

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

Schwemer Hall
7200 North Santa Monica Blvd.
Fox Point, WI 53217

Wednesday
February 9, 2022
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/4217922185?pwd=cmVDMnp0MTAzMGVIZE13aFR5QW9oZz09>

Meeting ID: 421 792 2185

Passcode: 7200

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the January 12, 2022 Building Board meeting.
3. Ellen Irion, 8300 N Gray Log Ln, proposed wall.
4. Rob Ricigliano, 8254 N Gray Log Ln, proposed replacing two exterior walls of mudroom.
5. Ken Masur, 7829 N Regent Rd, proposed detached garage.
6. Thomas Rosenthal, 8209 N Santa Monica Blvd, Resubmittal of an addition.
7. Adjourn.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, January 12, 2022, at 5:00 pm. Those present included:

Justin Racinowski
Jeff Weber
Kristin Dufek-Absent
Lori Rosenthal
William Feldman
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by Jeff Weber to approve the minutes from December 8, 2021. Motion was seconded by William Feldman. Motion Passed.

AGENDA

- **Tom Scannell, 7272 N Bridge Ln, proposed driveway gate.** It was the consensus of the Building Board to approve as submitted.
- **Ellen Irion, 8300 N Gray Log Ln, proposed wall.** Cancelled.
- **Parag Patel, 6500 N Lake Dr, proposed retaining walls.** It was the consensus of the Building Board to approve as submitted, contingent upon engineering approval.
- **Fox Point Beach Club, 7704 N Beach Dr, proposed moving doors and windows.** It was the consensus of the Building Board to approve as submitted.
- **Kristie Kosobucki, 940 E Wye Ln, proposed kitchen remodel with window and door changes.** It was the consensus of the Building Board to approve as submitted.
- **Thomas Rosenthal, 8209 N Santa Monica Blvd, proposed addition.** It was the consensus of the Building Board to approve as submitted, contingent upon setbacks, changing siding to lap siding, match color scheme.
- **Margaret Pearsall, 8044 N Santa Monica Blvd, Proposed second floor bathroom & closet expansion.** It was the consensus of the Building Board to approve as submitted.
- **Fairtree Properties, 728 E Juniper Ln, proposed removal of window.** It was the consensus of the Building Board to approve as submitted.

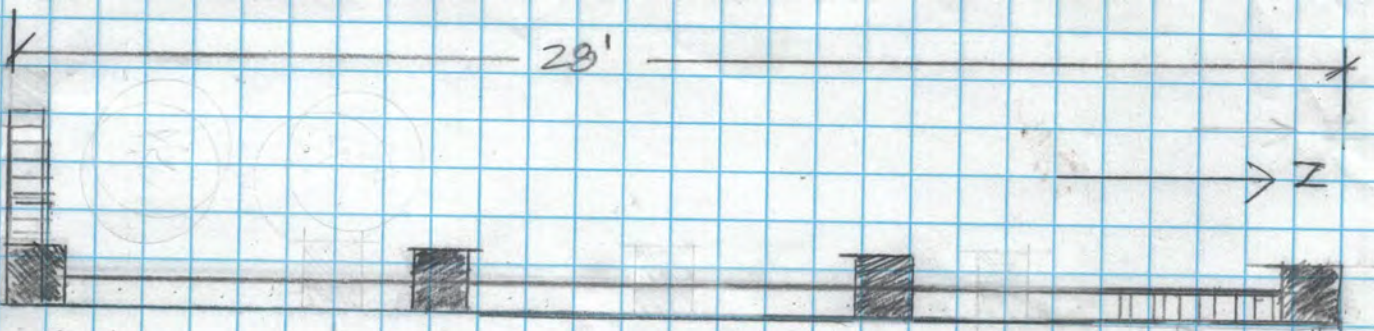
ADJOURN

Motion to adjourn Building Board was made by William Feldman. Motion seconded by Jeff Weber. Motion Passed. Building Board adjourned at 5:52 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point



