

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

Schwemer Hall
7200 North Santa Monica Blvd.
Fox Point, WI 53217

Wednesday
April 12, 2023
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/86270206293>

Meeting ID: 862 7020 6293

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the March 8, 2023 Building Board meeting.
3. Dino Zucchi, 7619 N Beach Dr, resubmittal of proposed gazebo.
4. Dan Hurth, 304 E School Rd, proposed rebuild sunroom.
5. Jay Schmidt, 7705 N Lake Dr, proposed gabled front entry, seat wall, and new roof on garage.
6. Jennie Stolz, 175 W Blackhawk Rd, proposed PV system.
7. Cathy Conway, 240 W Dunwood Rd, proposed inground pool.
8. Adjourn.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, March 8, 2023, at 5:00 pm. Those present included:

Justin Racinowski
Jeff Weber
William Feldman
Sharon Celek-Absent
Lucille Sells
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by William Feldman to approve the minutes from February 8, 2023. Motion was seconded by Jeff Weber. Motion Passed. Correction: Change date on agenda to February 8th.

AGENDA

- **Dino Zucchi, 7619 N Beach Dr, proposed gazebo.** It was the consensus of the Building Board to table pending further information. Need a copy of a survey and explanation of access on berm.
- **Terry Pace, 8609 N Manor Ln, proposed addition and open area modification.** It was the consensus of the Building Board to approve as submitted.
- **Jim Salinsky, 6423 N Santa Monica Blvd, proposed shed.** It was the consensus of the Building Board to approve as submitted.
- **Jay Schmidt, 7705 N Lake Dr, proposed roof.** It was the consensus of the Building Board to approve as submitted.
- **Andrew Kadrich, 7966 N Beach Dr, proposed single family home.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by William Feldman. Motion seconded by Lucille Sells. Motion Passed. Building Board adjourned at 5:37 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point

**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd

Fox Point, WI 53217

(414) 247-6622

www.villageoffoxpoint.com

Permit Number:**B-****OFFICE USE ONLY**

Issued Date

Zoning

BUILDING PERMIT

Job Address 7619 N. Beach Dr	Building Type: Residential ☒ Commercial ☐
Description of Work building outdoor gazebo (not enclosed) that will be 2355 sqft, and will sit on top of a hill in the back/right corner of our lot (cantilevered on each side); will have a metal roof in the color of burgundy or deep red; railing can be added if required	
Estimated Cost of Project \$3000.00	

Owner/Occupant	
Business Name Dino and April Zucchi	Contact Name Dino
Address 7619 N Beach Dr	City/State/Zip Milwaukee, WI 53217
Phone 240-460-6514	Email april.zucchi@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor N/A -> Dino will be doing the work himself	
Company Name	Contact Name
Address	City/State/Zip
Phone	Email
Dwelling Contractor #	Dwelling Contractor Qualifier #

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage
Non-enclosed shelter 355sqft				
Description			Rate	Amount
Project - Per \$1,000 of estimated cost			\$10.00	35.00 70.00
Building Board			\$75.00	75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial				—
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial				—
State Seal			\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus			\$0.13/sqft	—
Moving buildings \$250.00 plus			\$0.13/sqft	—
Fuel tanks - Per 1,000 gallons			\$25.00	—
Re-inspection			\$100.00	—
Work started without permit			Double	—
			Minimum Fee	\$70.00
Payable to: Village of Fox Point			Total Permit Fee	\$ 105.00

Applicant Signature Dino**Date** 2/4/23

Rev 01/22

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 2.001676

Feb 6, 2023

7619 N Beach Dr

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	
LICENSES & PERMITS - BUILDING PERMIT	70.00
24-44460 BUILDING PERMIT	
Total:	145.00
CHECK	105.00
Payor: April Zucchi	
CREDIT CARD	40.00
Payor: April Zucchi	
Total Paid:	145.00
Total Applied:	145.00
Change Tendered:	.00

02/06/2023 11:55 AM

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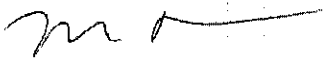
AGENDA

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Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd

