

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

Schwemer Hall
7200 North Santa Monica Blvd.
Fox Point, WI 53217

Wednesday
June 8, 2022
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/82925140759>

Meeting ID: 829 2514 0759

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the May 25, 2022 Building Board meeting.
3. Gino Carini, 8303 N Greenvale Rd, proposed attached garage.
4. Adjourn.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, May 25, 2022, at 5:00 pm. Those present included:

Justin Racinowski
Jeff Weber
Kristin Dufek
William Feldman
Sharon Celek
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by Kristin Dufek to approve the minutes from April 13, 2022. Motion was seconded by William Feldman. Motion Passed.

AGENDA

- **Bradley Manderscheid, 217 E Spooner Rd, proposed 10'X12' shed.** It was the consensus of the Building Board to approve as submitted.
- **Ralph Bencriscutto, 8339 N Lake Dr, proposed addition.** It was the consensus of the Building Board to table for rework.
- **Ms Fox Point, LLC, 6830-6940 N Santa Monica Blvd, proposed update master sign plan.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by William Feldman. Motion seconded by Jeff Weber. Motion Passed. Building Board adjourned at 5:58 pm.

Respectfully Submitted,

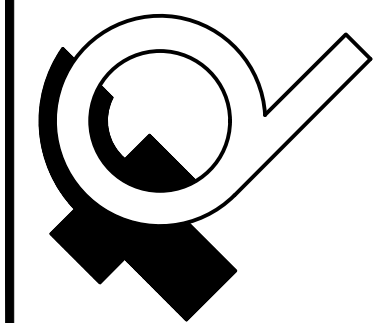


Michael Rakow
Building Inspector
Village of Fox Point



PROPOSED EXTERIOR PERSPECTIVES

NOT TO SCALE - FOR CONCEPTUAL DESIGN PURPOSES ONLY



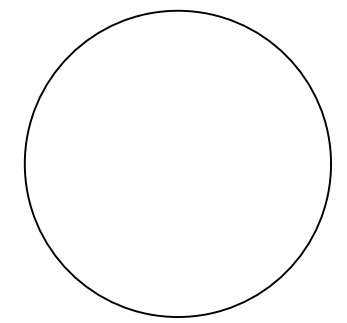
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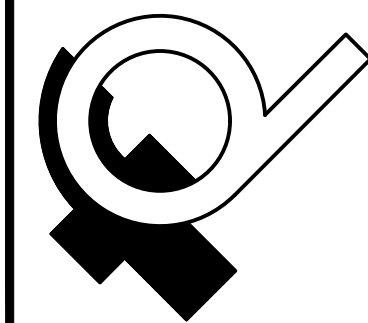
proposed construction drawings for :
THE CARINI RESIDENCE
8303 N. GREENVALE AVENUE
FOX POINT, WISCONSIN

sheet contents
EXTERIOR
PERSPECTIVES

date :
05.26.2022
revisions :

project number
2133

sheet number
COVER



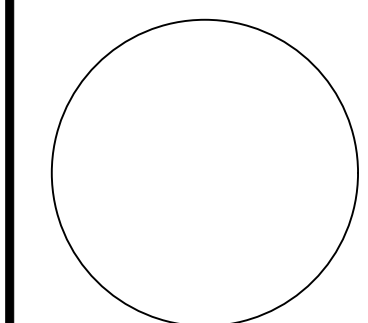
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proposed construction drawings for :
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sheet contents
SITE PLAN
SHEET INDEX
'COMM' NOTES
PROJECT DATA

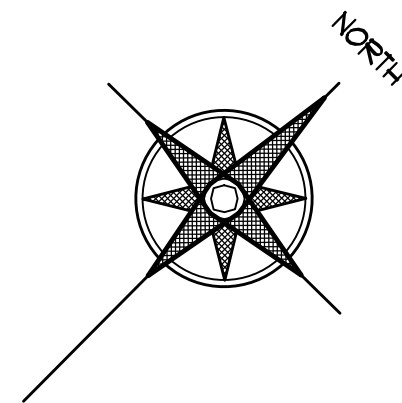
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1 of 5

DESIGN DOCUMENTS
FOR BUILDING BOARD
-NOT FOR CONSTRUCTION-

OPEN AREA DETAILS	
EXISTING LOT SQFT :	13,000 SQFT
EXISTING HOME SQFT :	1,762 SQFT
PROPOSED HOME SQFT :	2,225 SQFT
EXISTING OPEN AREA :	11,238 SQFT (86.5%)
PROPOSED OPEN AREA :	10,115 SQFT (83%)



SHEET INDEX:

COVER	PROPOSED EXTERIOR PERSPECTIVES
SHEET 1	SITE PLAN, SHEET INDEX, 'COMM' NOTES, PROJECT DATA
SHEET 2	PROPOSED MAIN & UPPER LEVEL DEMO PLANS, PROPOSED FOUNDATION PLAN, PROPOSED FLOOR PLAN
SHEET 3	EXISTING & PROPOSED FRONT & SIDE ELEVATIONS, NOTES
SHEET 4	EXISTING & PROPOSED REAR & SIDE ELEVATIONS, NOTES
SHEET 5	PROPOSED ROOF PLAN, PROPOSED ELECTRICAL PLAN, PROPOSED SECTION

NOTICE:

TO ALL CONTRACTORS BIDDING THIS PROJECT

ENORMOUS ATTENTION AND EXERTION HAVE GONE INTO THE ARCHITECTURAL DESIGN OF THESE DRAWINGS. FOR THIS REASON, FEIN DESIGN ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES, INCLUDING STRUCTURAL FAILURES, DUE TO DEFICIENT WORKMANSHIP BY ANY CONTRACTORS AND / OR SUPPLIERS.

CONTRACTORS TO NOTIFY FEIN DESIGN **IMMEDIATELY** IF ANY ERRORS ARE FOUND IN THE PRINTS THEMSELVES.

CONTRACTORS TO VERIFY ALL PARTS OF THESE PRINTS PERTAINING TO THEM. LUMBERYARDS TO REVIEW STRUCTURAL LAYOUTS AND CALCULATIONS BASED ON PROPOSED DESIGN AND CONFIRM FOR APPLICATION.

ALL RELEVANT CONTRACTORS INVOLVED WITH THIS PROJECT TO PROVIDE FEIN DESIGN WITH ONE (1) BOTTLE OF CANADIAN CLUB - WHISKEY (ONLY IF THEY DO NOT REMARK ABOUT THIS NOTE WHICH IS INTENDED TO MAKE SURE THAT THE CONTRACTOR HAS REVIEWED THESE DOCUMENTS AND BROUGHT TO THE DESIGNERS ATTENTION ANY FORESEEABLE CONCERNS SO THAT THESE CONCERNS MAY BE DEALT WITH PRIOR TO CONSTRUCTION.