FOOTED TO BE AT 4' (FOOT LINE) (FOOTED CONCRETE & BLOCK)
6' BECK WALL - 2 BLOCK THICK
PIERS ON WEST SIDE OF WALL

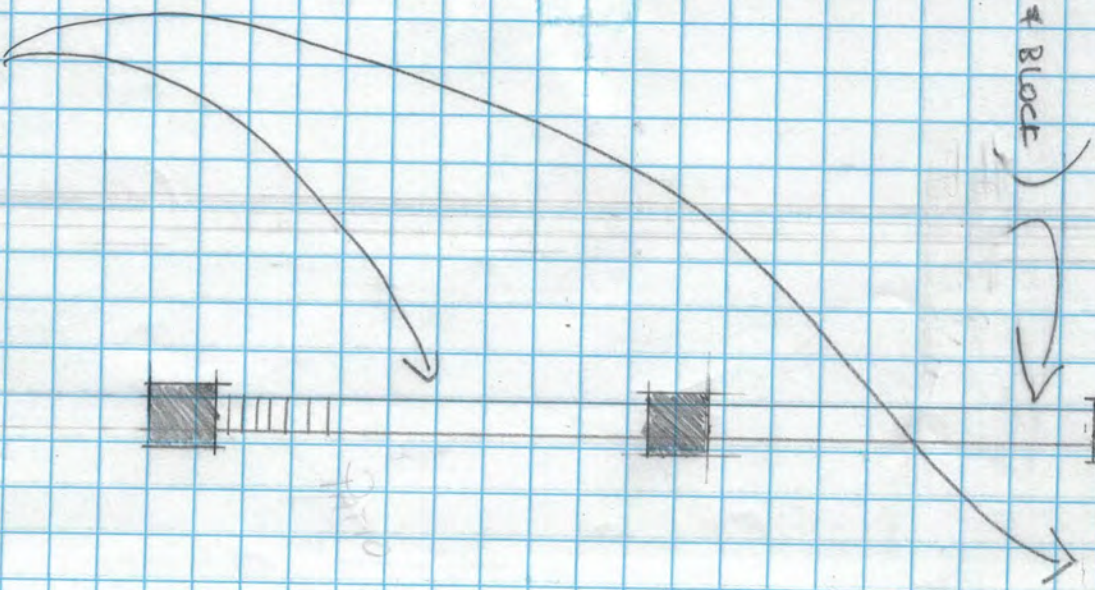
BECK DIMENSIONS TO MATCH EXISTING BECK WALLS

GATE

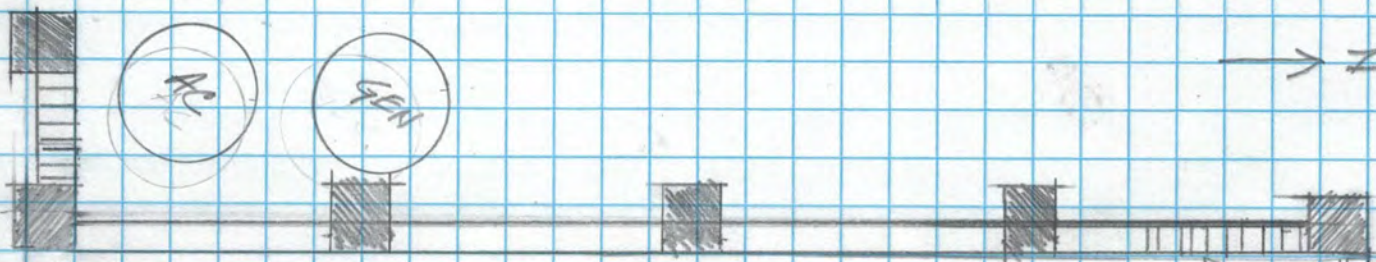
8300 N GRAY LOG LANE
FOX POINT

EXISTING BECK WALL

$\frac{1}{4}'' = 1' 0''$



N →

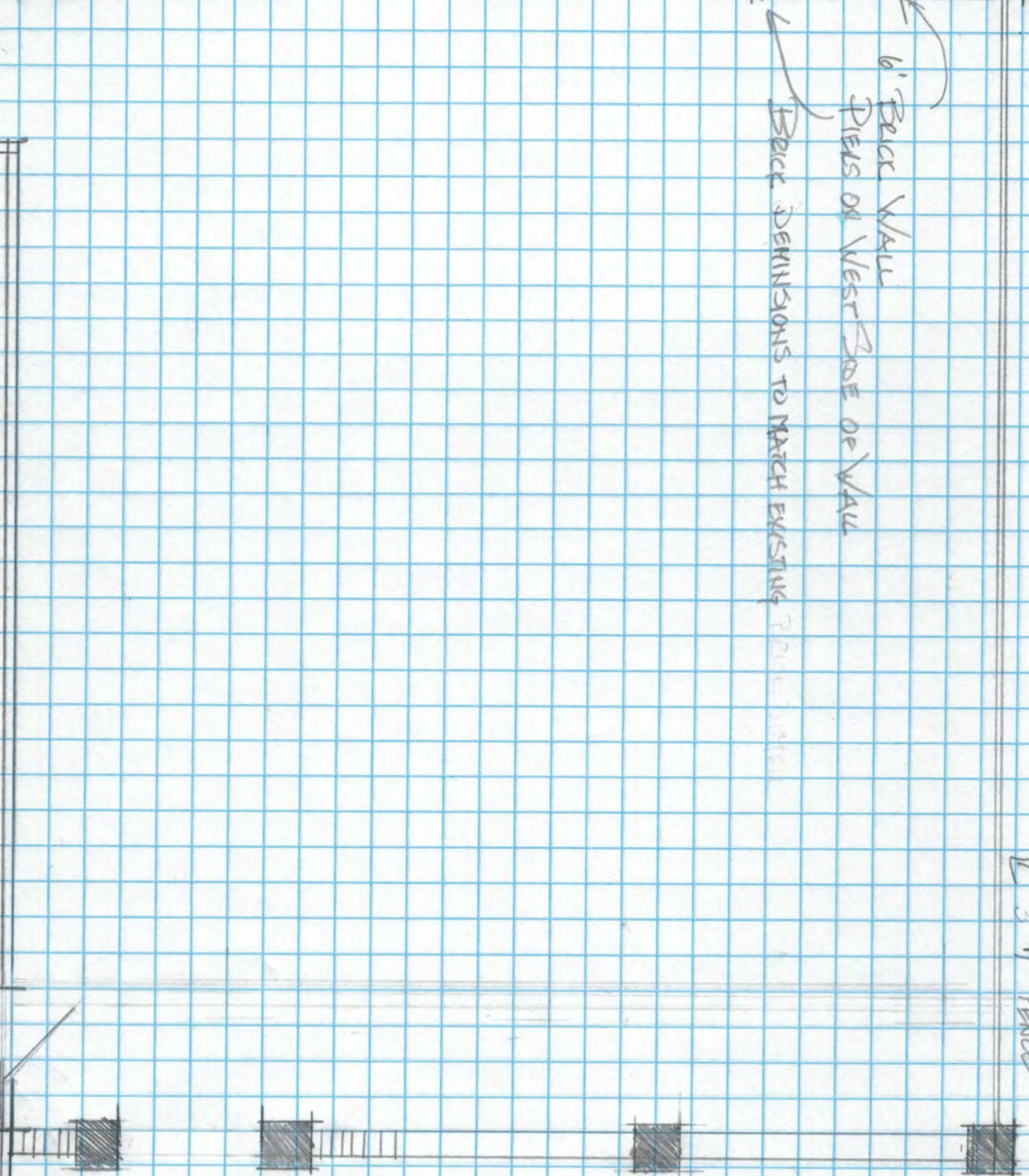


6' Back Wall

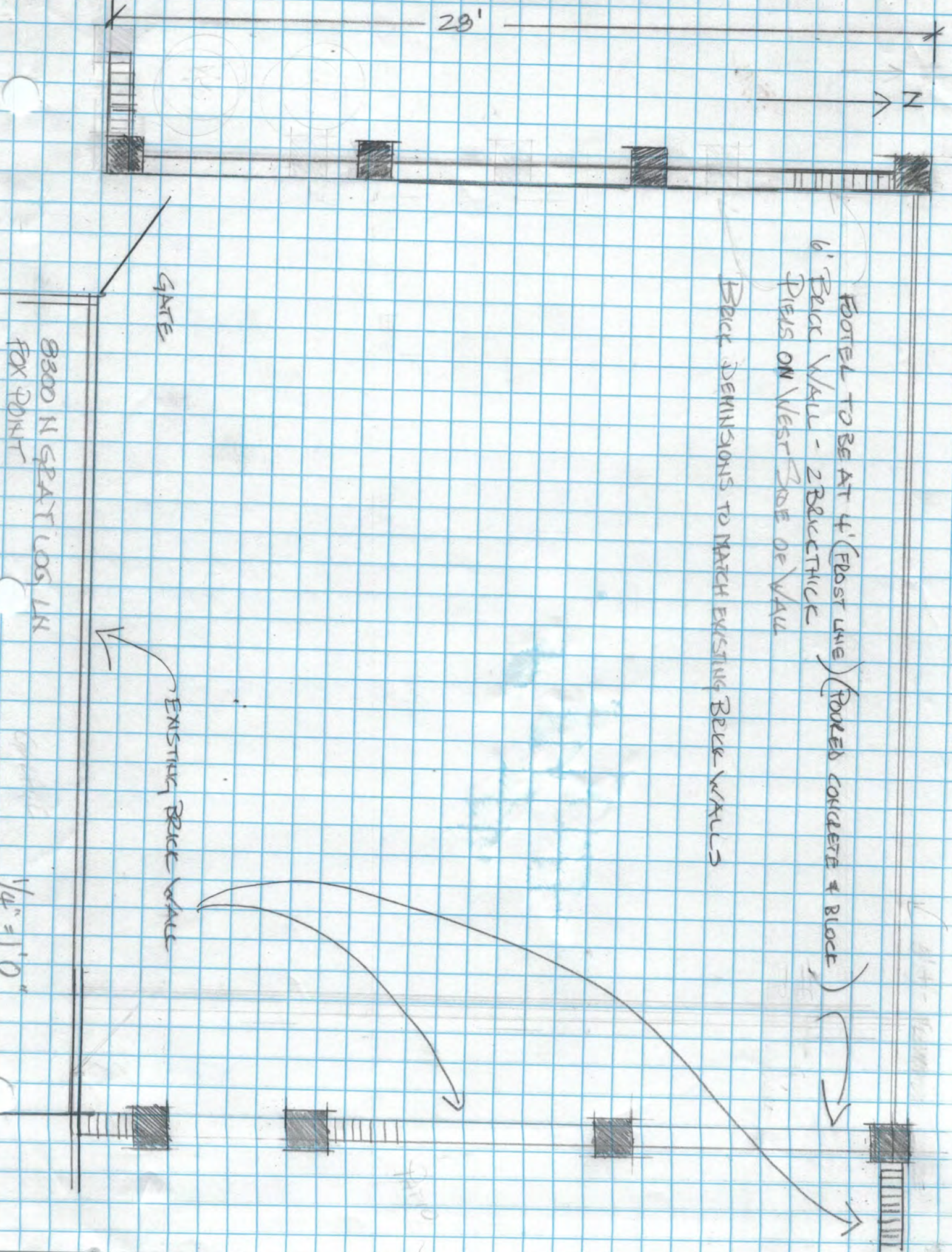
Piers on West Side of Wall

Back Dimensions to Match Existing

3' 4" Fence



Garage



28'

N

GATE

8300 N SPAT COS LN
FOX POINT

EXISTING BRICK WALL

1/4" = 1' 0"

FOOTED TO BE AT 4' (POST LINE) (FOOTED CONCRETE & BLOCK)
6' BRICK WALL - 2 BRICK THICK
PILES ON WEST SIDE OF WALL
BRICK DIMENSIONS TO MATCH EXISTING BRICK WALLS



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B-

OFFICE USE ONLY
Issued Date
Zoning

BUILDING PERMIT

Job Address 8254 N. Gray Log Lane	Building Type: Residential ☒ Commercial ☐
Description of Work	
Replacing the 2 exterior walls of our mudroom along with the windows and exterior door (see photos).	
The mudroom is on the back of our house facing E. Dean Road. We will match the window, door style and exterior siding.	
The current walls, windows and door are uninsulated and the new ones will be insulated.	
Estimated Cost of Project \$9,000.00	

Owner/Occupant Robert and Kristen Ricigliano	
Business Name	Contact Name Rob Ricigliano
Address 8254 N. Gray Log Lane	City/State/Zip Fox Point, WI, 53217
Phone 4146170055	Email robriigliano@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name MKE Integrity Builders Corp.	Contact Name Greg Stella
Address 10400 W. Dean Road	City/State/Zip Milwaukee, WI 53224
Phone 906 296-3762	Email gstella1975@icloud.com
Dwelling Contractor # 072000685	Dwelling Contractor Qualifier # 072000747

Square Footage Under Construction				
1 st Floor 77 sq ft.	2 nd Floor	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	90.00
Building Board	\$75.00	75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld	\$95.00 minimum plus	\$0.13/sqft
Moving buildings	\$250.00 plus	\$0.13/sqft
Fuel tanks - Per 1,000 gallons		\$25.00
Re-inspection		\$100.00
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ 165.00

Applicant Signature

Robert Ricigliano

Date 1/26/2022

Rev 01/22

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd

Fox Point, WI 53217

(414) 247-6622

www.villageoffoxpoint.com

**CAUTIONARY STATEMENT TO OWNERS
OBTAINING BUILDING PERMITS**

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Robert Riciqliano

Homeowner's Name – PRINTED

8254 N. Gray Log Lane

Property Address

Homeowner's Signature

1/24/2022

Date

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.057127

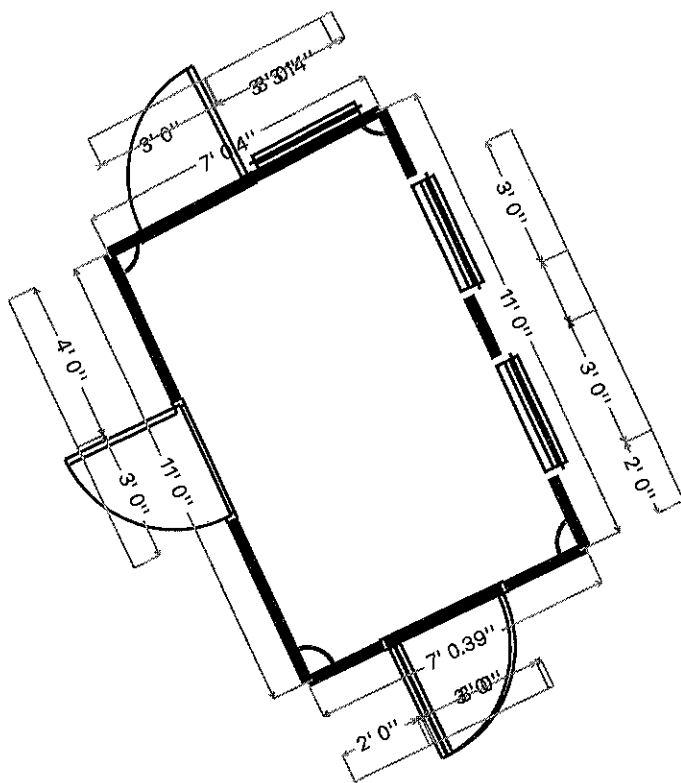
Jan 26, 2022

8254 N Grayfog

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	
LICENSES & PERMITS - BUILDING PERMIT	90.00
24-44480 BUILDING PERMIT	
Total:	165.00
CHECK	165.00
Check No: 1371	
Payor: Robert Ricigliano	
Total Applied:	165.00
Change Tendered:	.00