Fox Point, WI 53217

(414) 247-6622

www.villageoffoxpoint.com

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Dino Zucchi

Homeowner's Name – PRINTED

7619 N Beach Dr, Milwaukee, WI 53217

Property Address

DZ

Homeowner's Signature

2/2/23

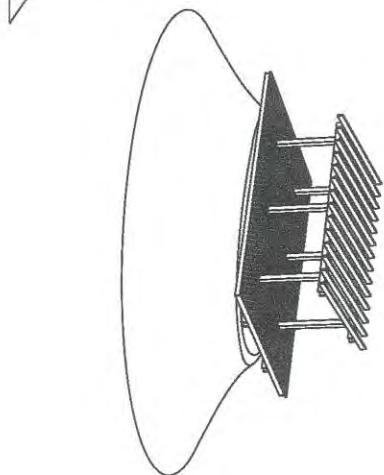
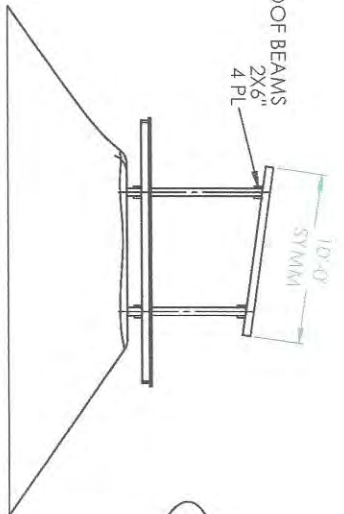
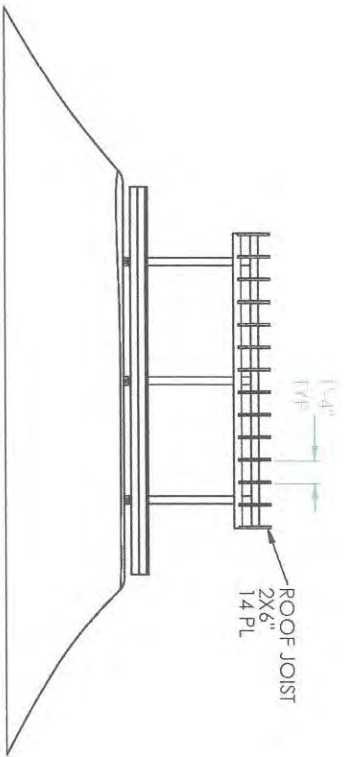
Date

4

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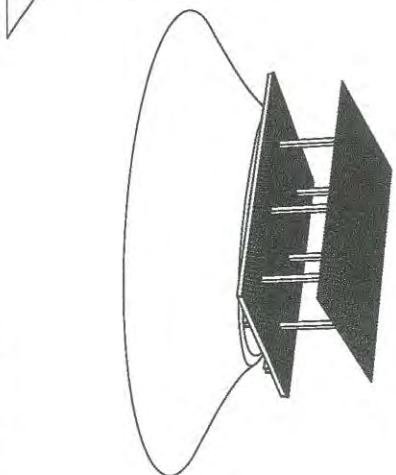
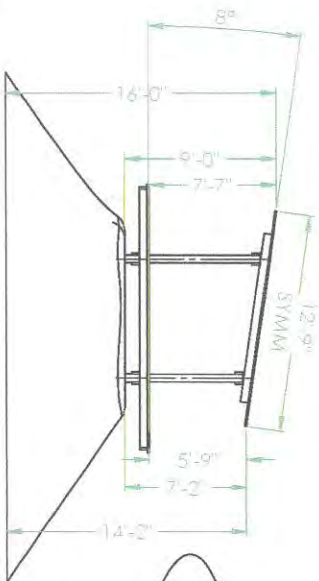
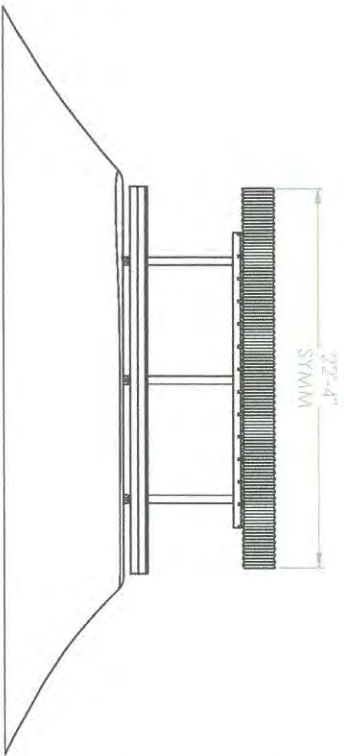
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B