PROJECT DATA:

WINDOWS & EXTERIOR DOORS

SUPPLIER TO VERIFY ALL WINDOWS AND SUBMIT A LIST TO THE DESIGNER AND OWNER PRIOR TO ORDERING - FOR VERIFICATION PURPOSES
ALL HARDWARE TO BE DETERMINED BY OWNER
WINDOWS TO BE CLAD EXTERIOR - COLOR VERIFIED BY OWNER
WINDOWS TO BE WOOD INTERIOR - PAINT GRADE (PRIMED) - VERIFY LOCATIONS
SUPPLIER TO PROVIDE SHOP DRAWINGS FOR ALL WINDOWS
WINDOWS ARE LABELED WITH 'MARVIN' SIZES
OWNER TO VERIFY STYLE OF ALL EXTERIOR DOORS

WALL TEXTURE

DRYWALL WORK TO BE 1/2' ON WALLS AND 1/2' ON CEILINGS
DRYWALL TEXTURE TO BE 'SMOOTH' FINISH
(DRYWALL CONTRACTOR TO VERIFY EXACT TEXTURE & MATERIAL w/ OWNER / BUILDER)

TRIM

ALL MOLDINGS - FINISH CARPENTER & LUMBERYARD TO VERIFY WITH OWNER/DESIGNER
STAIN and/or PAINT-GRADE MATERIAL TO BE INSTALLED - VERIFY WITH OWNER/DESIGNER

BASE - VERIFY w/ OWNER

CASING - VERIFY w/ OWNER

HEAD CASING - VERIFY w/ OWNER

INSULATION

CORBOND FOAM - PER CODE REQUIREMENTS

-BID AS ALTERNATE-

BATT INSULATION - PER CODE REQUIREMENTS

ELECTRICAL

ELECTRICAL CONTRACTOR TO VERIFY EXISTING & PROPOSED CONDITIONS
VERIFY EXISTING SERVICE PANEL
ELECTRICAL LAYOUT TO BE REVIEWED WITH THE OWNER / BUILDER
SEE ATTACHED ELECTRICAL PLAN FOR GUIDELINE - CONFIRM w/ OWNER / BUILDER

PLUMBING

PLUMBING CONTRACTOR TO VERIFY EXISTING PLUMBING CONDITIONS &
VERIFY THAT THE MECHANICALS CAN WORK w/ THE STRUCTURE
PLUMBER TO REVEAL / COORDINATE ACCESS'S IF & WHERE REQUIRED
ALL FIXTURES TO BE APPROVED BY OWNER

EXTERIOR & INTERIOR VENEERS

ALL EXTERIOR MATERIALS & COLORS TO BE VERIFIED AND APPROVED BY OWNER
ALL NEW EXTERIOR MATERIALS TO MATCH EXISTING DETAILS IF POSSIBLE
ALL INTERIOR MATERIALS & COLORS TO BE VERIFIED AND APPROVED BY OWNER

© DRAWINGS COPYRIGHT TO FEIN DESIGN LLC

NOTICE:
IT IS UNDERSTOOD THAT THE PLANS and SPECIFICATIONS CONTAINED HEREIN WERE DRAWN UP FOR THE OWNER(S) and ARE THE PROPERTY OF BOTH THE OWNER(S) and FEIN DESIGN, LLC

THESE DOCUMENTS ARE FOR THE SOLE USE OF FEIN DESIGN, LLC FOR THE CONSTRUCTION OF THIS PROJECT and USE OF THESE DRAWINGS BY ANY OTHER PARTY VOIDS ANY RESPONSIBILITY OF FEIN DESIGN, LLC OF GENERAL REPRESENTATION

NOTE:
PROPOSED WINDOWS DRAWN WERE ARE TO BE USED AS A DESIGN GUIDE ONLY WINDOW SUPPLIER TO VERIFY ALL SIZES WITH DESIGNER PRIOR TO FABRICATION. WINDOW SUPPLIER WILL BE LIABLE FOR INCORRECTLY BUILT WINDOWS

NOTE:
LUMBERYARD and / or STRUCTURAL ENGINEER TO VERIFY AND PROVIDE PROPER WALL BRACING SPECIFICATIONS PER WISCONSIN UNIFORM DWELLING CODE 32025

NOTE:
ROUGH CARPENTER TO PROVIDE 6" OF FRAMING (OR AS MUCH AS POSSIBLE OVER 4" OF FRAMING) BEFORE DOOR OPENINGS (PERPENDICULAR TO ADJACENT WALL)

NOTE:
ALL MECHANICAL LOCATIONS WILL BE VERIFIED BY THEIR RESPECTED INSTALLER THEY MAY NEED TO BE RELOCATED FOR OPTIMAL EFFICIENCY. PER SITE

NOTE:
ALL MICROLAM BEAMS SHOULD BEAR SOLID TO FOUNDATION or BEAM BELOW CARPENTER TO PROVIDE BLOCKING WHERE NEEDED

NOTE:
THIS BUILDING TO CONFORM TO ALL APPLICABLE CODES ACCORDING TO THE 'WISCONSIN UNIFORM DWELLING CODE'
ALL CONTRACTORS ARE RESPONSIBLE FOR KNOWING THE CODES - COPY 20 THRU COPY 25

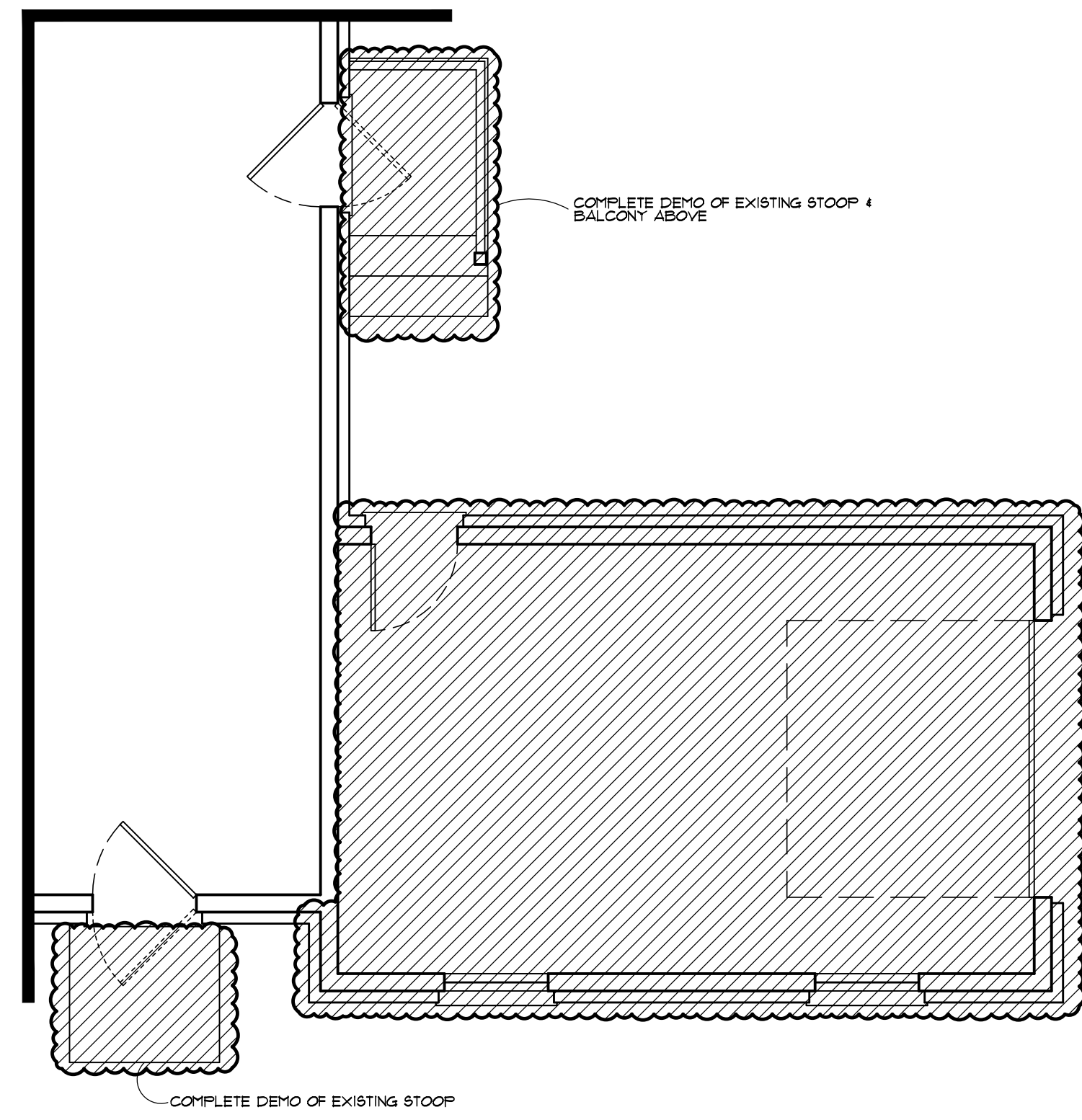
NOTE:
DIMENSIONS MAY NOT BE EXACT ALL CONTRACTORS AND SUPPLIERS TO FIELD VERIFY ANY AND ALL MEASUREMENTS PRIOR TO CONSTRUCTION AND / OR FABRICATION CONTRACTORS AND SUPPLIERS TO MAINTAIN DESIGN INTENT