Duplicate Copy

01/26/2022 2:01 PM

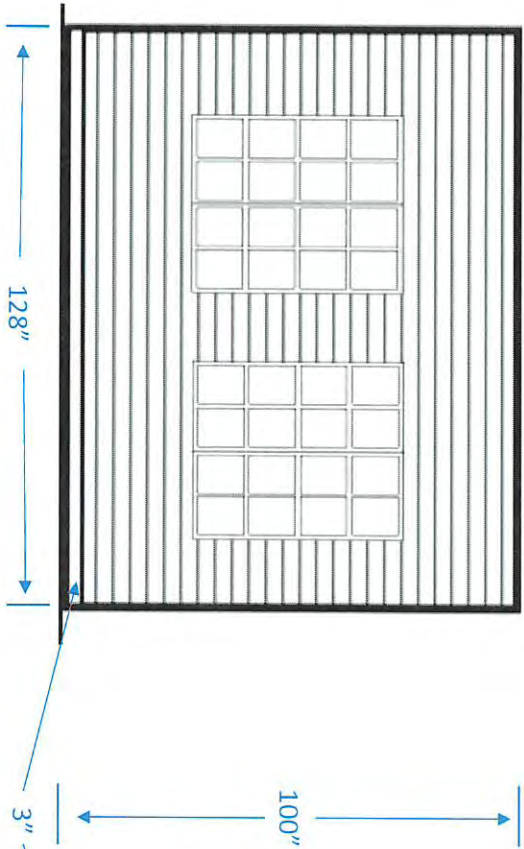






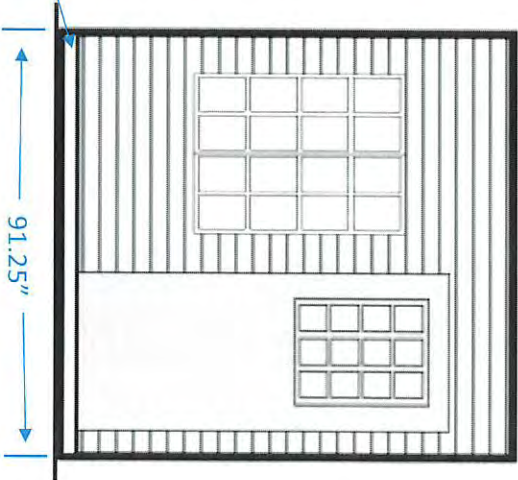
Elevation Views: 8254 N. Gray Log Lane; Mudroom

Mudroom: East facing wall



Windows:
4'H; 3' W

Mudroom: North facing wall



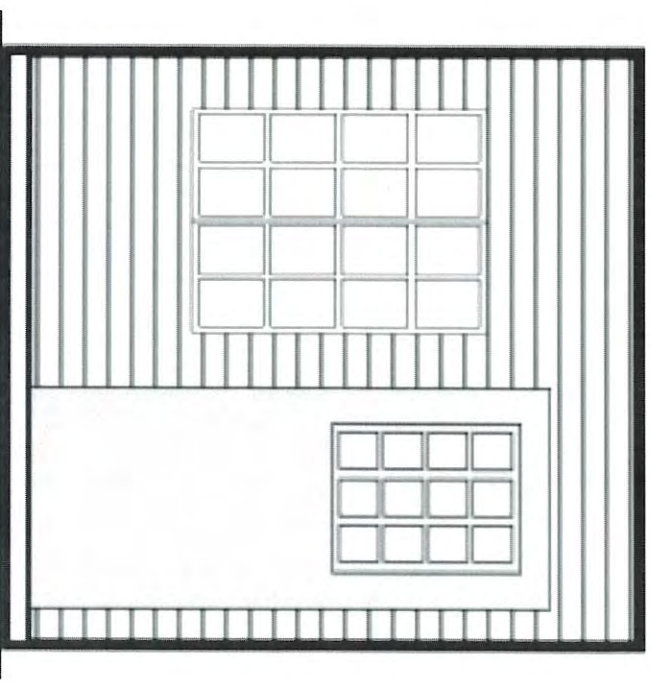
Door:
7'H; 3' W

Elevation Views: 8254 N. Gray Log Lane; Mudroom

Mudroom: North facing wall;
CURRENT

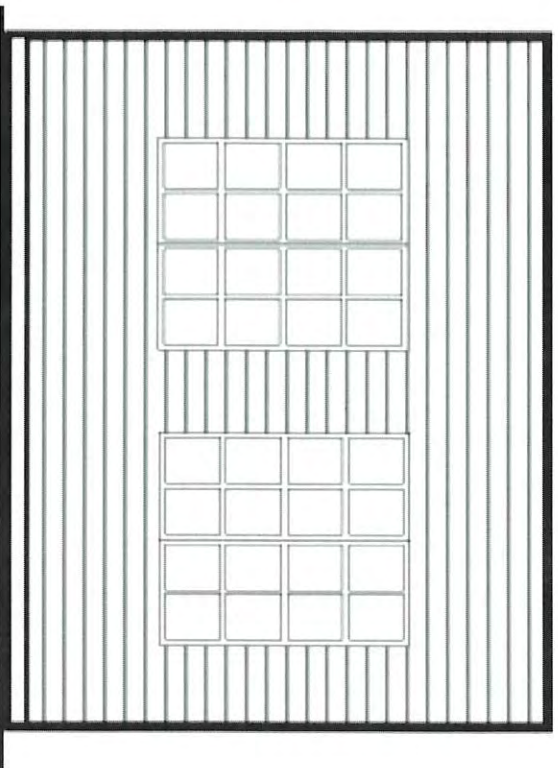


Mudroom: North facing wall;
NEW



Elevation Views: 8254 N. Gray Log Lane; Mudroom

Mudroom: East facing wall;
NEW



Mudroom: East facing wall;
CURRENT



408" [34'-0"] OVERALL GARAGE ROOF

5

312" [26'-0"] OVERALL GARAGE ROOF

3

288" [24'-0"] OVERALL GARAGE

2

NOTE: SEE PAGE 6 FOR
TYPICAL DETAILS

KEN MASUR RESIDENCE

PLAN VIEW

DATE:
02.17.2021

REV 1: 06.28.2021

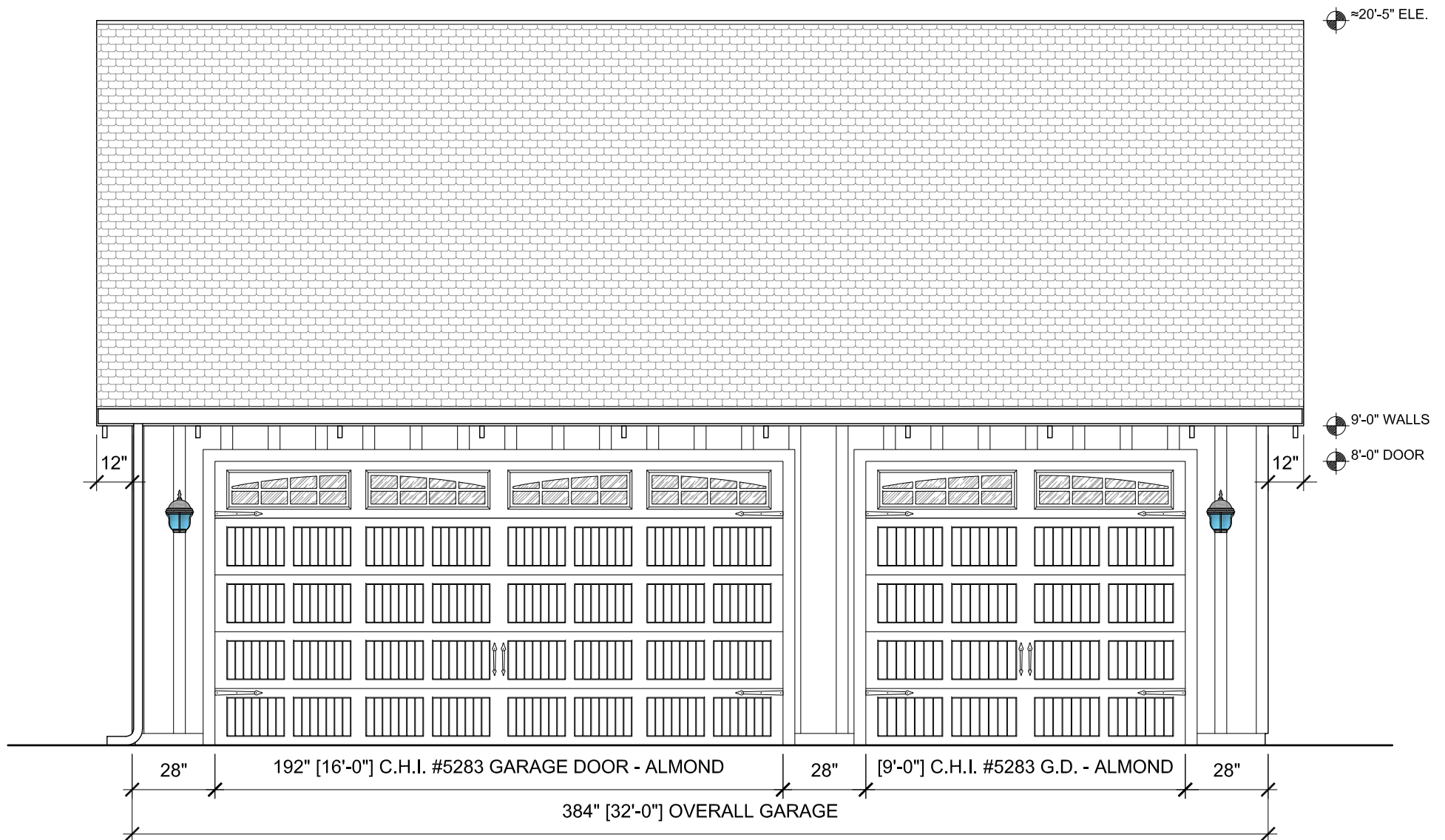
REV 2: 08.25.2021

REV 3: 01.25.2022

SCALE: 3/16"=1'-0"