ROOF FRAME

A



A

4

3

2

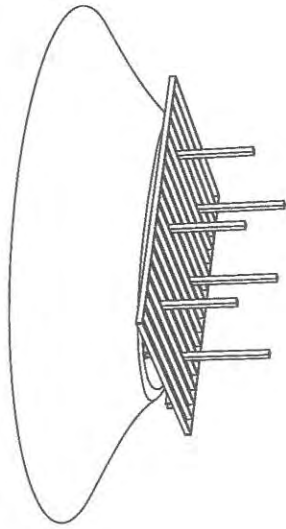
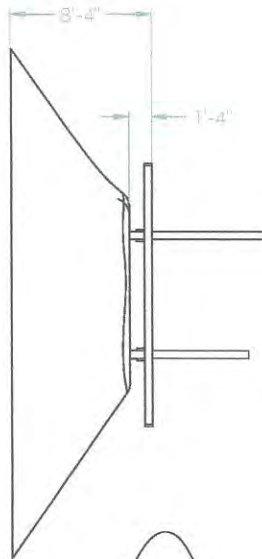
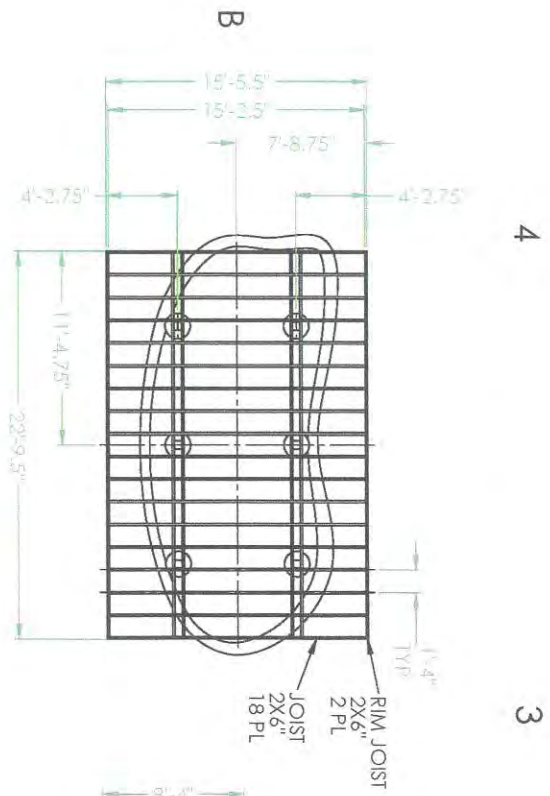
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ROOF DETAIL

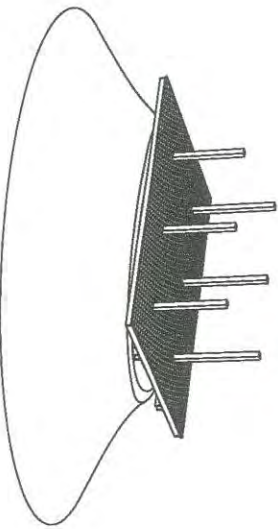
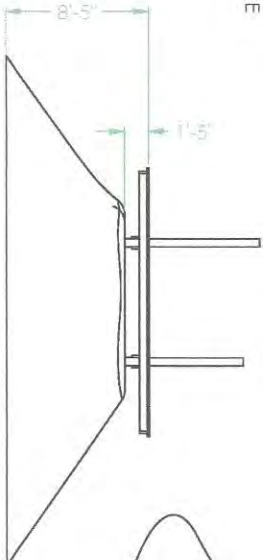
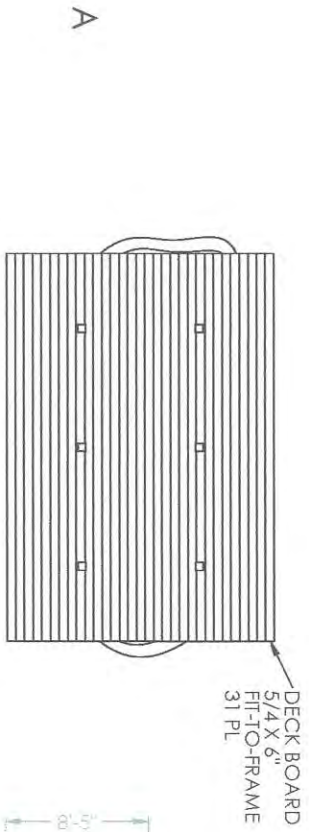
SIZE DWG. NO. 202301

