCHEDULE

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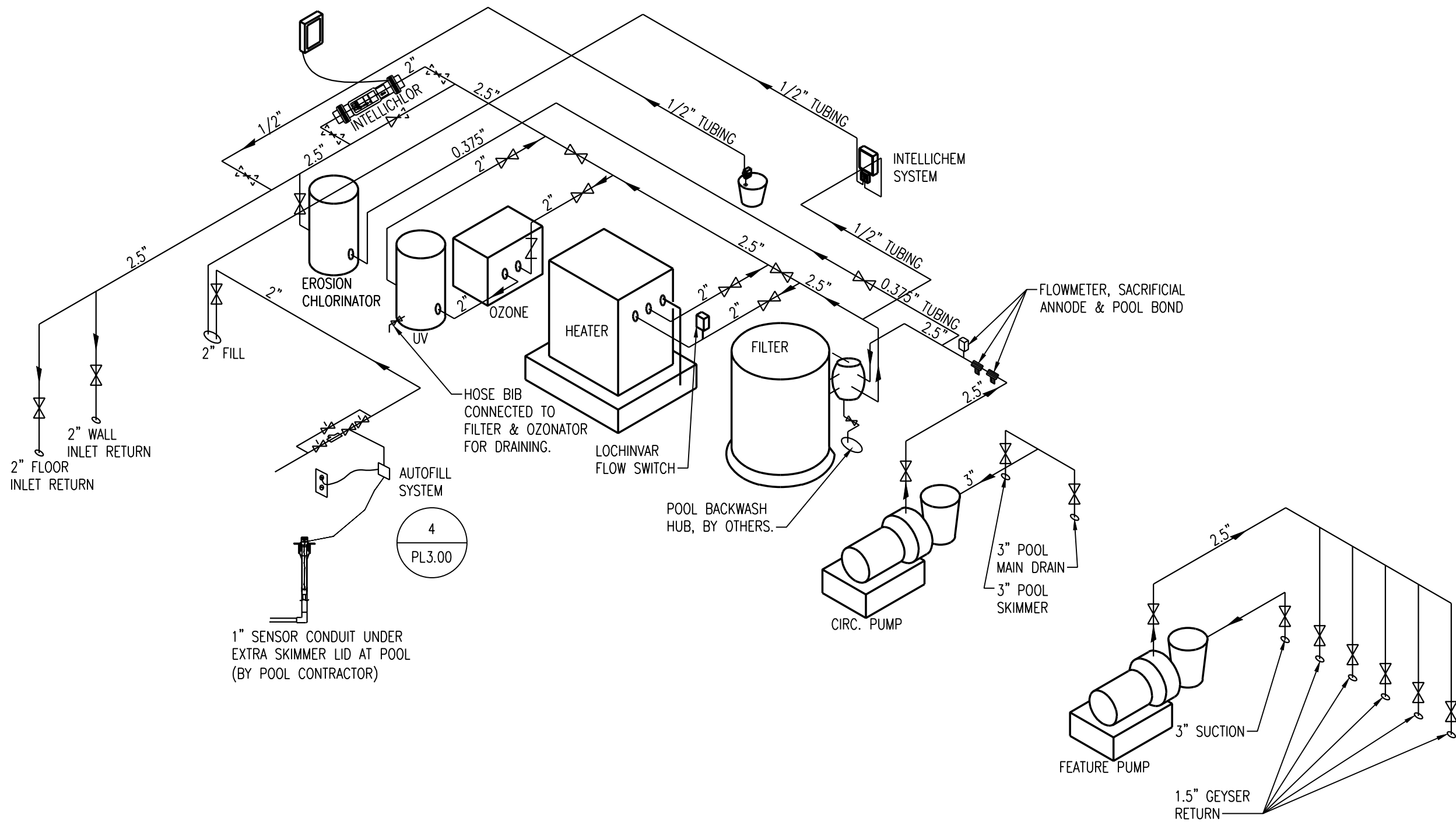
ISSUE DATE: 2021.06.24
PROJECT NO: 2021019
DRAWN BY: RML
CHECKED BY: MB

POOL PIPING PLAN

MECHANICAL AREA PLAN

1

1/2"=1'-0"