PAGE: 1 OF 6





KEN MASUR RESIDENCE

ELEVATION

DATE:
02.17.2021

REV 1:
06.28.2021

REV 2:
08.25.2021

REV 3:
01.25.2022

SCALE: 1/4" = 1'-0"

PAGE: 2 OF 6





KEN MASUR RESIDENCE

ELEVATION

DATE:
02.17.2021

REV 1:
06.28.2021

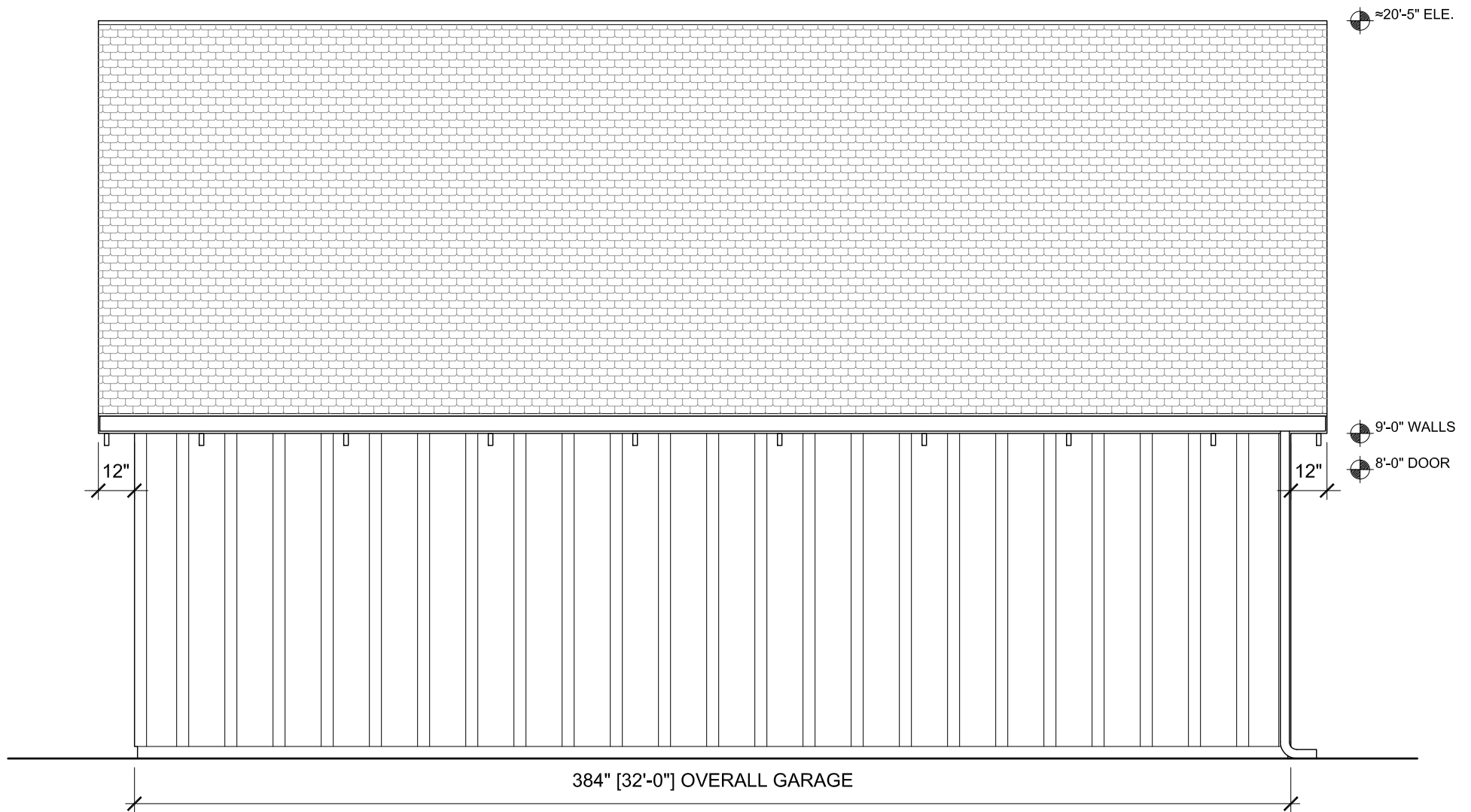
REV 2:
08.25.2021

REV 3:
01.25.2022

SCALE: 1/4" = 1'-0"

PAGE: 3 OF 6





KEN MASUR RESIDENCE

ELEVATION

DATE:
02.17.2021

REV 1:
06.28.2021

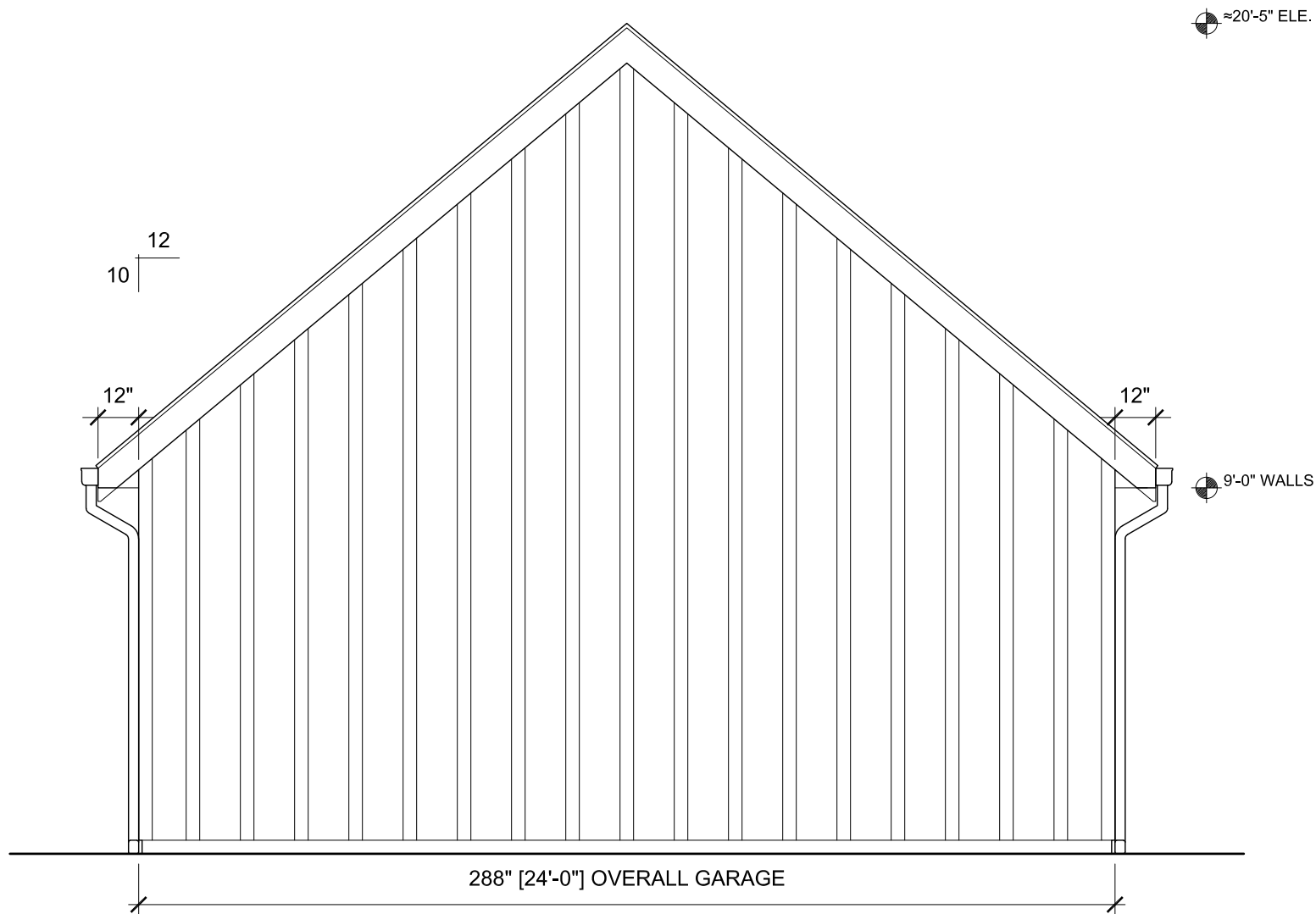
REV 2:
08.25.2021

REV 3:
01.25.2022

SCALE: 1/4" = 1'-0"