REV B

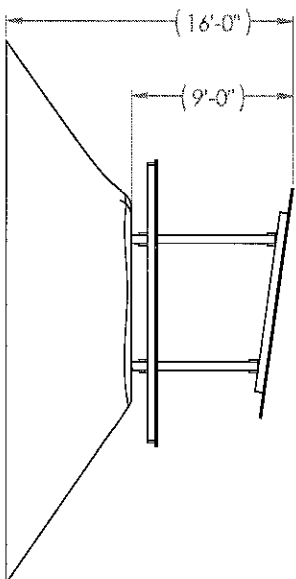
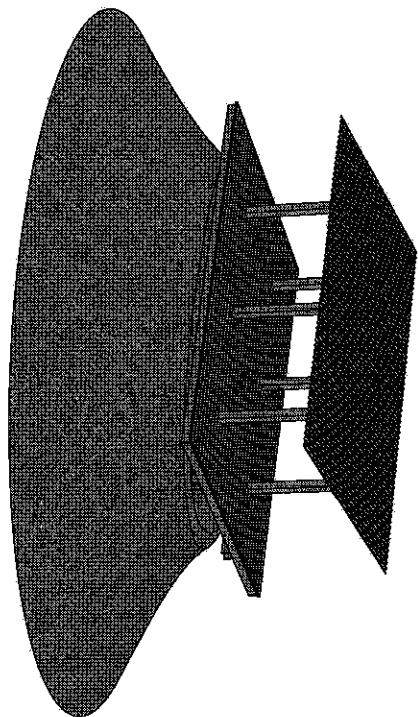
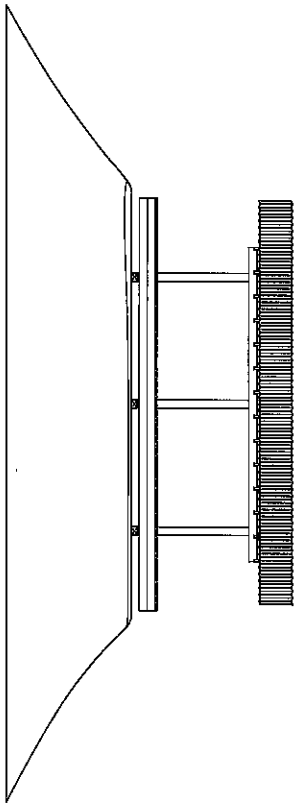
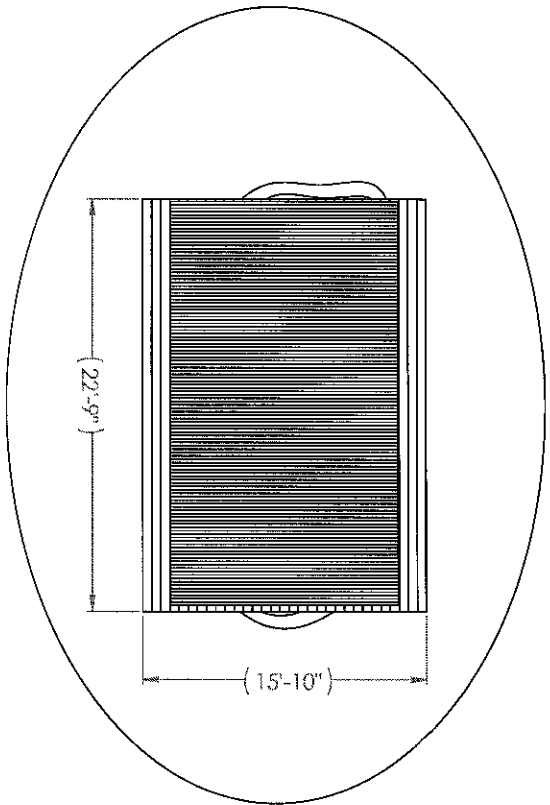
WEIGHT: SHEET 5 OF 6