2

NONE

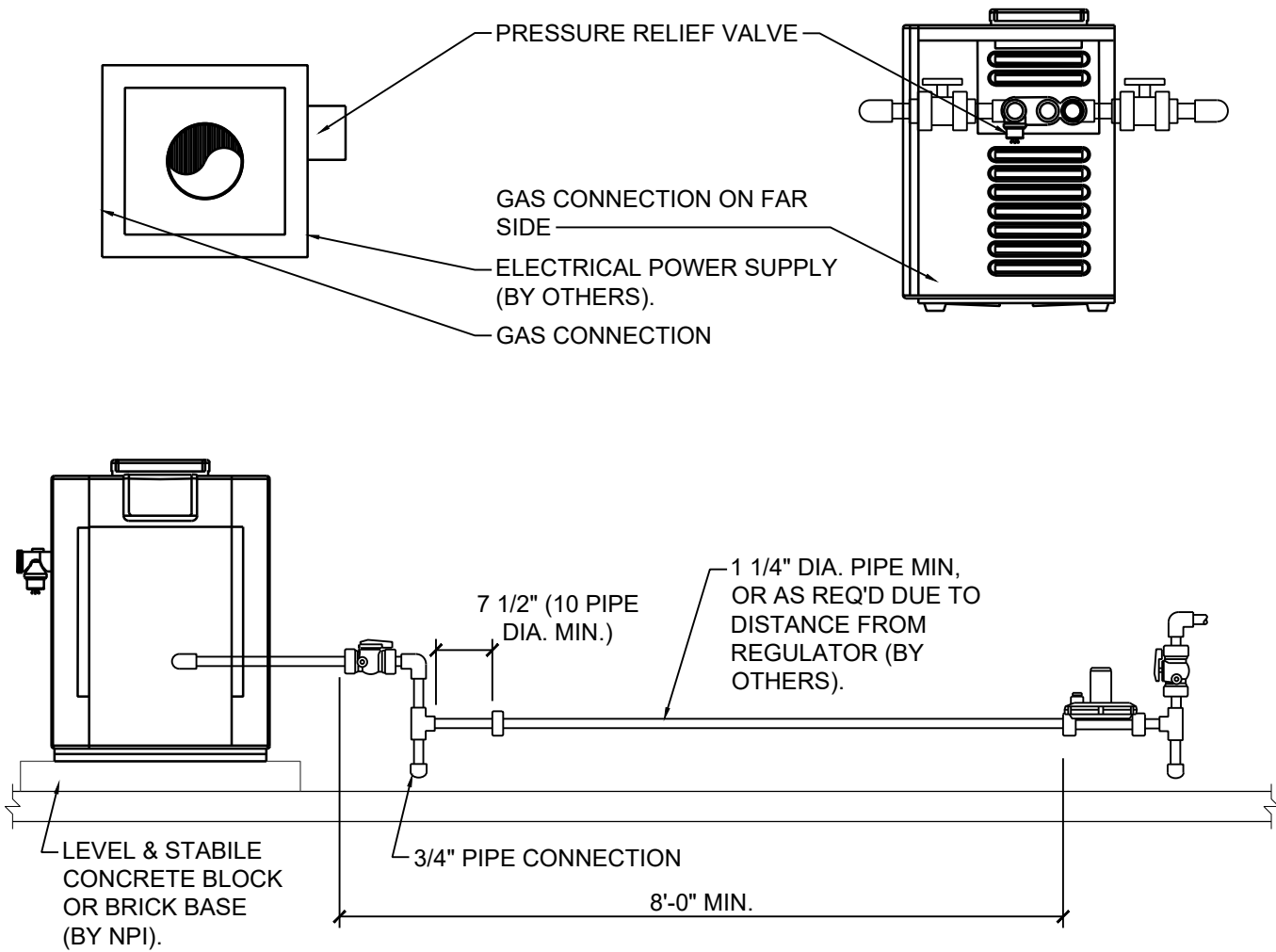
SWIMMING POOL MECHANICAL ISOMETRIC

PERIMETER: SURFACE AREA: WATER DEPTH: WATER VOLUME: WATER GALLONS: TURNOVER RATE: CIRCULATION RATE: 1 SWIMMING POOL 120 LINEAL FEET 800 SQUARE FEET 3'-6" TO 5'-6" MAXIMUM 2,446 CUBIC FEET 18,294 GALLONS 183 MINUTES 100 GPM			
KEY	EQUIPMENT	QUANTITY	DESCRIPTION
1	PUMP - FILTRATION:	1	PENTAIR, INTELLIFLO VSF, 3HP, 230V, 16.0 AMP, (#011056), 100 GPM @ 70' TDH, W(2) PRA200906 HIGH TEMP UNIONS.
1A	PUMP - GEYSER:	1	PENTAIR, INTELLIFLO VSF, 3HP, 230V, 16.0 AMP, (#011056), 125 GPM @ 70' TDH, W(2) PRA200906 HIGH TEMP UNIONS.
2	FILTERS:	1	PENTAIR, TRITON TR140 HIGH RATE SAND FILTER (#140243), 7.06 S.F. FILTER AREA, 142 GPM BACKWASH RATE.
3	HEATER:	1	RAYPAK, DIGITAL HEATER, #406A, 399,000 BTU/HR INPUT ON NATURAL, 3/4" NPT GAS CONNECTION, 2" NPT WATER CONNECTIONS, 3/4" PRESSURE RELIEF VALVE, 120V, 4.0 AMPS, 38.0" T x 29.0" W x 28" D, 4.0" - 10.5" WC, 270 LBS. SEE NPI UTILITY REQUIREMENTS, MAXITROL 325-75 REGULATOR & VENT LIMITER FIR12A49 BY NPI.
4	SANITATION (COLD TEMP):	1	RAINBOW 300-29X EROSION CHLORINATOR.
4A	SANITATION:	1	PENTAIR INTELLICHLOR SALT CHLORINATOR, IC60 CELL WIRED TO RELAY, 120V, 6 AMP, PROVIDE INTELLICHLOR EXTENSION CABLE #PFB520734.
4B	SANITATION (SECONDARY):	1	SOLAR ECLIPSE OZONATOR #DEL-45-1041, MDV-100 DEGASSING VESSEL #DEL-45-913, ARMSTRONG 3/4" AIR VENT #FIR10510417001, 230V, 0.6 AMPS, #MCM4901056 FOR DRAINAGE OF VESSEL.
4C	INTELLICHEM:	1	PENTAIR, INTELLICHEM CONTROLLER AND ACID SYSTEM #522621.
5	CONTROLLER:	1	PENTAIR, INTELLICENTER, ENCLOSURE KIT #522041, PERSONALITY KIT 16P #521909, WATERPROOF WIRELESS REMOTE #522036, 230V SURGE SUPPRESSOR #A1201.
6	POOL BOND:	1	PERMA-CAST, POOLBOND - WATER BONDING FITTING, #PB-2008.
7	AUTOFILL:	1	ZODIAK LEVELOR, K1100, 120V, 1 AMP.
8	FLOW METER:	1	FLOW-VIS, FLOWMETER AND CHECK VALVE #FV-C, 2.5", 0.71 PSI AT 21.3 GPM AND 2.37 PSI AT 112.6 GPM, NSF 50 CERTIFIED TO 50 PSI.
9	SACRIFICIAL ANODE:	1	INLINE TECHNODE, #TN-INL.
	LIGHT TRANSFORMERS:	1	PENTAIR, 300 WATT TRANSFORMER #619963.