NOTE:
ALL EXTERIOR WALLS TO BE MADE OF 2x6 CONSTRUCTION UNLESS OTHERWISE NOTED - FRONT ENTRY WALL
EXTERIOR WALLS SCALE OUT AT 6'-1/2" (1/2" = 5'-1/2" = 1/2")

NOTE:
LUMBERYARD AND/OR WOOD SUPPLIER TO VERIFY ALL BEAM AND MICROLAM SIZES INCLUDING ALL RELEVANT HANGER SIZES AND SPECIFICATIONS

PROPOSED SITE PLAN

SCALE - 1/8" = 1'-0"



NOTE:
BUILDER TO VERIFY ANY DISCREPANCIES
WITH DEMO PLAN 4 FLOOR PLAN
WITH DESIGNER / OWNER

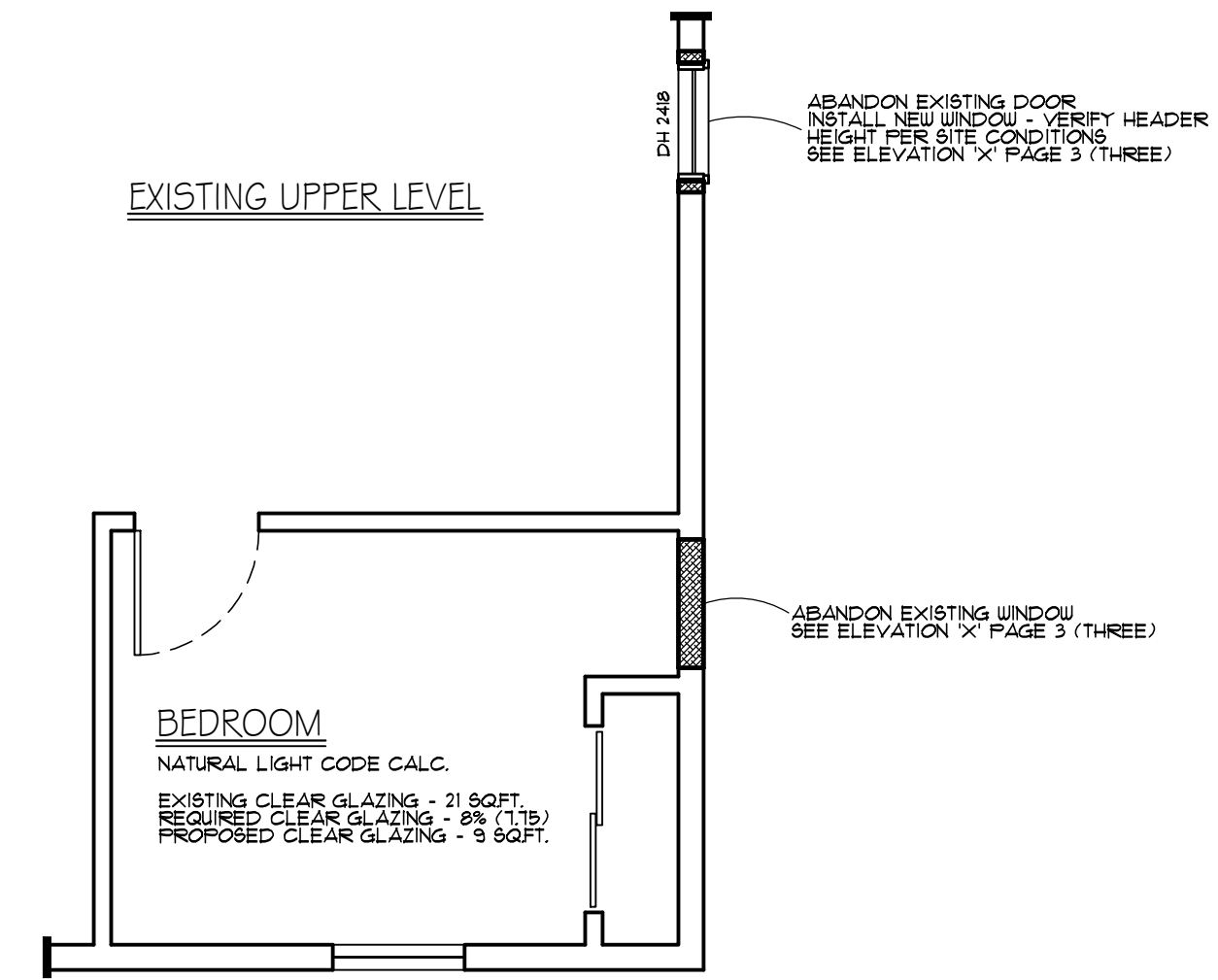
NOTE:
SAVE EXISTING MILLWORK PIECES DURING DEMO
TO MATCH NEW MILLWORK WITH EXISTING
SAVE NECESSARY MILLWORK PIECES DURING DEMO
TO MATCH PAINT and/or STAIN DETAILS WITH EXISTING

PROPOSED MAIN LEVEL DEMO PLAN

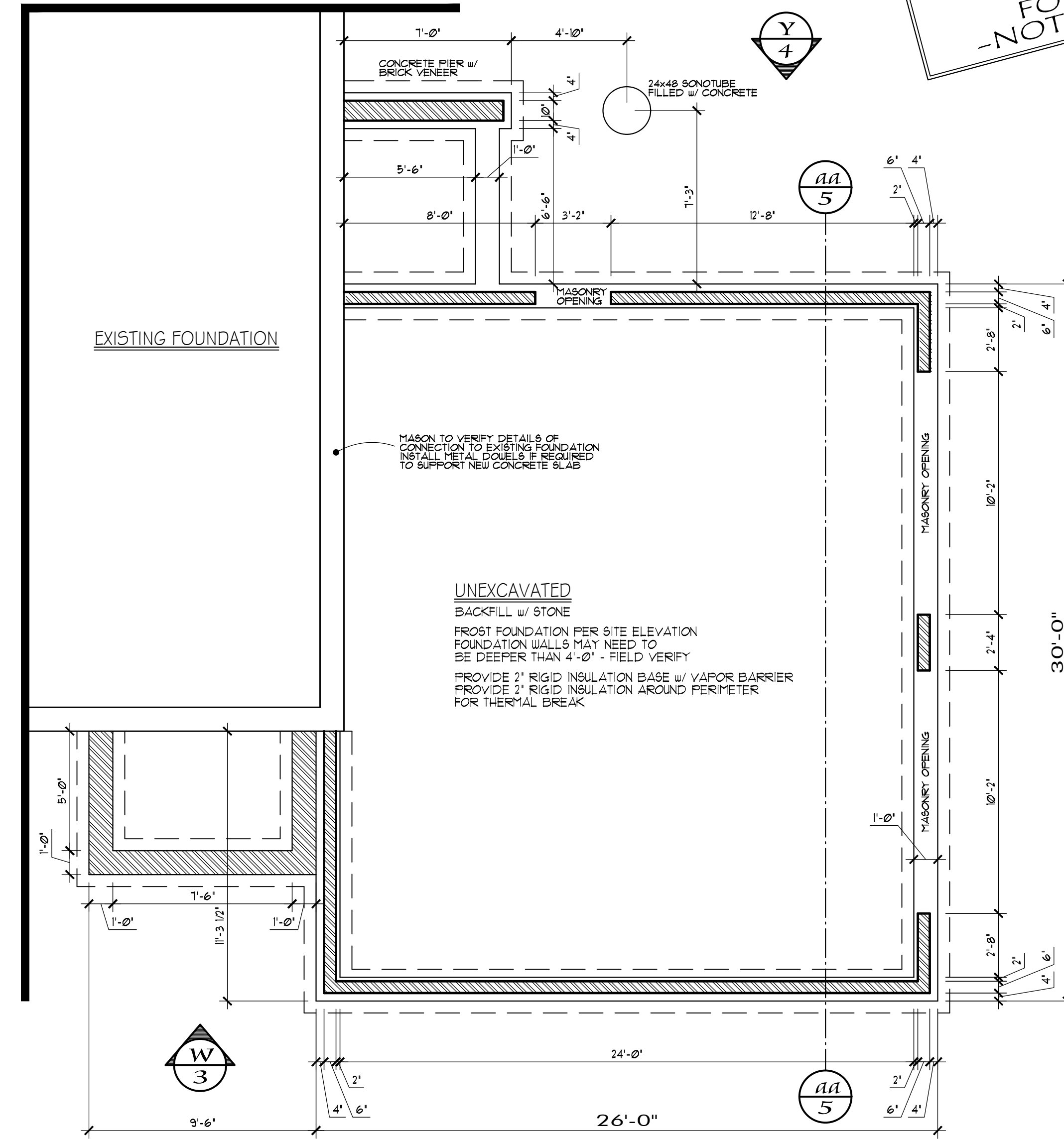
SCALE - 1/4" = 1'-0"