JOIST DETAIL

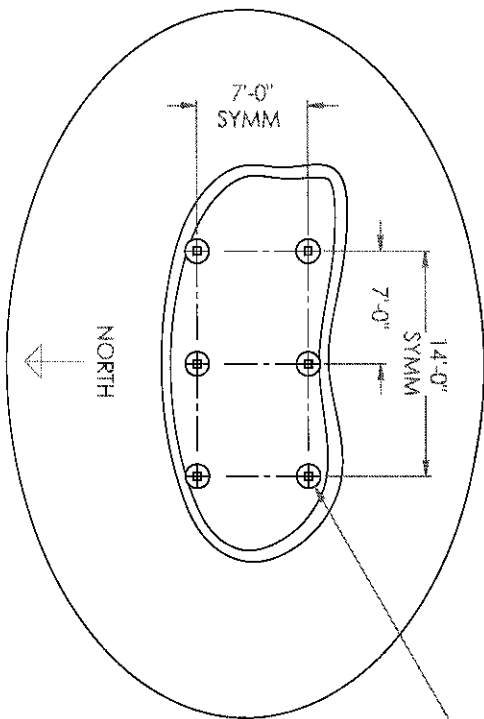


PLATFORM DECKING
 SIZE DWG. NO. 202301
 REV B
 WEIGHT: SHEET 4 OF 6

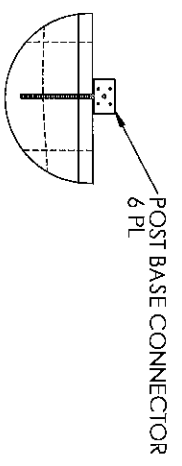
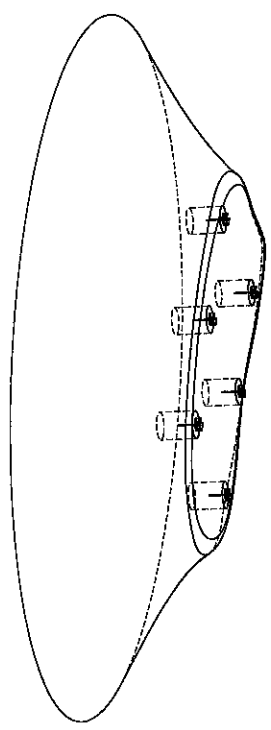


PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS
DRAWING IS THE SOLE PROPERTY OF
FOX POINT. ANY REPRODUCTION
OR TRANSMISSION IN ANY FORM OR BY ANY
MEANS WITHOUT THE WRITTEN PERMISSION OF
FOX POINT COMPANY IS PROHIBITED.