SWIMMING POOL EQUIPMENT LIST

3

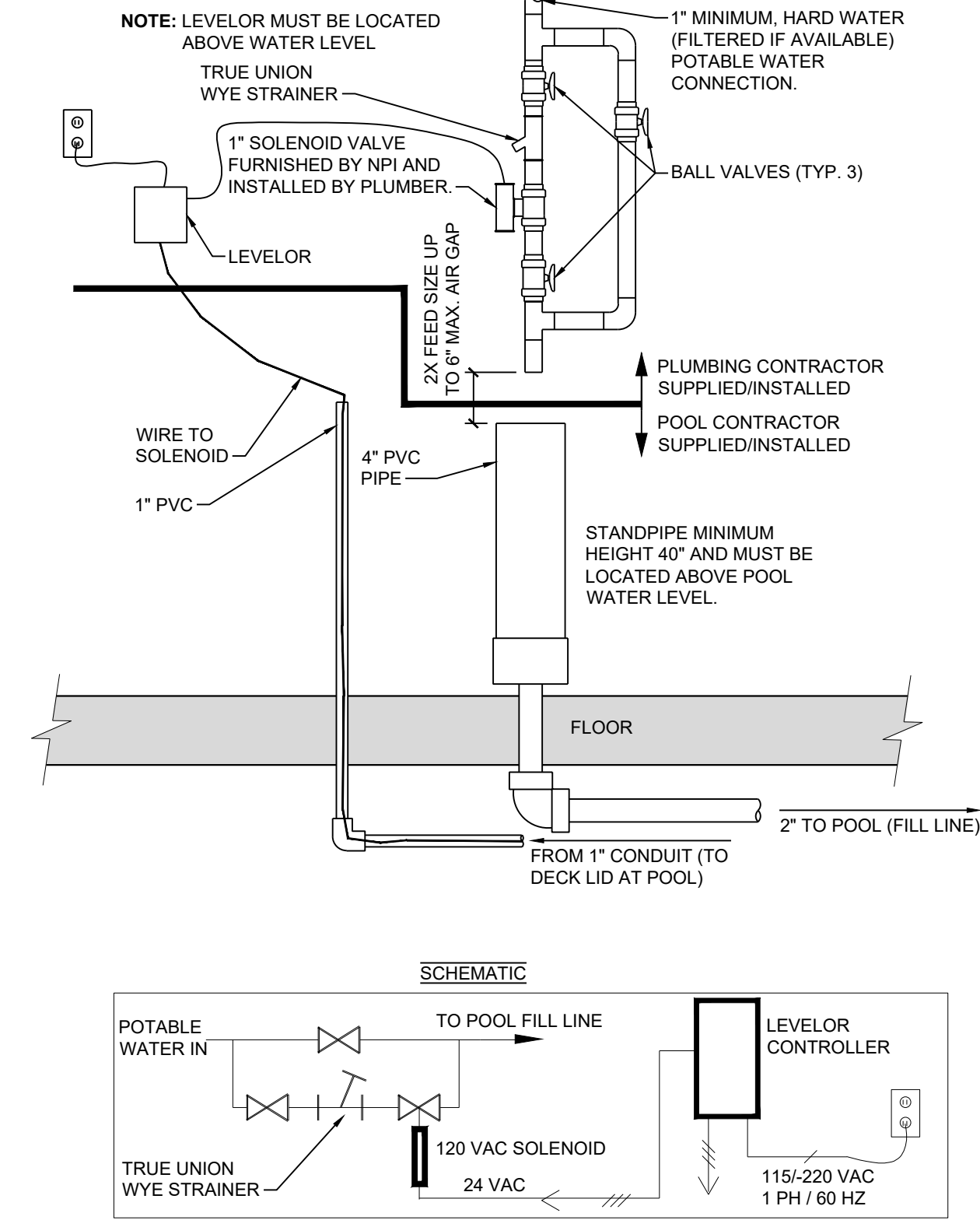
NONE



HEATER CONNECTION DETAIL

5

NONE



AUTOFILL DETAIL

4

NONE

OLIN RESIDENCE SWIMMING POOL

7700 NORTH CLUB CIRCLE
FOX POINT, WI 53217

REVISION SCHEDULE

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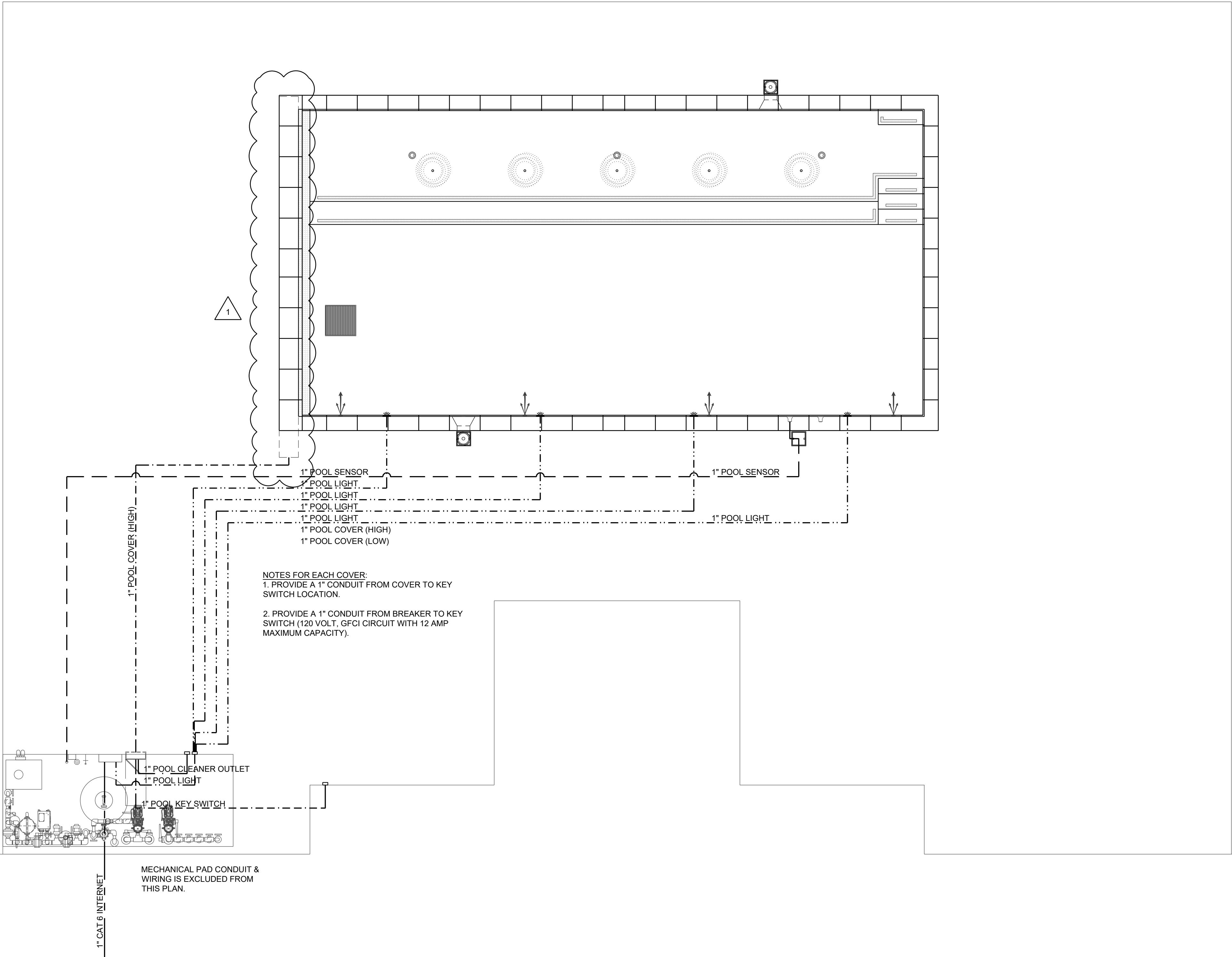
ISSUE DATE: 2021.06.24
PROJECT NO: 2021019
DRAWN BY: RML
CHECKED BY: MB

MECHANICAL AREA PLAN

PL3.00

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- NOTES:
1. CONDUITS ARE SPREAD OUT FOR CLARITY. THEY SHOULD BE RUN IN A MINIMAL NUMBER OF TRENCHES.
 2. ALL CONDUITS WILL NEED TO RUN TO JUNCTION BOXES IN THE WALL THEN TO POOL CONTROLLER OR ELECTRICAL PANEL.
 3. ELECTRICAL CONTRACTOR TO PROVIDE PULL BOXES FOR AUTO COVER WIRING AND AUTOFILL SENSOR WIRING SO NO WIRES ARE PULLED GREATER THAN 100'. ELECTRICIAIAN TO PULL THESE WIRES.



OLIN RESIDENCE SWIMMING POOL

7700 NORTH CLUB CIRCLE
FOX POINT, WI 53217

REVISION SCHEDULE		
NO	DESCRIPTION	DATE
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POOL CONDUIT PLAN



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

BUILDING BOARD

Building Board typically meets on the second Wednesday of every month at 5:00 p.m. The application deadline is 12:00 p.m. on the Friday prior. All applications must be complete and include the proper filling fee.

Building Board meetings will be held via Zoom. **Building Board agenda with the Zoom address will be posted on the website under Agendas & Minutes.**

Examples of projects that must appear before the Building Board: New Construction, Additions, Exterior Improvements, Detached Garage, Decks, Sheds ≥ 100 sq. ft., Window Replacement, New Doors, Patio Doors, Pools, Signs and Solar Systems.