PROPOSED UPPER LEVEL DEMO PLAN

SCALE - 1/4" = 1'-0"

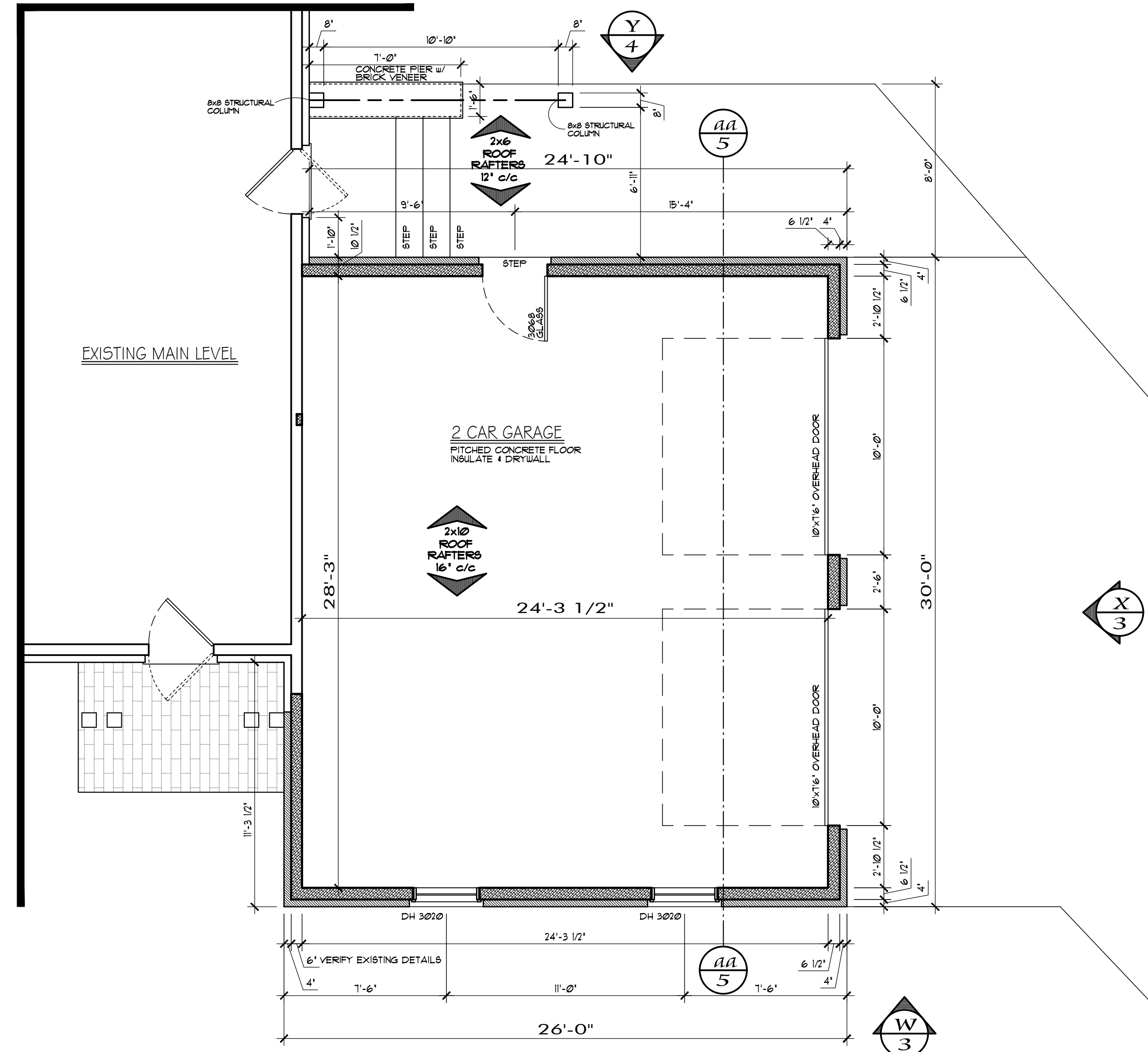


DESIGN DOCUMENTS
FOR BUILDING BOARD
-NOT FOR CONSTRUCTION-



PROPOSED FOUNDATION PLAN

SCALE - 1/4" = 1'-0"

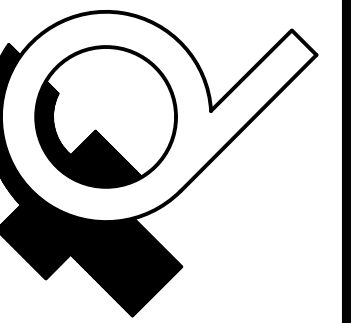


PROPOSED FLOOR PLAN

780 SQFT - PROPOSED GARAGE

SCALE - 1/4" = 1'-0"

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THE CARINI RESIDENCE
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FOX POINT, WISCONSIN

sheet contents

MAIN 4 UPPER
LEVEL DEMO
PLANS
FOUNDATION
PLAN
MAIN LEVEL
PLAN

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W EXISTING FRONT ELEVATION
SOUTH-EASTERN FACING SCALE - 1/8" = 1'-0"