PAGE: 4 OF 6





KEN MASUR RESIDENCE

ELEVATION

DATE:
02.17.2021

REV 1:
06.28.2021

REV 2:
08.25.2021

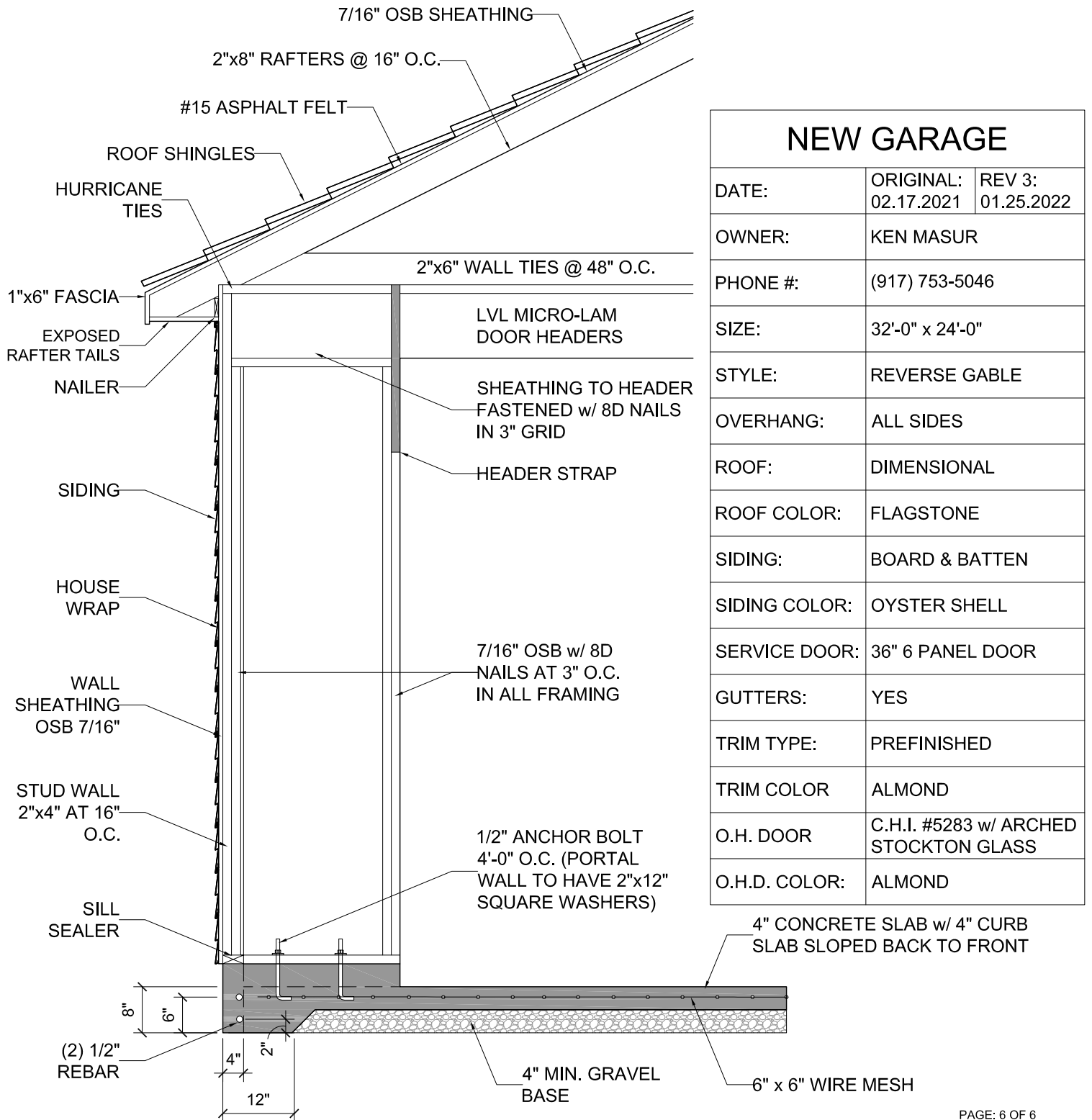
REV 3:
01.25.2022

SCALE: 1/4" = 1'-0"

PAGE: 5 OF 6



TYPICAL CROSS SECTION



NEW GARAGE

DATE:	ORIGINAL: 02.17.2021	REV 3: 01.25.2022
OWNER:	KEN MASUR	
PHONE #:	(917) 753-5046	
SIZE:	32'-0" x 24'-0"	
STYLE:	REVERSE GABLE	
OVERHANG:	ALL SIDES	
ROOF:	DIMENSIONAL	
ROOF COLOR:	FLAGSTONE	
SIDING:	BOARD & BATTEN	
SIDING COLOR:	OYSTER SHELL	
SERVICE DOOR:	36" 6 PANEL DOOR	
GUTTERS:	YES	
TRIM TYPE:	PREFINISHED	
TRIM COLOR	ALMOND	
O.H. DOOR	C.H.I. #5283 w/ ARCHED STOCKTON GLASS	
O.H.D. COLOR:	ALMOND	

PAGE: 6 OF 6

OWNER:	KEN MASUR	GARAGE SIZE:	32'-0" x 24'-0"
ADDRESS:	7829 N. REGENT RD. FOX POINT, WI 53217	GARAGE SYTLE:	REVERSE GABLE
		DRAWING SCALE:	1/2" = 1'-0"





VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

BUILDING BOARD

The Building Board meeting is typically held on the first Friday of every month starting at 7:45 a.m. Please check the website, www.villageoffoxpoint.com for an up to date schedule.

The application deadline is the Monday prior to the Friday meeting at noon. All applications must be complete and shall include the proper filling fee.

The following are examples of projects that must appear before the Building Board: New Construction, Additions, Exterior Improvements, Detached Garage, Decks, Sheds (≥ 100 sqft), Window Replacement, New Doors, Patio Doors, and Signs.

- ☒ **Three (3) Sets of drawings** to 1/4 inch scale on 24" x 36" maximum size sheets. These shall include all elevations, floor plans, foundation plan, and cross sections.
Elevation Drawings shall include all proposed elevations of the building, even if changes to the elevation are not proposed. This is to ensure consistency of all elevations. In cases where a building element may be skewed from another, it may be necessary to draw more than the four primary elevations of the building to clearly explain the intent of the design. All building elevations must be fully dimensioned to indicate heights above grade for all components. If the project is a building addition or remodeling, the original structure should be clearly illustrated as new building versus existing structure. ***The complete existing elevation should be shown in all cases of additions and remodeling.*** All building materials must be identified and noted on each elevation drawing. This is to include, but not limited to, type and size of siding, type and size of masonry, window type size and material, roofing material, fascia, rakes, soffits, eaves, and flashing materials. It is recommended to bring material samples and colors.
Dimensioned floor plans shall include all floor plans of the proposed building. Each plan must include complete dimensions, and include room names for each space. In the case of an addition, each room shall be tagged either existing or new. In the case where there is a detached garage, a separate plan, fully dimensioned, for the garage must be included
- ☒ **Three (3) Sets – Color photos** that includes all elevations of existing home and any accessory structures on the property.
- ☒ **Three (3) Sets – Survey** (to be less than one year old or an accurate survey showing all buildings) This document must include all property lines with distances bearings, North arrow, exact location of all existing and proposed buildings, parking areas, drives, public improvements, easements, and other key features of the site. Show distances from front, rear and side property lines.
- ☒ **Site Plan** (Include a North arrow, dimensions, and proposed roof configuration) This document must include all property lines, utility and access easements, zoning setbacks, grades at one foot intervals, exact location of all existing and proposed buildings or additions including roof overhangs, all hard surfaced areas (parking areas, drives, patios, sidewalks, etc.), swimming pools, and other accessory structures.
- ☒ **Open Area** calculation required for New Construction, Additions, and Accessory Structures.
- ☒ **Completed Building Permit Application**
- ☒ **Building Board Fee** \$75.00 Payable to the Village of Fox Point.
- ☒ **IT IS MANDATORY THAT A REPRESENTATIVE IS IN ATTENDANCE.**

**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd

Fox Point, WI 53217

(414) 247-6622

www.villageoffoxpoint.com

Permit Number:

OFFICE USE ONLY
Issuance Date
Zoning

BUILDING PERMIT

Job Address 7829 N. Regent Rd.	Building Type: Residential - Commercial
Description of Work	
Build New Wood Frame Detached Garage 32'-0" x 24'-0"	
Estimated Cost of Project \$ 47,836.00	

Owner/Occupant	
Name Ken Masur	Business Name
Address 7829 N. Regent Rd.	City/State/Zip Fox Point, WI 53217
Phone (917) 753-5046	Email kdmasur@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name JD Griffiths Company, Inc	Contractor Name Jeremy Schloesser
Address 8401 W. Calumet Rd	City/State/Zip Milwaukee, WI 53224
Phone (414) 362-7222	Email jeremys@jdgriffiths.com
Dwelling Contractor # 079500221	Dwelling Contractor Qualifier # 081900898

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage 768 sq.ft.

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$9.50	454.45
Building Board	\$75.00	75.00
Footing early start - \$210.00 one and two family; \$280.00 commercial		
Plan Review - \$250.00 one and two family; New Construction \$300.00 plus \$27.00/unit commercial; New Construction		
State Seal	\$65.00	
Razing, Interior Demolition \$85.00 minimum plus	\$0.12/sqft	
Moving buildings over public ways \$230.00 plus	\$0.12/sqft	
Fuel tanks - Per 1,000 gallons	\$24.00	
Re-inspection	\$100.00	
Work started without permit Double Fee		
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$ 529.43

Applicant Signature

Date 01/27/2021

Rev 0619

ISSUED PERMITS are available on the Village website under *PERMITS & LICENSES*

LEGAL DESCRIPTION:

June 1, 2021

June 14, 2021 Added Proposed Garage (Not Staked)

Survey No. 112627



PROFESSIONAL LAND SURVEYORS

9415 West Forest Home Avenue, Suite 202

Hales Corners, Wisconsin 53130

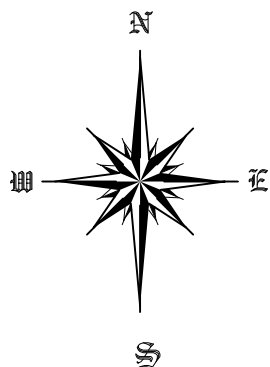
PH. (414) 529-5380

survey@metropolitansurvey.com

www.metropolitansurvey.com

⊙ — Denotes Iron Pipe Found

◎ — Denotes Iron Pipe Set



I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY. ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

Dennis C. Sauer

Professional Land Surveyor S-2421









THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF CONNOR REMODELING & DESIGN INC., DEVELOPED FOR THE EXCLUSIVE USE OF CONNOR REMODELING & DESIGN INC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF CONNOR REMODEL & DESIGN INC. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES UNDER COPYRIGHT LAWS.