Complete Building Board Applications must include:

- ☒ **One set of drawings** to 1/4 inch scale on 24" x 36" maximum size sheets. These shall include all elevations, floor plans, foundation plan, and cross sections.
 - Elevation Drawings shall include all proposed elevations of the building, even if changes to the elevation are not proposed. This is to ensure consistency of all elevations. In cases where a building element may be skewed from another, it may be necessary to draw more than the four primary elevations of the building to clearly explain the intent of the design. All building elevations must be fully dimensioned to indicate heights above grade for all components. If the project is a building addition or remodeling, the original structure should be clearly illustrated as new building versus existing structure.
 - The complete existing elevation should be shown in all cases of additions and remodeling. All building materials must be identified and noted on each elevation drawing. This is to include, but not limited to, type and size of siding, type and size of masonry, window type size and material, roofing material, fascia, rakes, soffits, eaves, and flashing materials. It is recommended to bring material samples and colors.
 - Dimensioned floor plans shall include all floor plans of the proposed building. Each plan must include complete dimensions, and include room names for each space. In the case of an addition, each room shall be tagged either existing or new. In the case where there is a detached garage, a separate plan, fully dimensioned, for the garage must be included.
- ☒ **Color photos** that includes all elevations of existing home and any accessory structures on the property.
- ☒ **Survey** less than one year old or an accurate survey showing all buildings prepared by a certified surveyor registered by the State of Wisconsin. This must include all property lines with distances bearings, North arrow, exact location of all existing and proposed buildings, parking areas, drives, public improvements, easements, and other key features of the site. Show distances from front, rear and side property lines.
- ☒ **Site plan** include a North arrow and dimensions. This document must include all property lines, utility and access easements, zoning setbacks, grades at one foot intervals, exact location of all existing and proposed buildings or additions including roof overhangs, all hard surfaced areas (parking areas, drives, patios, sidewalks, etc.), swimming pools, and other accessory structures.
- ☒ **Open area** calculation required for New Construction, Additions, and Accessory Structures.
- ☒ **One Electronic copy of building plans** emailed to mrakow@villageoffoxpoint.com
- ☒ **Completed Building Permit Application.**
- ☒ **Building Board Fee \$75.00** payable to the Village of Fox Point.

A REPRESENTATIVE MUST ATTEND BUILDING BOARD MEETING

**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd

Fox Point, WI 53217

(414) 247-6622

www.villageoffoxpoint.com

Permit Number:

B-**OFFICE USE ONLY**

Issued Date

Zoning

BUILDING PERMIT

Job Address <u>405 E. Dean Rd.</u>	Building Type: Residential - Commercial
Description of Work	
<u>Single story addition to the south of the Residence with a full basement.</u>	
Estimated Cost of Project \$	

Owner/Occupant	
Business Name <u>N/A</u>	Contact Name <u>Laura Kleczkowski</u>
Address <u>405 E. Dean Rd.</u>	City/State/Zip <u>Fox Point, WI 53217</u>
Phone <u>414-303-8178</u>	Email <u>lkleczkowski@fred-inc.com</u>

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name <u>Gabor Design Build</u>	Contact Name <u>Nick Burris</u>
Address <u>WIS6N11238 Pilgrim Rd</u>	City/State/Zip <u>German town, WI, 53022</u>
Phone <u>262-437-2100 EXT. 124</u>	Email <u>nick@gabor.designbuild.com</u>
Dwelling Contractor # <u>858873</u>	Dwelling Contractor Qualifier # <u>858874</u>

Square Footage Under Construction				
1 st Floor <u>325</u>	2 nd Floor <u>28</u>	Basement <u>513</u>	Addition <u>504</u>	Garage <u>0</u>

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$9.50	
Building Board	\$75.00	
Footing early start - \$210.00 one and two family; \$280.00 commercial		
Plan Review - \$250.00 one and two family; New Single Family Construction \$300.00 plus \$27.00/unit commercial		
State Seal	\$65.00	
Razing, Interior Demolition \$85.00 minimum plus	\$0.12/sqft	
Moving buildings over public ways \$230.00 plus	\$0.12/sqft	
Fuel tanks - Per 1,000 gallons	\$24.00	
Re-inspection	\$100.00	
Other		
Work started without permit Double Fee		
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$

Applicant Signature

Date

11/4/21

Rev 01/21

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

KLECZKOWSKI ADDITION

405 E DEAN RD
FOX POINT, WI 53217



GABOR
DESIGN BUILD LLC

W156 N11238 PILGRIM RD
GERMANTOWN, WI 53022
PHONE: (262) 437-2100

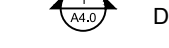
SHEET INDEX

T1.0	TITLE SHEET
A1.0	EXISTING ELEVATIONS PHOTOGRAPHS
C1.0	SITE SURVEY
C1.1	SITE PLAN
A2.0	LOWER LEVEL PLAN
A2.1	FIRST FLOOR PLAN & OPEN AREA CALCULATION
A2.2	SECOND FLOOR PLAN
A4.0	EXTERIOR ELEVATIONS
A4.1	EXTERIOR ELEVATIONS

FLOOR PLAN



KLECZKOWSKI ADDITION
405 E DEAN RD
FOX POINT, WI 53217

ARCHITECTURAL SYMBOLS	
	ELEVATION HEIGHT
	PLAN NOTE REFERENCE
	DOOR NUMBER
	WINDOW NUMBER
	BUILDING SECTION REFERENCE DRAWING NUMBER
	WALL SECTION OR ELEVATION REFERENCE DRAWING NUMBER
	DETAIL REFERENCE DRAWING NUMBER
	INTERIOR ELEVATION REFERENCE DRAWING NUMBER
	REVISION REFERENCE

PLAN ABBREVIATION KEY:	
ABV	ABOVE
AFF	ABOVE FINISH FLOOR
BLDG	BUILDING
BO	BOTTOM OF
CC	CLOTHES CHUTE
DIA	DIAMETER
DW	DISHWASHER
DWSP	DOWNSPOUT
ETR	EXISTING TO REMAIN
EQ	EQUAL DISTANCE
FLR	FLOOR
GD	GARBAGE DISPOSAL
GYP	GYP SUM BOARD
HWD	HARDWOOD
INSUL	INSULATION
MAX	MAXIMUM
MIN	MINIMUM
N/A	NOT APPLICABLE
OC	ON CENTER
PG	PAINT GRADE
SG	STAIN GRADE
SS	SELECTIONS SHEET
T&G	TONGUE AND GROOVE
TBD	TO BE DETERMINED
TYP	TYPICAL AT MULTIPLE LOCATIONS
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
W	WITH
WH	WATER HEATER

REVISIONS

DRAWING TITLE

TITLE SHEET

DRAWING NUMBER

T1.0

11/05/2021

JP

BUILDING BOARD SUBMISSION

DATE OF ISSUANCE: 11/05/2021

NOT FOR CONSTRUCTION



1 EXISTING NORTH EXTERIOR ELEVATION
SCALE: N/A



2 EXISTING WEST EXTERIOR ELEVATION
SCALE: N/A



3 EXISTING SOUTH EXTERIOR ELEVATION
SCALE: N/A



4 EXISTING EAST EXTERIOR ELEVATION
SCALE: N/A

REVISIONS

DRAWING TITLE

EXISTING
ELEVATIONS
PHOTOGRAPHS

DRAWING NUMBER

A1.0



W156 N11238 PILGRIM RD
GERMANTOWN, WI 53022
PHONE: (262) 437-2100

KLECZKOWSKI ADDITION
405 E DEAN RD
FOX POINT, WI 53217

REVISIONS

REVISIONS

NOT FOR CONSTRUCTION

DRAWING TITLE

SITE SURVEY

DRAWING NUMBER

C1.0

11/05/2021

JF

Prepared For: Nicholas and
Laura Kleczkowski

PLAT OF SURVEY

LOCATION: 405 East Dean Road, Fox Point, Wisconsin

LEGAL DESCRIPTION:

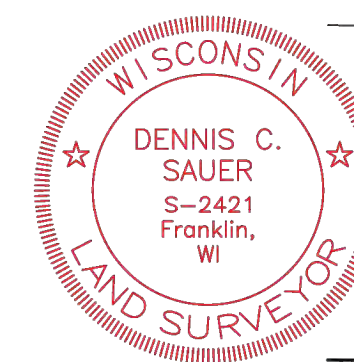
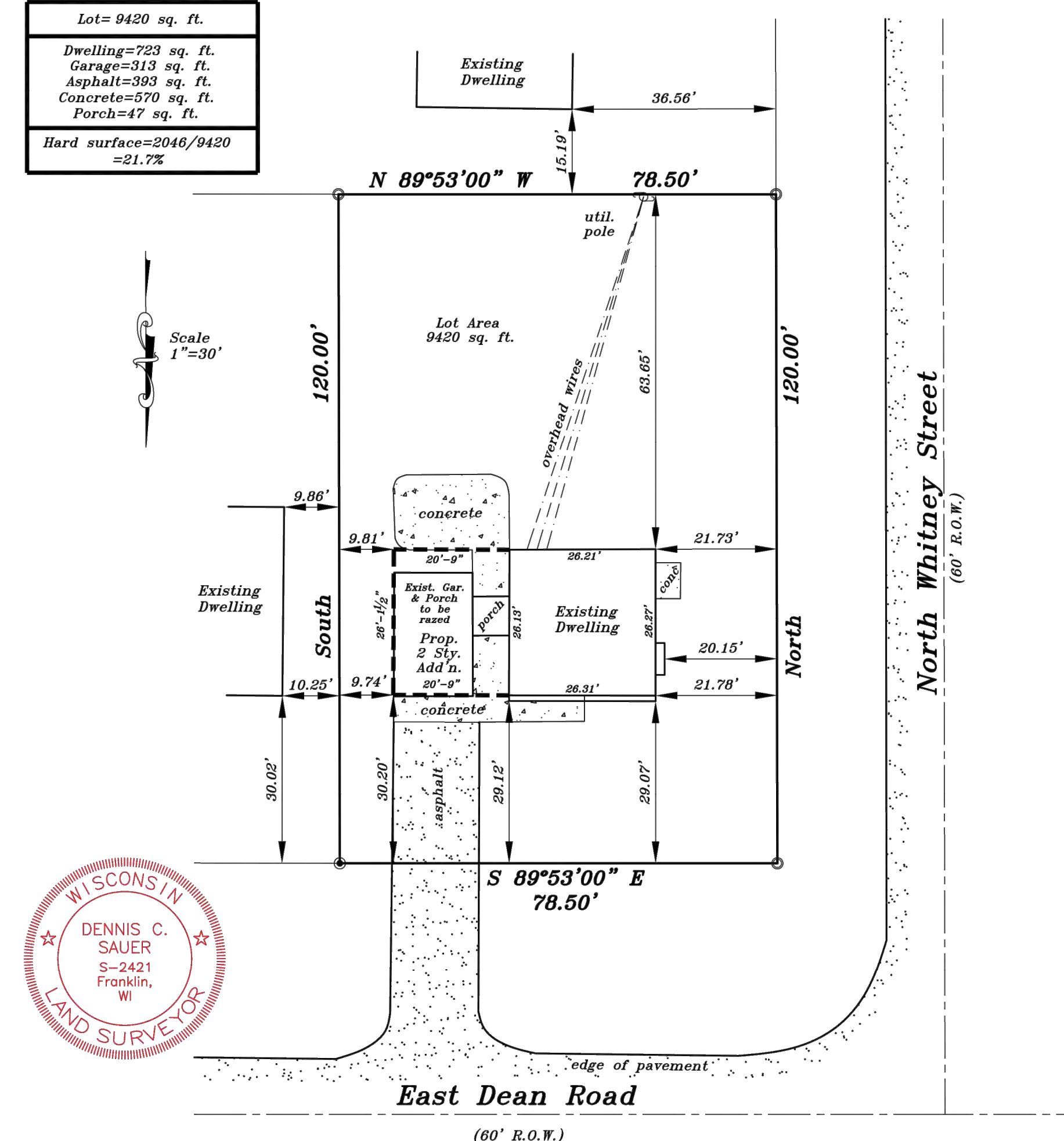
Lot 2 in Block 1 in **FOX POINT GARDENS**, being a subdivision of a part of the Southwest 1/4 of Section 9, Township 8 North, Range 22 East, in the Village of Fox Point, Milwaukee County, Wisconsin.

June 17, 2014

July 22, 2014 Proposed Addition Added

Survey No. 104859

Lot= 9420 sq. ft.
Dwelling=723 sq. ft.
Garage=313 sq. ft.
Asphalt=393 sq. ft.
Concrete=570 sq. ft.
Porch=47 sq. ft.
Hard surface=2046/9420 =21.7%

**METROPOLITAN SURVEY SERVICE, INC.**

REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
5800 Broad Street, Greendale, Wisconsin 53129
PH. (414) 529-5380 FAX (414) 529-9787
email address: survey@metropolitansurvey.com

● — Denotes Iron Pipe Found
 ○ — Denotes Iron Pipe Set

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY. ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

Dennis C. Sauer
Registered Land Surveyor S-242

Registered Land Surveyor S-242

1 SITE SURVEY
SCALE: 1" = 30'

SCALE: 1" = 30'