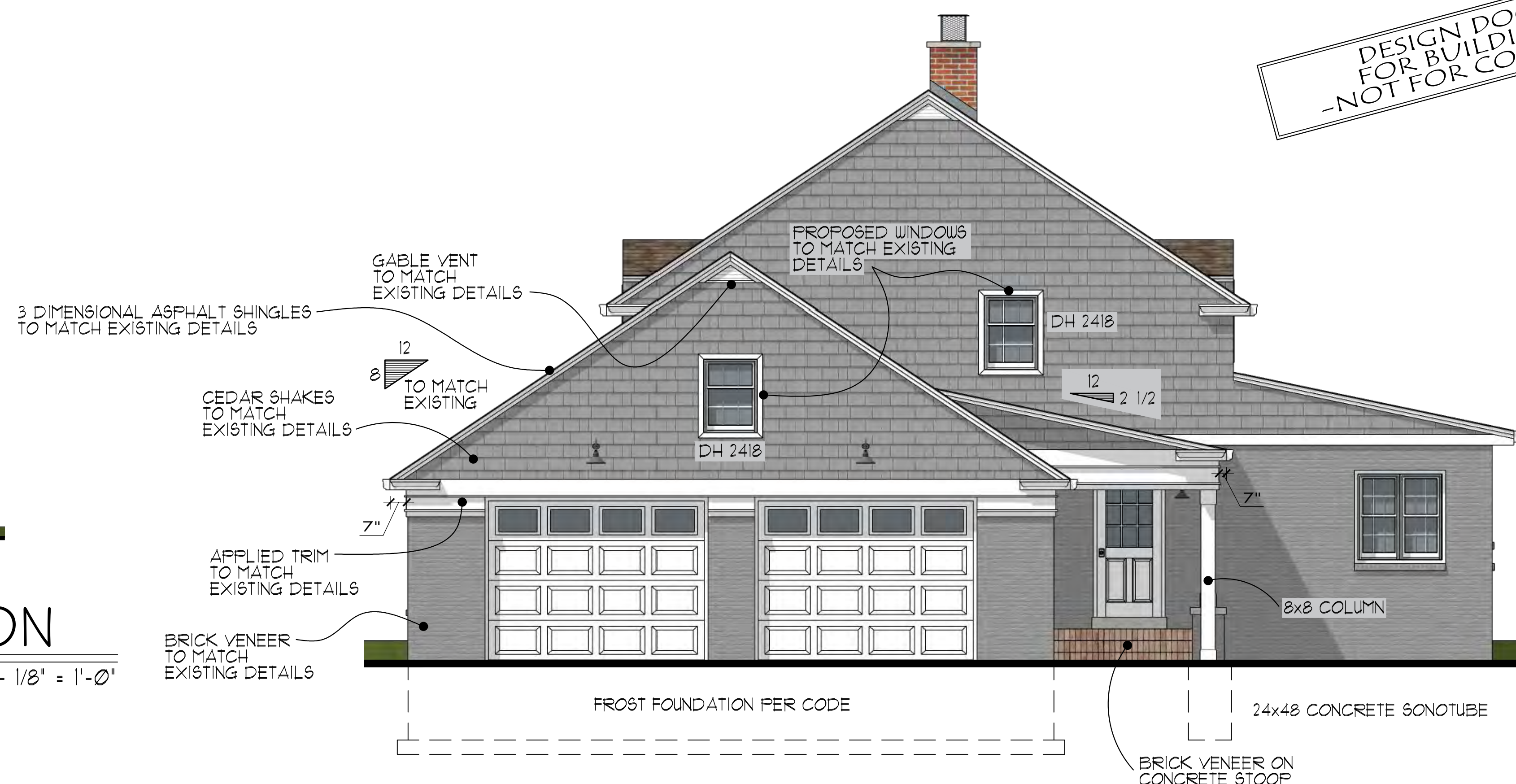
W PROPOSED FRONT ELEVATION
SOUTH-EASTERN FACING SCALE - 1/4" = 1'-0"

EXTERIOR NOTES:

- * 3 DIMENSIONAL ASPHALT SHINGLES
- * STANDING SEAM METAL ROOF SYSTEM FOR FRONT ENTRY COVER
- * FASCIA / SOFFIT DETAILS TO MATCH EXISTING DETAILS & COLOR
- * PAINTED BRICK VENEER TO MATCH EXISTING DETAILS
- * PAINTED CEDAR SHAKES TO MATCH EXISTING DETAILS
- * TRIM DETAILS TO MATCH EXISTING DETAILS

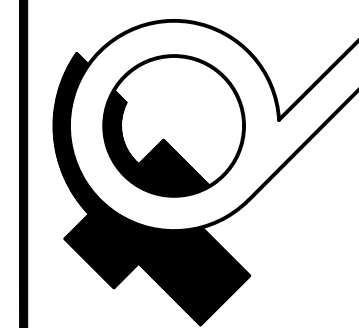


X EXISTING SIDE ELEVATION
NORTH-EASTERN FACING SCALE - 1/8" = 1'-0"



X PROPOSED SIDE ELEVATION
NORTH-EASTERN FACING SCALE - 1/4" = 1'-0"

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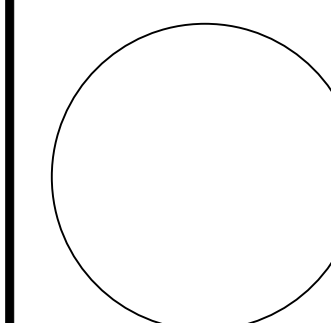
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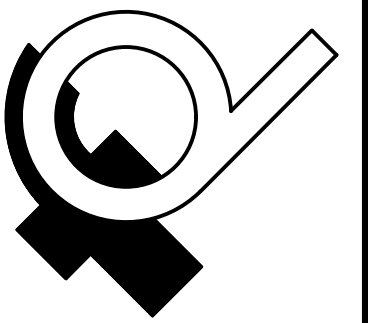
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sheet contents
EXISTING &
PROPOSED
FRONT & SIDE
EXTERIOR
ELEVATIONS

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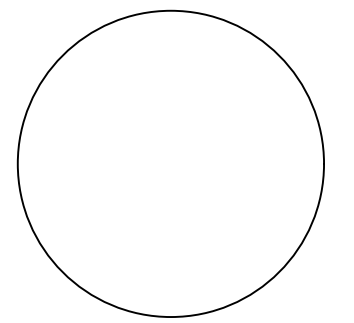
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EXISTING &
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Y EXISTING REAR ELEVATION
NORTH-WESTERN FACING SCALE - 1/8" = 1'-0"



Y PROPOSED REAR ELEVATION
NORTH-WESTERN FACING SCALE - 1/4" = 1'-0"

- EXTERIOR NOTES:
- * 3 DIMENSIONAL ASPHALT SHINGLES
 - * STANDING SEAM METAL ROOF SYSTEM FOR FRONT ENTRY COVER
 - * FASCIA / SOFFIT DETAILS TO MATCH EXISTING DETAILS & COLOR
 - * PAINTED BRICK VENEER TO MATCH EXISTING DETAILS
 - * PAINTED CEDAR SHAKES TO MATCH EXISTING DETAILS
 - * TRIM DETAILS TO MATCH EXISTING DETAILS



Z EXISTING SIDE ELEVATION
SOUTH-WESTERN FACING SCALE - 1/8" = 1'-0"



Z PROPOSED SIDE ELEVATION
SOUTH-WESTERN FACING SCALE - 1/4" = 1'-0"

NOTE:
ONLY WHERE NEEDED PROVIDE :
5" SEAMLESS ALUMINUM GUTTERS
AND
4" ALUMINUM DOWNSPOUTS
OWNER TO VERIFY COLOR & STYLE

NOTE:
LUMBERYARD AND/OR WOOD SUPPLIER
TO VERIFY ALL BEAM AND MICROLAM SIZES
INCLUDING ALL RELEVANT HANGER SIZES
AND SPECIFICATIONS

NOTE :
ROOF STRUCTURE TO COMPLY WITH
THE REQUIREMENTS OF COMM 21.02 (3)

NOTE :
PROVIDE ROOF VENTILATION
PER CODE REQUIREMENTS

NOTE:
CARPENTER TO VERIFY WITH DESIGNER
THE PROPER ROOF STRUCTURAL LAYOUT
LUMBERYARD TO VERIFY AS WELL

NOTE :
PROVIDE 'ICE-N-WATER SHIELD' OVER
ENTIRE HOUSE & GARAGE ROOF PERIMETER
AND IN ALL VALLEYS AND PENETRATIONS

NOTE:
PROVIDE ATTIC ACCESS PER SFS 321.01
REVIEW DETAILS / LOCATIONS w/ OWNER & PER SITE CONDITIONS

LEGEND	
	LIGHT FIXTURE
	OUTLET (verify GFI / switched)
	WEATHER PROOF OUTLET
	SWITCH (verify dimmer)