REVISION #1 1-18-2022 CJE

PROJECT DESCRIPTION:
MASTER SUITE
ADDITION



OWNER(S):
THOMAS & SONIA ROSENTHAL
8204 N. SANTA MONICA BLVD.
FOX POINT, MI 59217

DRAWINGS PROVIDED BY:
CONNOR REMODELING & DESIGN INC.
N88 W16606 MAIN ST.
MENOMONEE FALLS, WI 53051

DATE:
1/18/2022

SCALE:

SHEET:
A-1



Camera 1



Camera 3



PERSPECTIVE DRAWINGS
NO SCALE

Camera 2



Camera 4

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF CONNOR REMODELING & DESIGN INC., DEVELOPED FOR THE EXCLUSIVE USE OF CONNOR REMODELING & DESIGN INC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF CONNOR REMODEL & DESIGN INC. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES UNDER COPYRIGHT LAWS.



REVISION #1 1-18-2022 CJE

PROJECT DESCRIPTION:
MASTER SUITE
ADDITION



OWNER(S):
THOMAS & SONIA ROSENTHAL
8204 N. SANTA MONICA BLVD.
FOX POINT, MI 59217

DRAWINGS PROVIDED BY:
CONNOR REMODELING & DESIGN INC.
N88 W16606 MAIN ST.
MENOMONEE FALLS, WI 53051

DATE:

1/18/2022

SCALE:

1/4" = 1'-0"

SHEET:

A-2



EXISTING FRONT ELEVATION #1
1/4" = 1'-0"



PROPOSED FRONT ELEVATION #1
1/4" = 1'-0"

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF CONNOR REMODELING & DESIGN INC., DEVELOPED FOR THE EXCLUSIVE USE OF CONNOR REMODELING & DESIGN INC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF CONNOR REMODEL & DESIGN INC. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES UNDER COPYRIGHT LAWS.



REVISION #1 1-18-2022 CJE

PROJECT DESCRIPTION:
MASTER SUITE
ADDITION



OWNER(S):
THOMAS & SONIA ROSENTHAL
8204 N. SANTA MONICA BLVD.
FOX POINT, MI 59217

DRAWINGS PROVIDED BY:
CONNOR REMODELING & DESIGN INC.
N88 W16606 MAIN ST.
MENOMONEE FALLS, WI 53051

DATE:

1/18/2022

SCALE:

1/4" = 1'-0"

SHEET:

A-3



EXISTING REAR ELEVATION #2
1/4" = 1'-0"

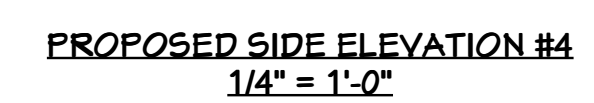
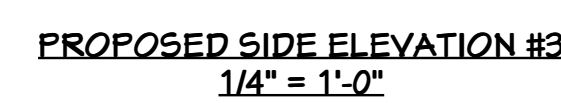
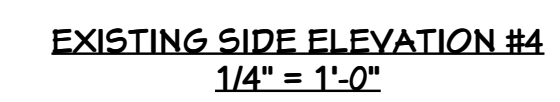
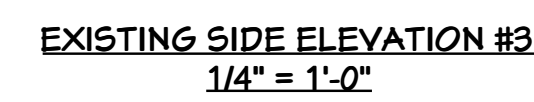


PROPOSED REAR ELEVATION #2
1/4" = 1'-0"

DESIGN & DRAWINGS BY:



CHRIS EGNER
—DESIGN-BUILD-REMODEL—

MASTER SUITE
ADDITION

CONNOR
REMODELING & DESIGN, INC.
Redefine your home.

CONNOR REMODELING & DESIGN INC.
N88 W16606 MAIN ST.
MENOMONEE FALLS, WI. 53051

A-4

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF CONNOR REMODELING & DESIGN INC., DEVELOPED FOR THE EXCLUSIVE USE OF CONNOR REMODELING & DESIGN INC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF CONNOR REMODEL & DESIGN INC. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES UNDER COPYRIGHT LAWS.



REVISION #1 1-18-2022 CJE

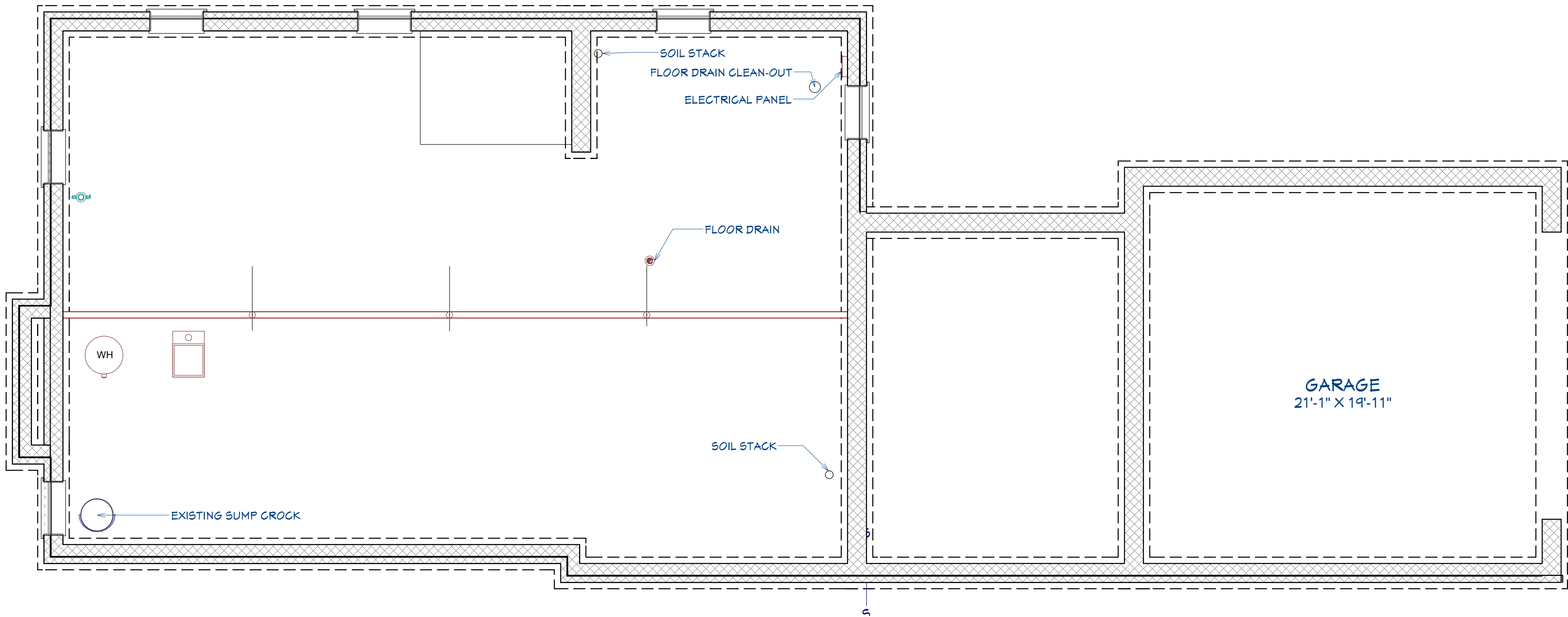
PROJECT DESCRIPTION:
MASTER SUITE
ADDITION



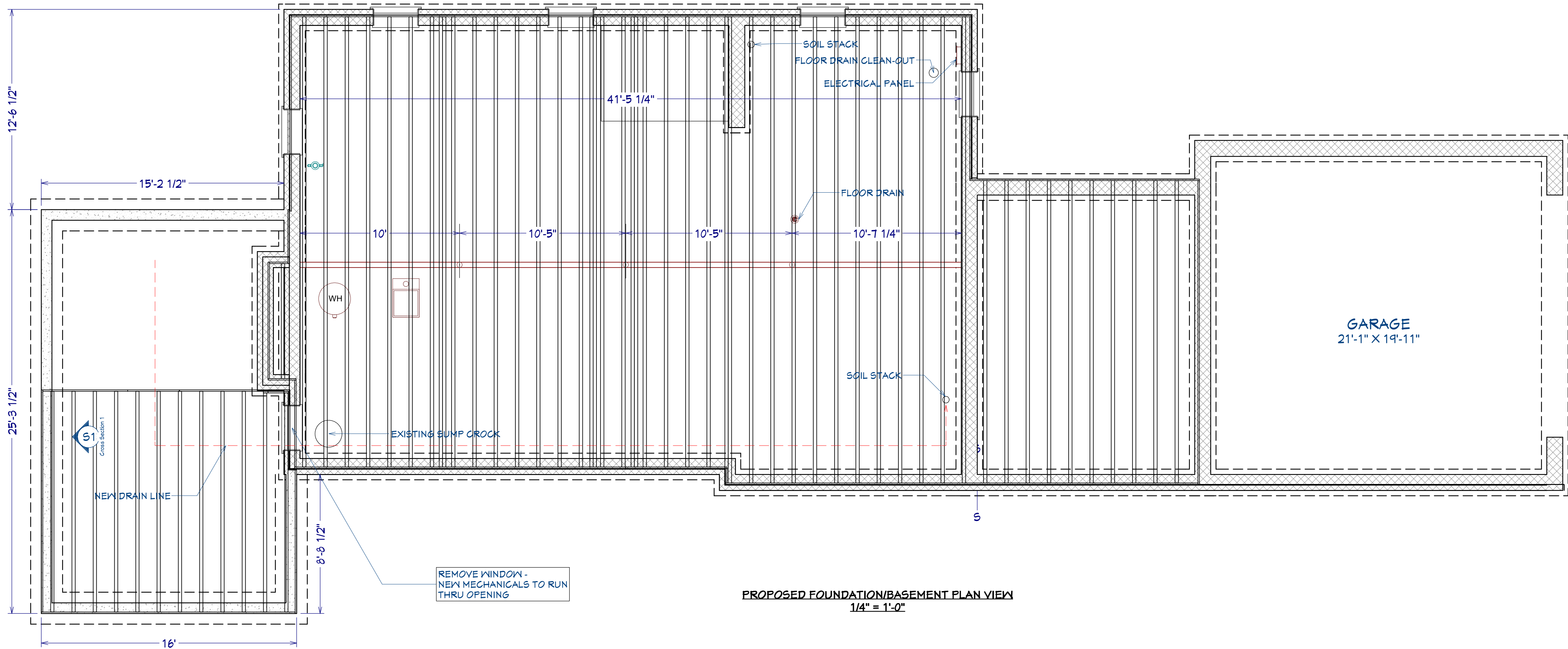
OWNER(S):
THOMAS & SONIA ROSENTHAL
8204 N. SANTA MONICA BLVD.
FOX POINT, WI 53217