KLECKOWSKI ADDITION
405 E DEAN RD
FOX POINT, WI 53217

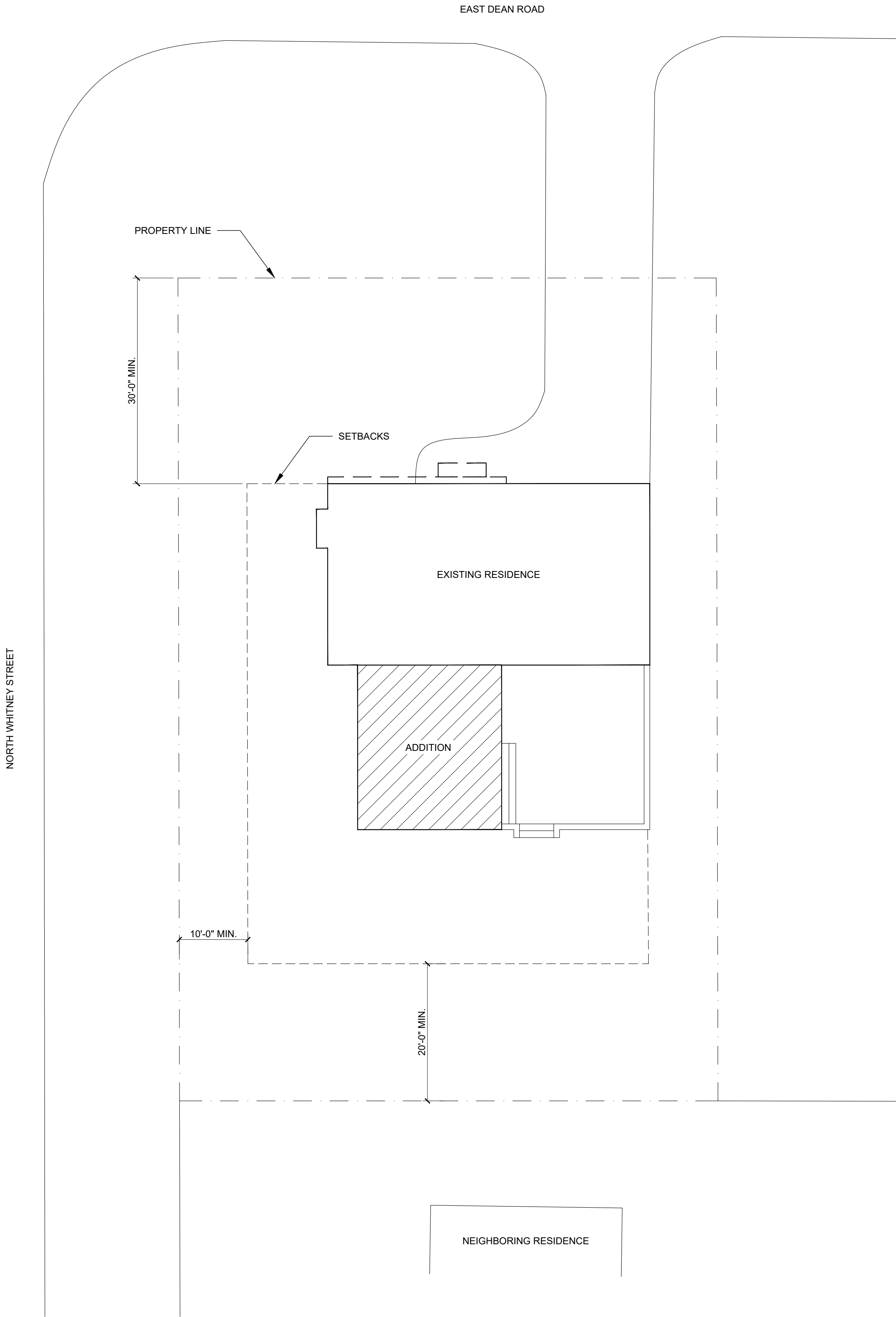
REVISIONS

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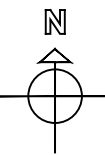
SITE PLAN

DRAWING NUMBER

C1.1



1 SITE PLAN
SCALE: 3/32" = 1'-0"

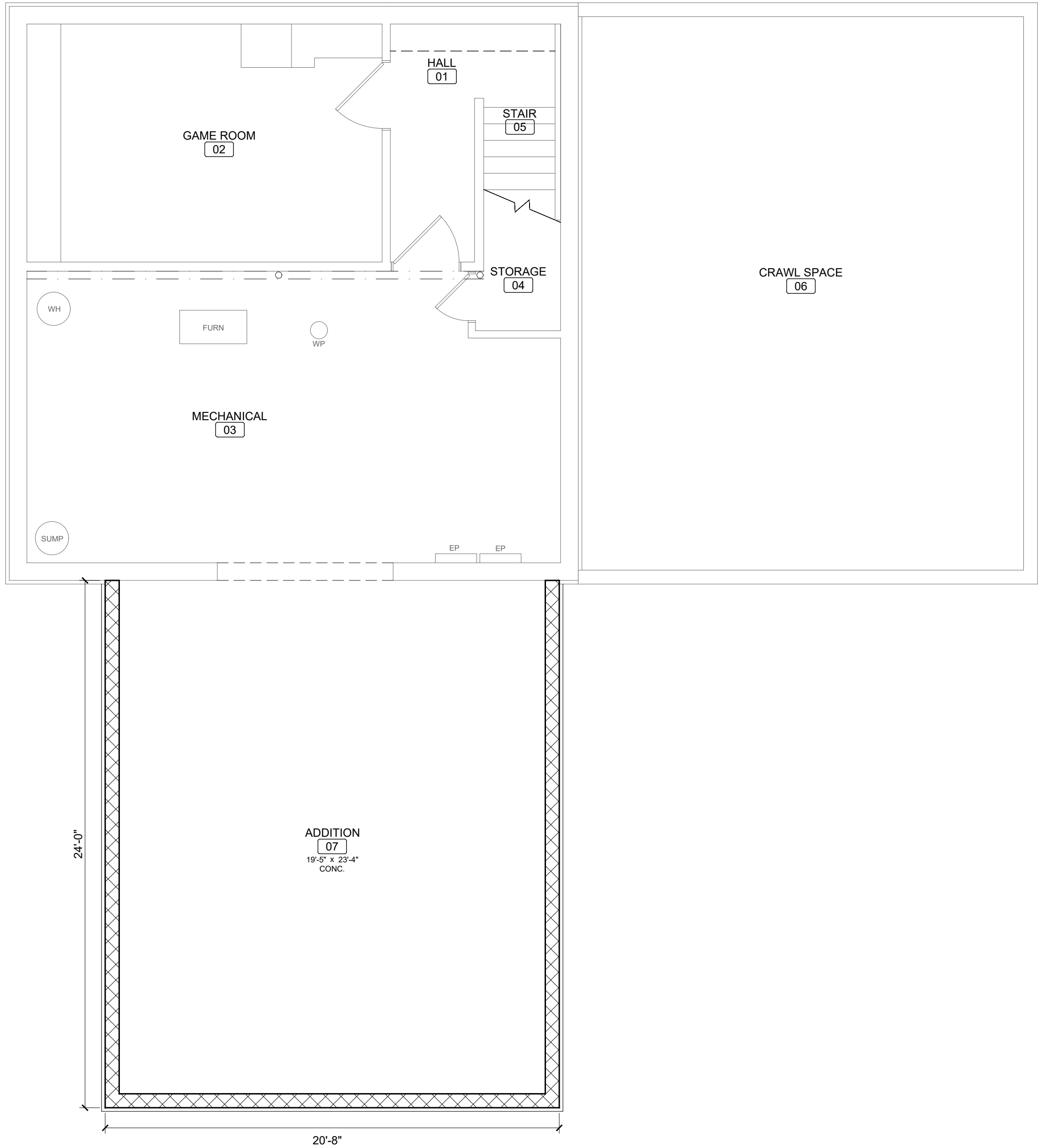




GABOR
DESIGN BUILD LLC

W156 N11238 PILGRIM RD
GERMANTOWN, WI 53022
PHONE: (262) 437-2100

KLECZKOWSKI ADDITION
405 E DEAN RD
FOX POINT, WI 53217



WALL SYMBOLS KEY	
	EXISTING STUD OR MASONRY WALL TO REMAIN
	8" CMU FOUNDATION WALL

REVISIONS

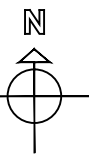
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LOWER LEVEL
PLAN