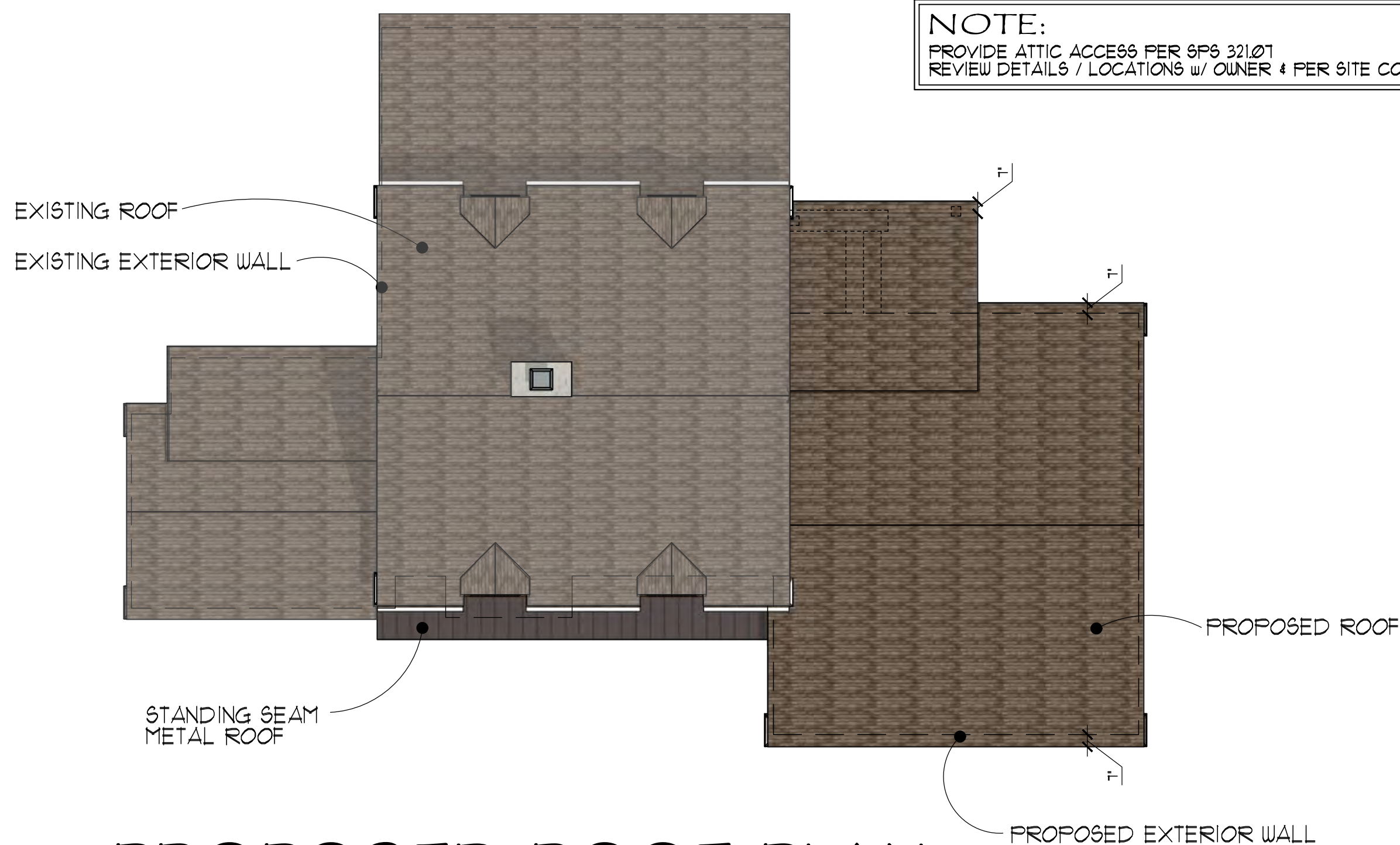
NOTE:
OUTLETS SHOWN ON PLAN ARE FOR REFERENCE ONLY
ELECTRICIAN TO PROVIDE OUTLETS PER CODE &
DISCUSS ADDITIONAL OUTLET LOCATIONS WITH OWNER

SWITCHES LABELED TO SWITCHED OUTLETS TO BE
DISCUSSED w/ OWNER AS TO WHICH OUTLETS
ARE TO BE SWITCHED

NOTE:
ELECTRICAL CONTRACTOR TO VERIFY WITH BUILDER
THE LOCATION OF ELECTRICAL FIXTURES AND
THE HEIGHTS ABOVE THE FINISH FLOOR, etc.

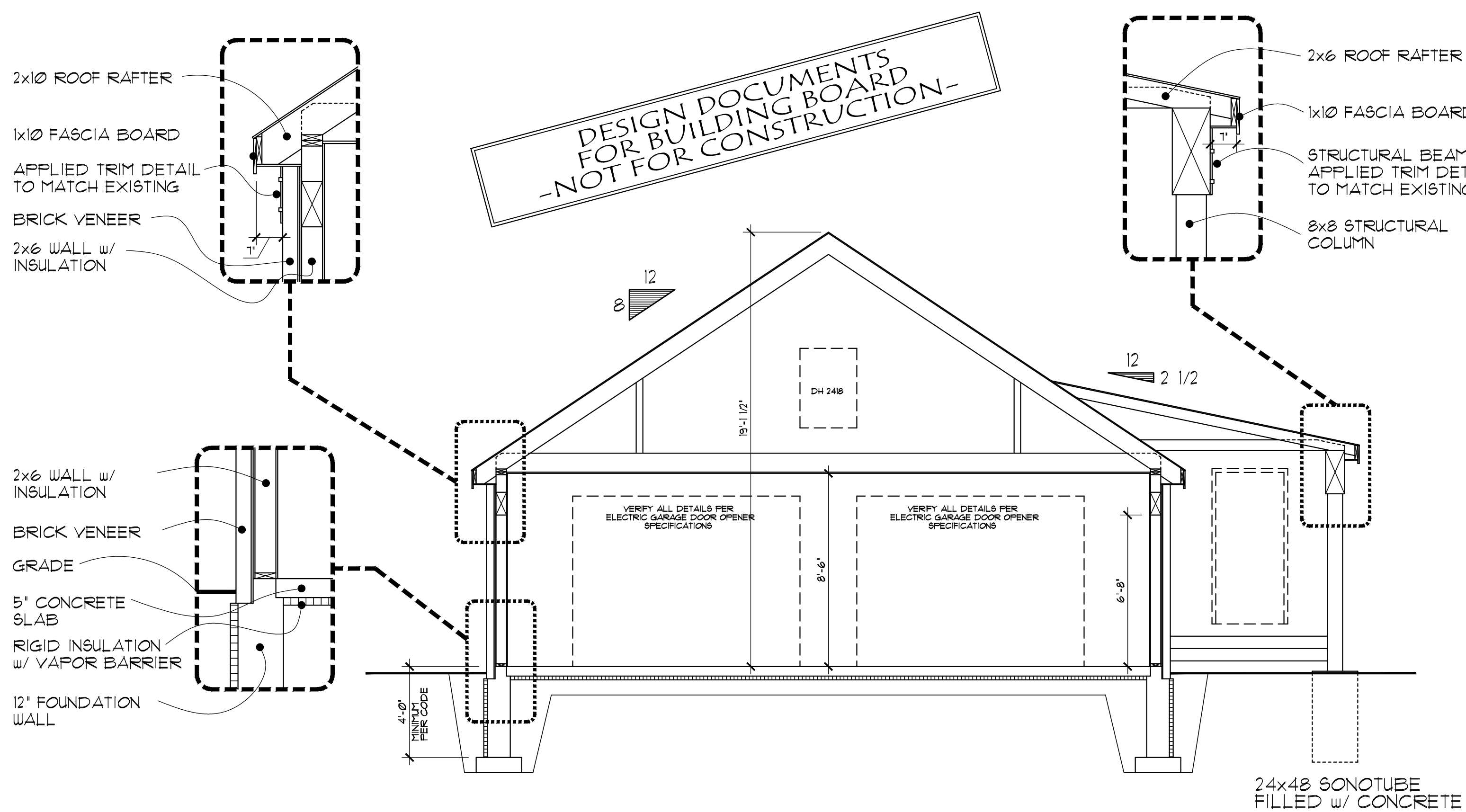
NOTE:
OWNER TO VERIFY WITH ELECTRICAL CONTRACTOR
FOR PROPER SWITCHING & LIGHTING FOR ALL
LIGHT FIXTURES - CONFIRM WITH DESIGNER