DRAWINGS PROVIDED BY:
CONNOR REMODELING & DESIGN INC.
N88 W16606 MAIN ST.
MENOMONEE FALLS, WI 53051

DATE:
1/18/2022
SCALE:
1/4" = 1'-0"
SHEET:
A-5



EXISTING FOUNDATION/BASEMENT PLAN VIEW
1/4" = 1'-0"



PROPOSED FOUNDATION/BASEMENT PLAN VIEW
1/4" = 1'-0"

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF CONNOR REMODELING & DESIGN INC., DEVELOPED FOR THE EXCLUSIVE USE OF CONNOR REMODELING & DESIGN INC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF CONNOR REMODEL & DESIGN INC. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES UNDER COPYRIGHT LAWS.



REVISION #1 1-18-2022 CJE

PROJECT DESCRIPTION:
MASTER SUITE
ADDITION



OWNER(S):
THOMAS & SONIA ROSENTHAL
8204 N. SANTA MONICA BLVD.
FOX POINT, MI 59217

DRAWINGS PROVIDED BY:
CONNOR REMODELING & DESIGN INC.
N88 W16606 MAIN ST.
MENOMONEE FALLS, WI 53051

DATE:

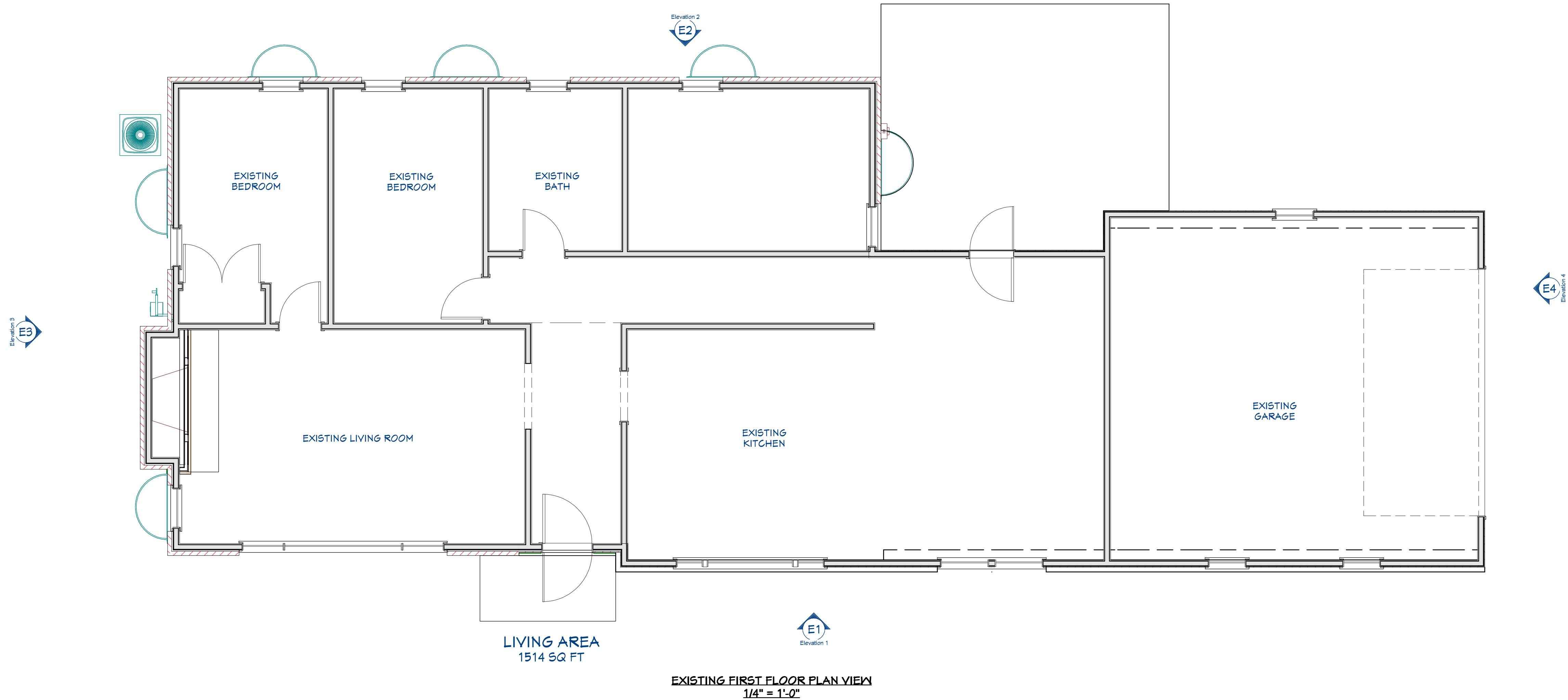
1/18/2022

SCALE:

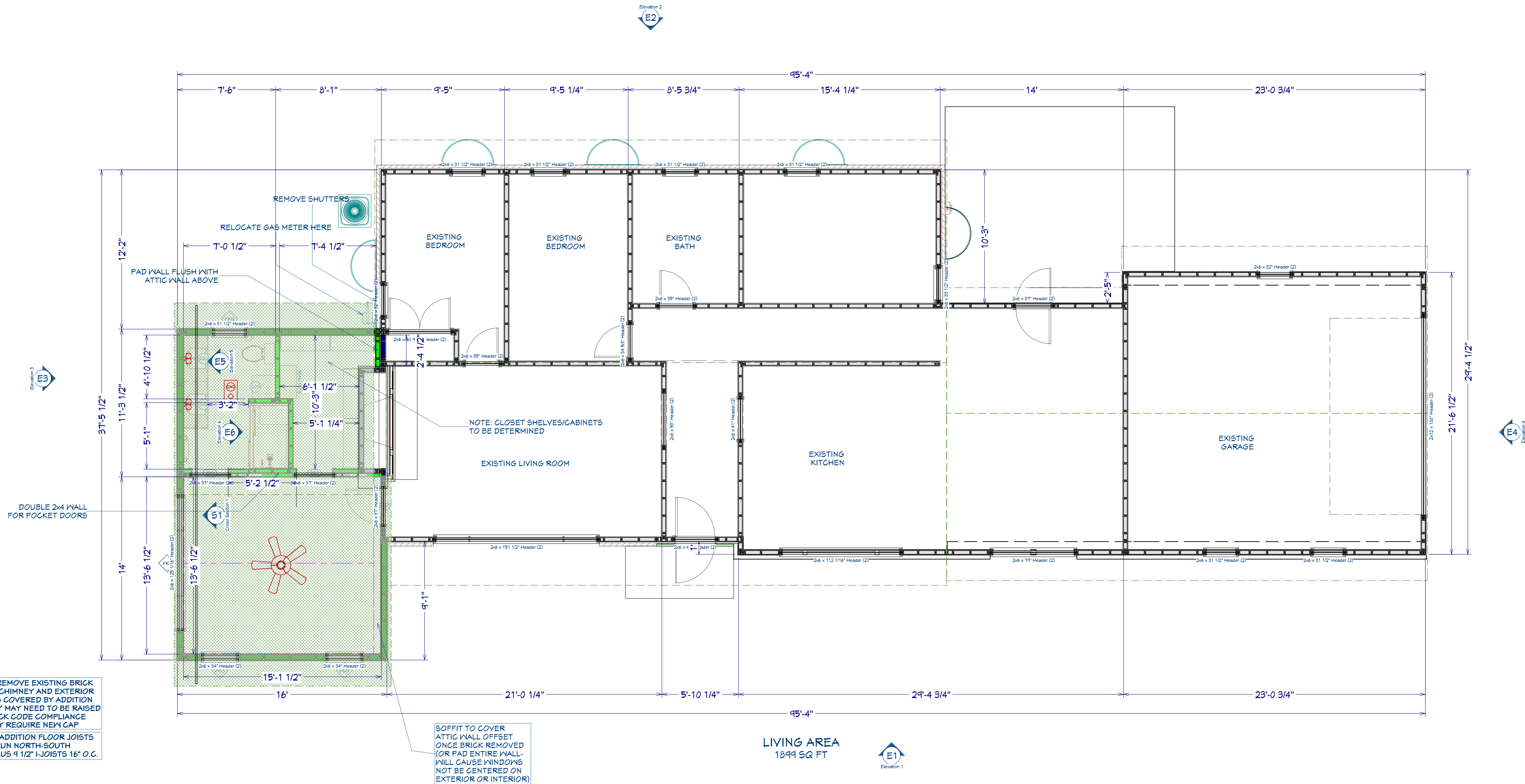
1/4" = 1'-0"

SHEET:

A-6



THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF CONNOR REMODELING & DESIGN INC., DEVELOPED FOR THE EXCLUSIVE USE OF CONNOR REMODELING & DESIGN INC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF CONNOR REMODEL & DESIGN INC. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES UNDER COPYRIGHT LAWS.