DRAWING NUMBER

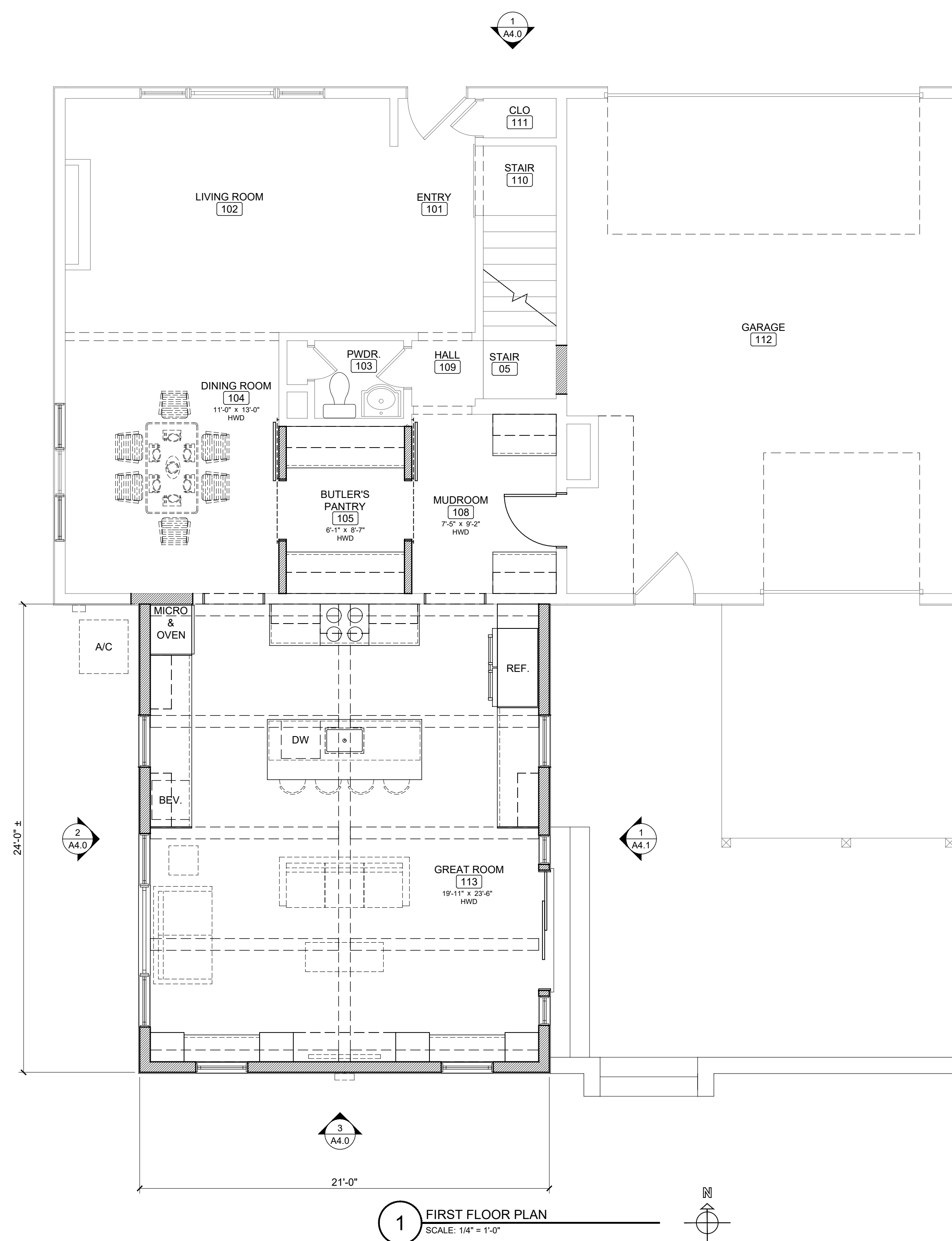
A2.0

1 LOWER LEVEL PLAN
SCALE: 1/4" = 1'-0"





W156 N11238 PILGRIM RD
GERMANTOWN, WI 53022
PHONE: (262) 437-2100



EXISTING STUD OR MASONRY WALL TO REMAIN

2x4 STUD WALL, USE AT ALL NEW INTERIOR WALLS UNLESS NOTED OTHERWISE

EXTERIOR 2x6 STUD WALL W/ 1/2" SHEATHING & SIDING

LOT AREA: 9,420 SF
RESIDENCE AREA: 1,757 SF
RESIDENCE PERCENTAGE OF LOT: 19%

KLECZKOWSKI ADDITION
405 E DEAN RD
FOX POINT, WI 53217

REVISIONS

NOT FOR CONSTRUCTION

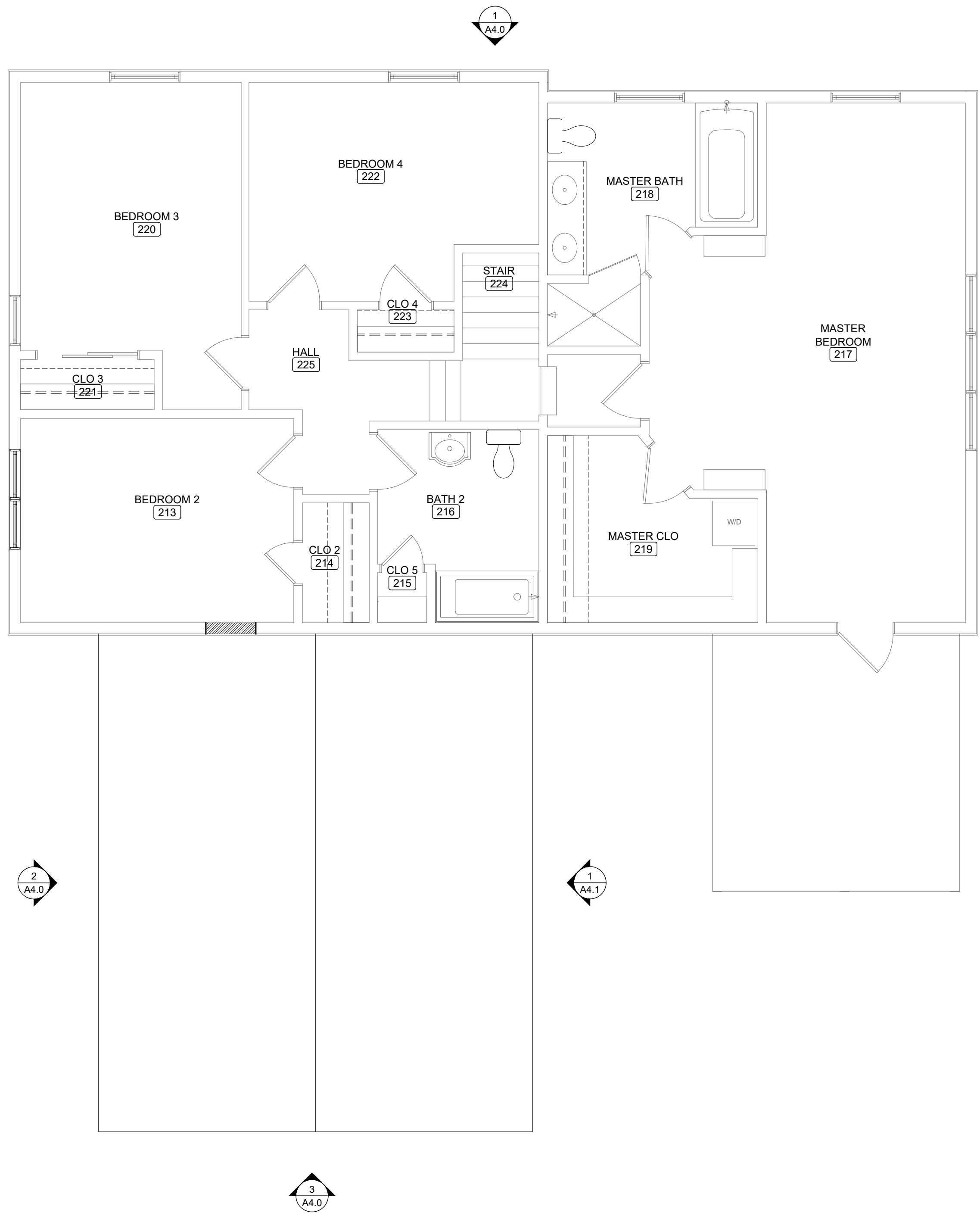
FIRST FLOOR PLAN & OPEN AREA CALCULATION

A2.1



GABOR
DESIGN BUILD LLC

W156 N11238 PILGRIM RD
GERMANTOWN, WI 53022
PHONE: (262) 437-2100



WALL SYMBOLS KEY

- EXISTING STUD OR MASONRY WALL TO REMAIN
- 2x4 STUD WALL, USE AT ALL NEW INTERIOR WALLS UNLESS NOTED OTHERWISE
- EXTERIOR 2x6 STUD WALL W/ 1/2" SHEATHING & 3/4" SIDING