NOTE:
ELECTRICAL CONTRACTOR TO REVIEW EXISTING
ELECTRICAL LAYOUT WITH PROPOSED DESIGN
REVIEW w/ OWNER / DESIGNER



PROPOSED ROOF PLAN

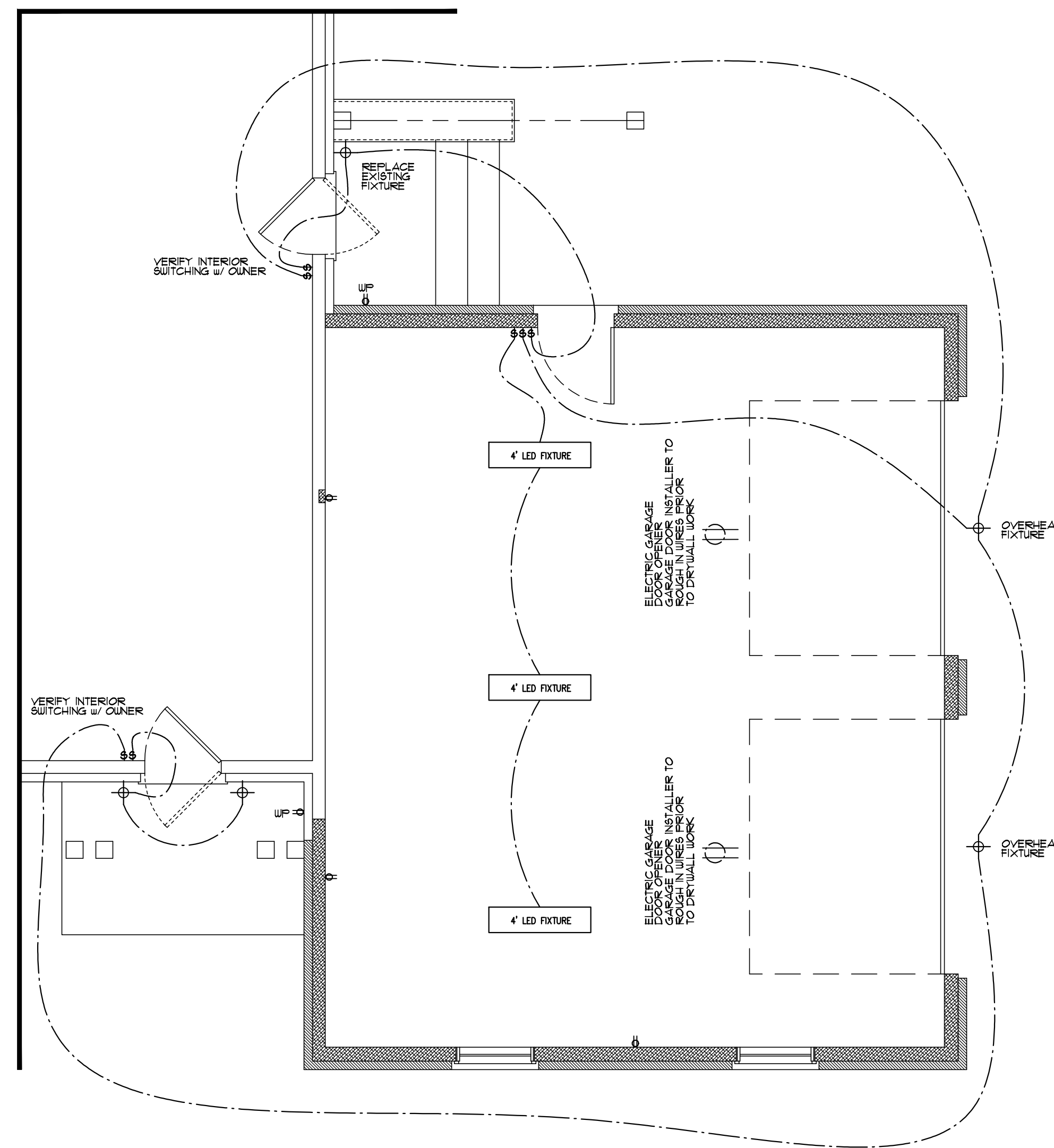
SCALE - 1/8" = 1'-0"



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PROPOSED SECTION

SCALE - 1/4" = 1'-0"



PROPOSED ELECTRICAL PLAN

SCALE - 1/4" = 1'-0"

SECTION NOTES

PROVIDE ROOF VENTILATION PER CODE REQUIREMENTS
PREFORMED VENT TUBES BY INSULATION CONTRACTOR
BETWEEN ROOF STRUCTURE
RIDGE VENT SYSTEM PER CODE REQUIREMENTS
40 YEAR DIMENSIONAL SHINGLE ROOFING
1/2" APA-RATED ROOF SHEATHING WITH CLIPS
ON 15" FELT UNDERLAYMENT

CONVENTIONAL FRAMING
SEE PLANS FOR PROPOSED SPECIFICATIONS & LAYOUTS

PROVIDE 'ICE-N-WATER SHIELD' SYSTEM BY GRACE
OVER ENTIRE PERIMETER OF ROOF DECKING (SIX FEET FROM EDGE)

PLYWOOD CEDAR SOFFIT SYSTEM WITH VENTILATION PER CODE
FASCIA & EAVE DETAILS TO MATCH EXISTING DETAILS

5" SEAMLESS ALUMINUM GUTTERS AND 4" ALUMINUM DOWNSPOUTS
(FIELD VERIFY WHERE NEEDED - ONLY INSTALL WHERE NEEDED)
EXCAVATOR TO BURY DOWNSPOUTS
UNDERGROUND AND DRAIN TO DAYLIGHT

BRICK VENEER PER ELEVATIONS
MASON TO VERIFY BRICK SILL &
ALL FLASHING DETAILS WITH DESIGNER

2X6 TREATED MUD SILL
WITH METAL FASTENING STRAPS OR ANCHORS PER CODE (4'-0" o/c)
AND SILL SEALER APPLIED (TYPICAL)

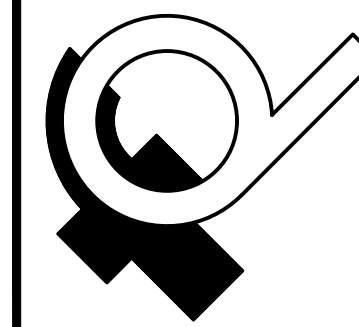
POURED CONCRETE FOUNDATION WALL SYSTEM

FROST FOUNDATION (UNEXCAVATED)
12" POURED CONCRETE WALL

2 - #4 REBAR AT THE TOP AND BOTTOM
2 - #4 REBAR VERTICALLY INSTALLED
MASON TO VERIFY ALL REINFORCING DETAILS WITH DESIGNER
5" CONCRETE SLAB - OVER VAPOR BARRIER
R-5 RIGID INSULATION UNDER SLAB
R-5 RIGID INSULATION ON EXTERIOR WALL PERIMETER (PER CODE)
TAR BACKPLASTER WEATHER-PROOF PRIOR
TO RIGID INSULATION BEING APPLIED