PROPOSED FIRST FLOOR PLAN VIEW
1/4" = 1'-0"

CABINET SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION	CODE	MANUFACTURER/COMMENTS
C02	SB4221	2	1	42"	21"	36"	BASE CABINET		
C03	U212184R	1	1	21"	21"	84"	UTILITY CABINET		

DOOR SCHEDULE											
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS	CODE
D01	2868	2	1	2868 R	32"	80"	65 15/16"	X82 1/2"	POCKET-DOOR P03	2X6X68 15/16" (2)	1 3/8"
D03	2868	1	1	2868 R IN	32"	80"	34"	X82 1/2"	HINGED-DOOR P09	2X6X37" (2)	1 3/8"

WINDOW SCHEDULE											
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	CODE	MANUFACTURER/COMMENTS
W01	10050MU	1	1	10050	120"	60"	121"	X61"	MULLED UNIT	2X6X124" (2)	
W02	2440DH	1	1	2440DH	21 1/2"	47 3/4"	28 1/2"	X48 3/4"	DOUBLE HUNG	2X6X31 1/2" (2)	
W03	2650DH	2	1	2650DH	30"	60"	31"	X61"	DOUBLE HUNG	2X6X34" (2)	

WALL LEGEND	
EXISTING 2x4 EXTERIOR BRICK WALL	
NEW 2x6 EXTERIOR SIDED WALL	
EXISTING 2x4 INTERIOR WALL	
EXISTING EXTERIOR WALL - BRICK REMOVED	
NEW DBL 2x4 STUD WALL FOR POCKET DOOR	
NEW STEEL & WOOD DBL STUD WALL FOR POCKET DOOR	
NEW 2x4 INTERIOR WALL	
NEW 2x4 STEEL FRAMED WALL AROUND EXISTING CHIMNEY AFTER BRICK REMOVED	
EXISTING WINDOW TO BE REMOVED	

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF CONNOR REMODELING & DESIGN INC., DEVELOPED FOR THE EXCLUSIVE USE OF CONNOR REMODELING & DESIGN INC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF CONNOR REMODEL & DESIGN INC. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES UNDER COPYRIGHT LAWS.



REVISION #1 1-18-2022 CJE

PROJECT DESCRIPTION:
MASTER SUITE
ADDITION



OWNER(S):
THOMAS & SONIA ROSENTHAL
8204 N. SANTA MONICA BLVD.
FOX POINT, MI 59217

DRAWINGS PROVIDED BY:
CONNOR REMODELING & DESIGN INC.
N88 W16606 MAIN ST.
MENOMONEE FALLS, WI 53051

DATE:

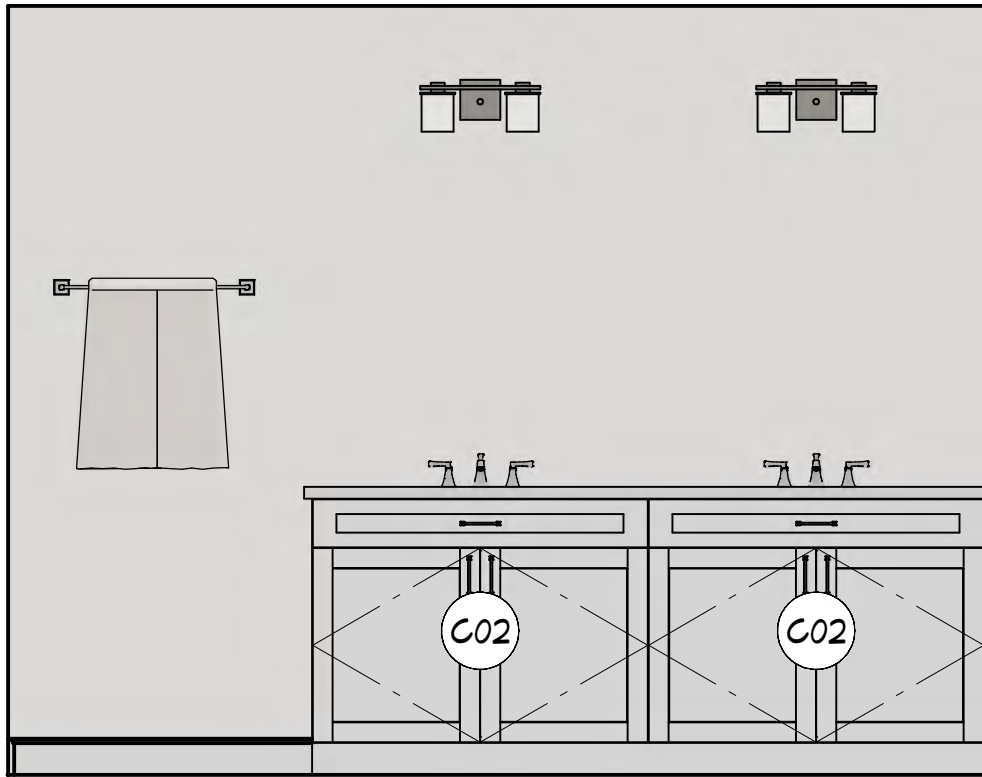
1/18/2022

SCALE:

AS NOTED

SHEET:

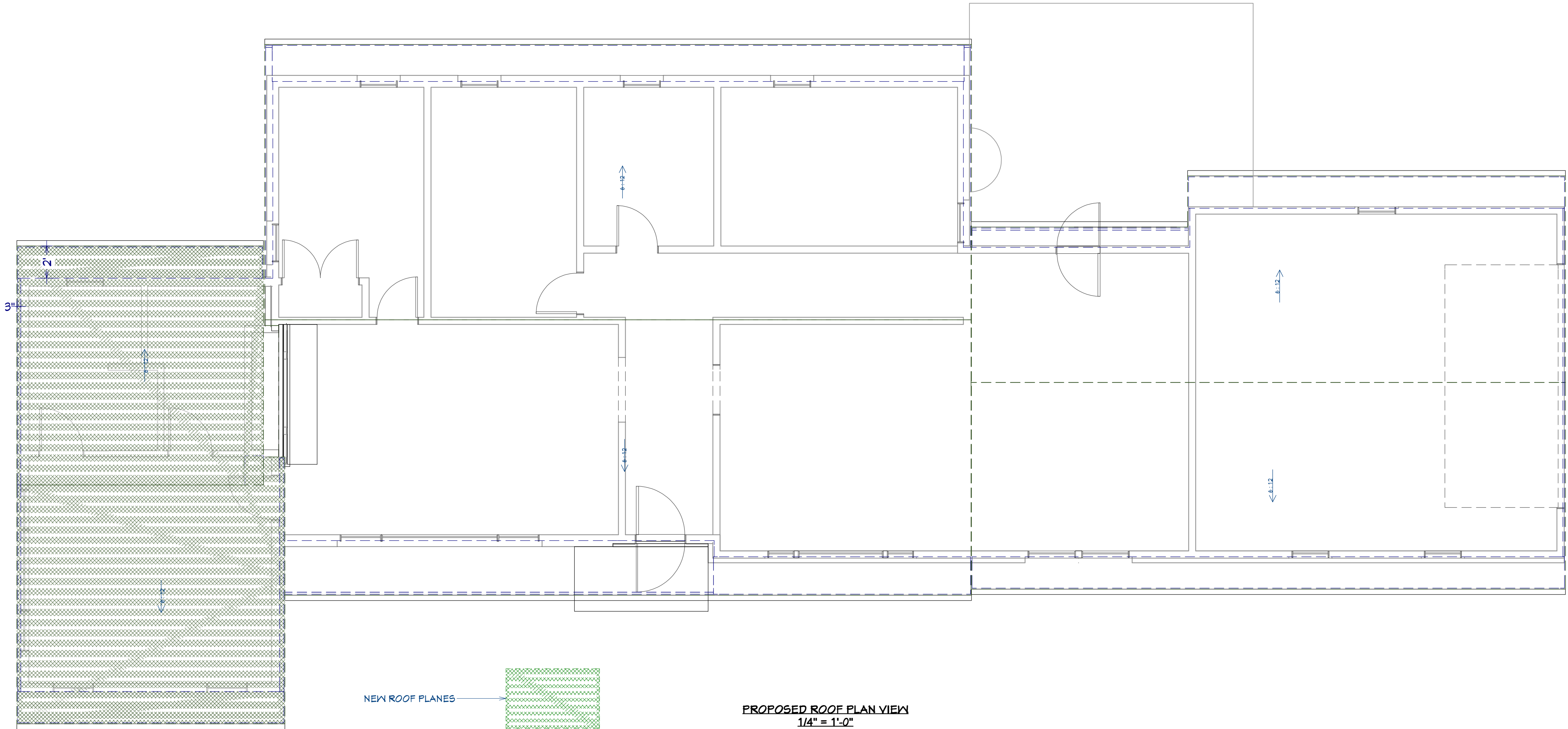
A-8



ELEVATION #5
1/2" = 1'-0"



ELEVATION #6
1/2" = 1'-0"



PROPOSED ROOF PLAN VIEW
1/4" = 1'-0"

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF CONNOR REMODELING & DESIGN INC., DEVELOPED FOR THE EXCLUSIVE USE OF CONNOR REMODELING & DESIGN INC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF CONNOR REMODEL & DESIGN INC. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES UNDER COPYRIGHT LAWS.



REVISION #1 1-18-2022 CJE

PROJECT DESCRIPTION:
MASTER SUITE
ADDITION



OWNER(S):
THOMAS & SONIA ROSENTHAL
8204 N. SANTA MONICA BLVD.
FOX POINT, MI 48217

DRAWINGS PROVIDED BY:
CONNOR REMODELING & DESIGN INC.
N88 W16606 MAIN ST.
MENOMONEE FALLS, WI 53051

DATE:
1/18/2022
SCALE:
1/2" = 1'-0"
SHEET:
A-9