KLECKOWSKI ADDITION
405 E DEAN RD
FOX POINT, WI 53217

REVISIONS

DRAWING TITLE

SECOND FLOOR
PLAN

DRAWING NUMBER

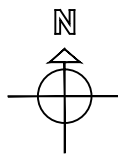
A2.2

11/05/2021

JP

NOT FOR CONSTRUCTION

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISIONS

DRAWING TITLE

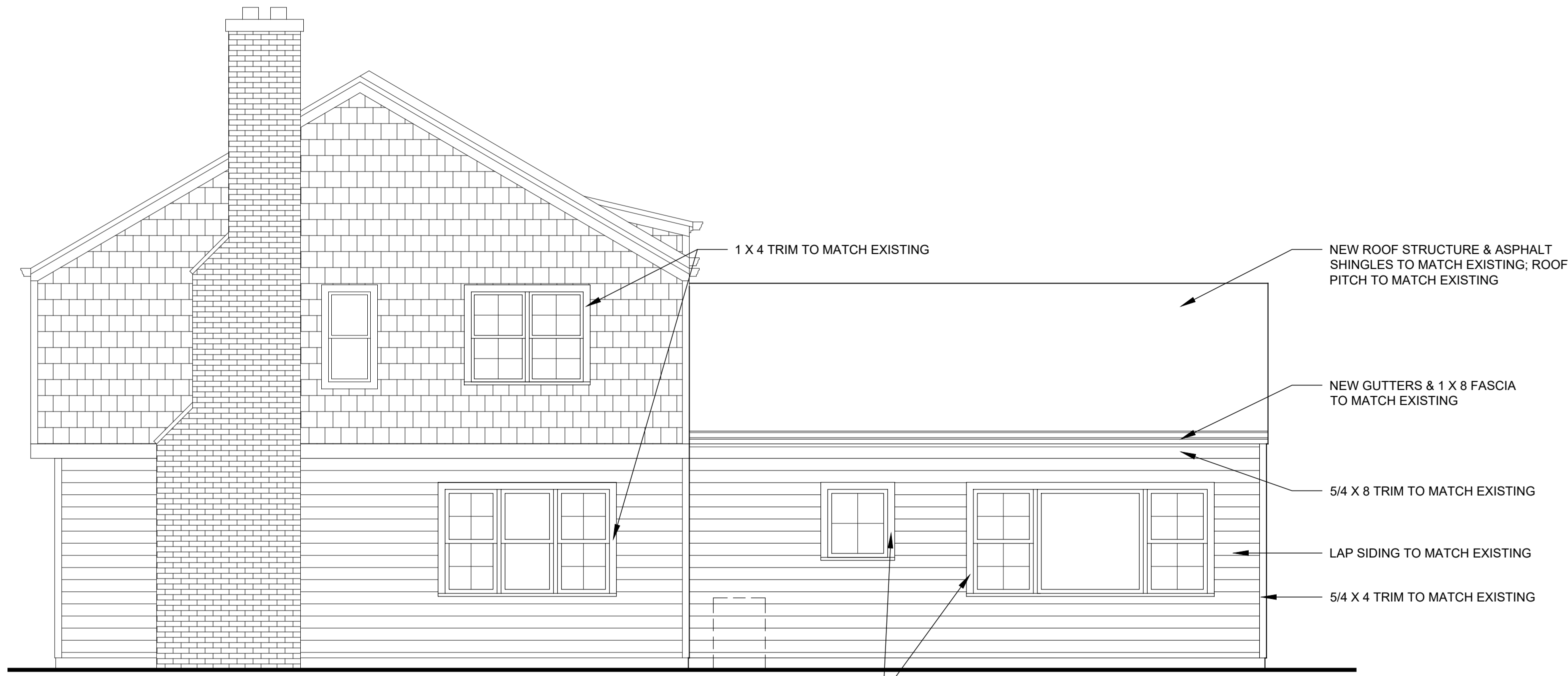
EXTERIOR
ELEVATIONS

DRAWING NUMBER

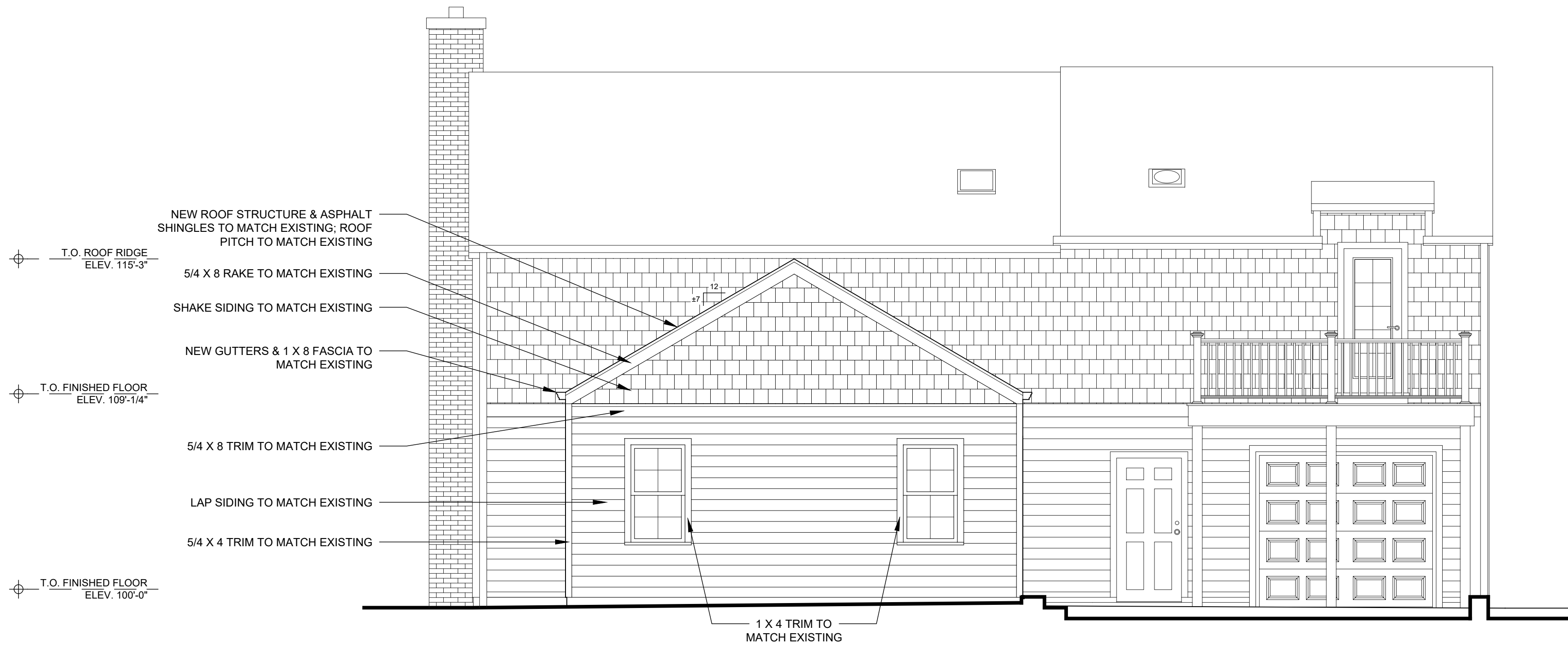
A4.0



1 NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

KLECZKOWSKI ADDITION
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FOX POINT, WI 53217

REVISIONS

DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING NUMBER

A4.1