EXCAVATOR TO DIG FOUNDATION TO FULL FOOTING DEPTH &
BACKFILL WITH NO. 1 STONE AROUND DRAIN-TILE FOOTINGS
BACKFILL WITH EXISTING GRADE SOILS FULL WALL HEIGHT

24" x 8" CONTINUOUS CONCRETE FOOTINGS
FOOTING TO BE BELOW LOCAL FROST LINE
VERIFY WITH FOUNDATION PLAN AND PER SITE CONDITIONS
AS FOUNDATION HEIGHT MAY BE INCREASED



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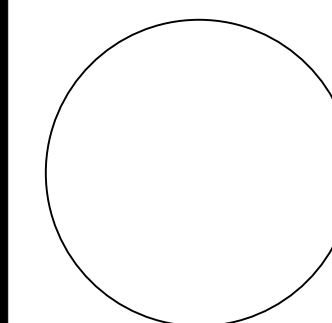
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sheet contents

PROPOSED
ROOF PLAN,
PROPOSED
ELECTRICAL
PLAN,
SECTION, NOTES

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VILLAGE OF FOX POINT

7200 N Santa Monica Blvd

Fox Point, WI 53217

(414) 247-6622

www.villageoffoxpoint.com

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Homeowner's Name – PRINTED

Property Address

Homeowner's Signature

Date

March 22, 2005

PLAT OF SURVEY

Survey No. 050096
Gino J. Carini

LOCATION: 8303 N. Greenvale Avenue, Fox Point, Wisconsin

LEGAL DESCRIPTION:

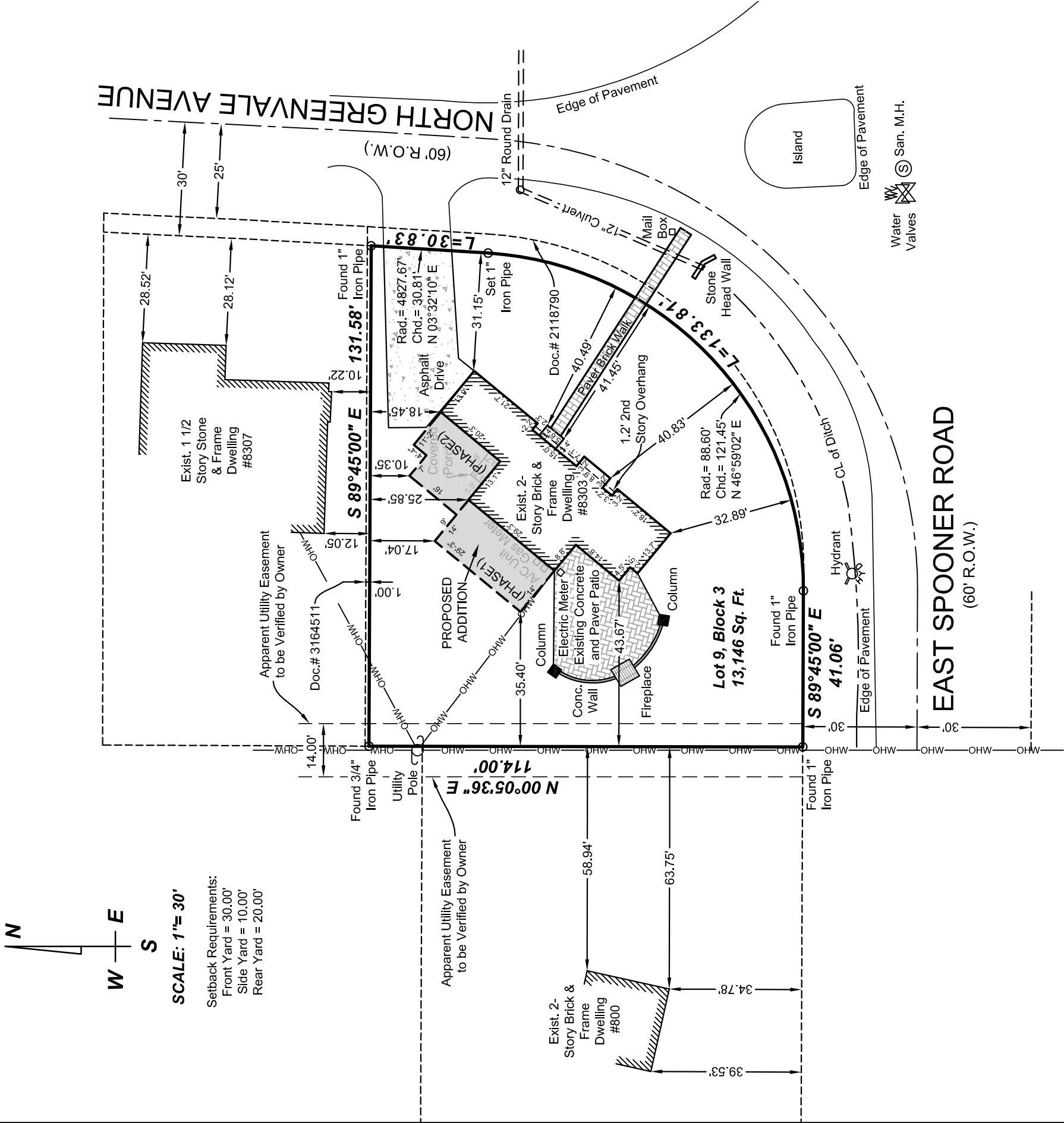
Lot 9, in Block 3, in **FOX POINT TERRACE**, being a Subdivision of part of the Southwest 1/4 of Section 9, Township 8 North, Range 22 East, in the Village of Fox Point, Milwaukee County, Wisconsin. Excepting therefrom that part conveyed by Warrant Deed recorded in Volume 3100 of Deeds, page 50, as Document No. 3164511 and also Excepting therefrom that part of Lot 9 Dedicated in an instrument Dated January 26, 1933, and recorded February 9, 1937 in Volume 1462 of Deeds, page 370 as Document No. 2118790.

Revised: March 20, 2013 - Field Work By: RT, Drawing By:ST - Updated Survey and Found/Set Missing Lot Corners.

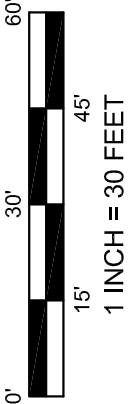
Note: Field Conditions = Deep Snow and Ice.

Revised: June 10, 2013 - Added Proposed Addition.

Revised: April 15, 2014 - New Proposed Addition Plan.

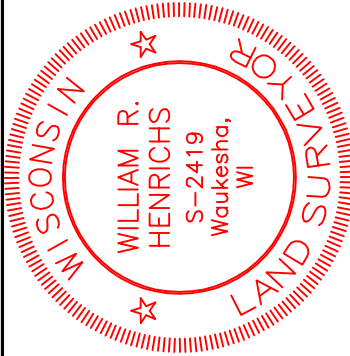


GRAPHIC SCALE



DRAWING BY: JJ/AW
FIELD WORK BY: JJ

DAAR
ENGINEERING, INC.
ENGINEERS PLANNERS SURVEYORS
518 West Cherry Street, Milwaukee, WI 53212
PHONE (414) 604-0674 FAX (414) 604-0677
www.daarcorp.com



I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY. ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED *William R. Henrichs*
William R. Henrichs, Registered Land Surveyor S-2419