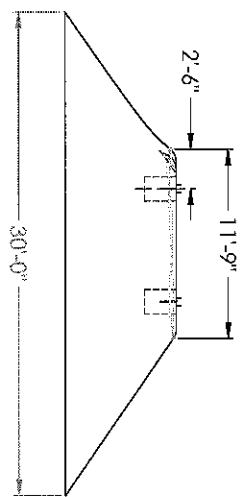
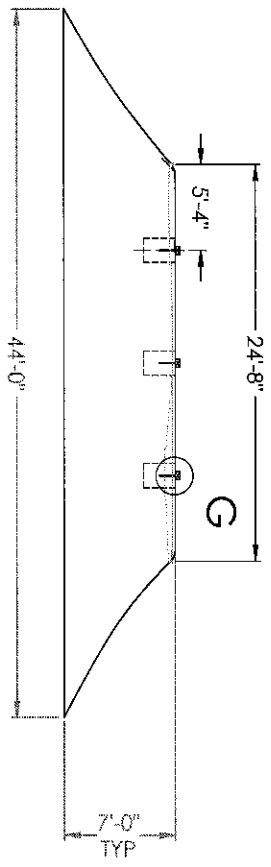
UNLESS OTHERWISE SPECIFIED:		NAME	DATE
DIMENSIONS ARE IN INCHES		JMR	2.02.23
TOLERANCES:		DRAWN	
FRACTIONS: 1/8", 1/4", 3/8", 1/2"		CHECKED	
DECIMALS: 1/16", 1/8", 1/4", 3/8", 1/2"		ENG. APPR.	
TWO PLACE DECIMAL: 1/8", 1/4", 3/8", 1/2"		WFO APPR.	
THREE PLACE DECIMAL: 1/16", 1/8", 1/4", 3/8", 1/2"		Q.A.	
MATERIALS:		COMMENTS:	
WOOD: 2x4, 2x6, 2x8, 2x10, 2x12		GAZEBO PLAN PROPOSAL	
METAL: GALVALUME		DINO ZUCCHI	
FINISH: BROWN		7619 N BEACH DR.	
APPLICATION: USED ON		FOX POINT, WI 53217	
DO NOT SCALE DRAWINGS			
NEXT ASY		TITLE:	
		Zucchi Gazebo	
		SIZE: DWG. NO. 202301	
		SCALE: NTS	
		REV A	
		SHEET 1 OF 6	



FOOTING
 Ø 1'-6"
 48"
 6 PL



DETAIL G
 SCALE 1:20



EARTH AND FOOTING DETAIL

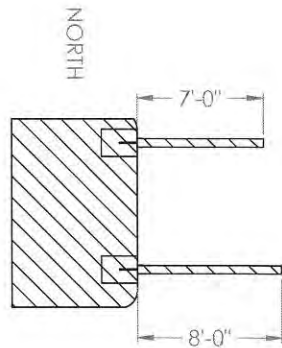
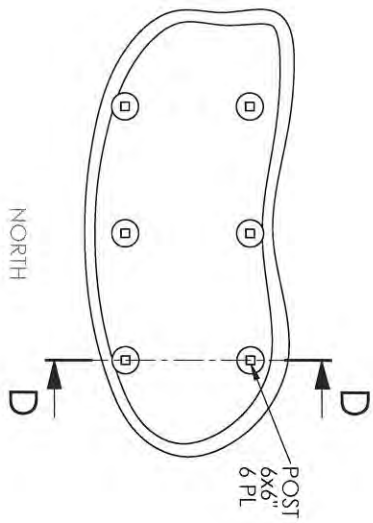
SIZE	DWG. NO.	REV
B	202301	
WEIGHT	SHEET 2 OF 6	

4

3

2

1

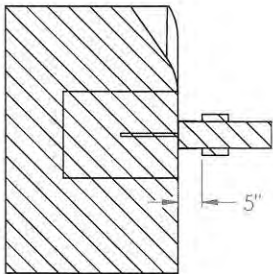
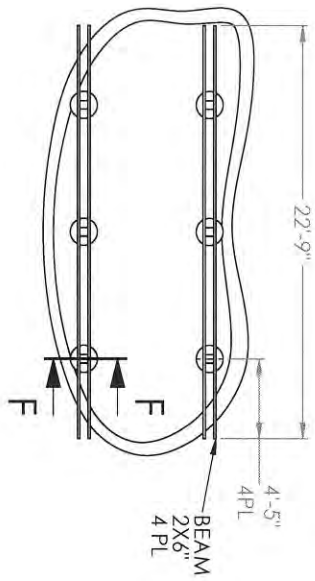


SECTION D-D

SCALE 1 : 80

COLUMN DETAIL

B



SECTION F-F

SCALE 1 : 25

BEAM DETAIL

SIZE DWG. NO.

B

202301

REV

WEIGHT:

SHEET 3 OF 6



Bill Of Materials		
Part	Material	Nominal Size
1 Footing	Concrete	18" Dia
2 Column	Pine	6x6"
3 Platform Beam	Pine	2x6"
4 Platform Joist	Pine	2x6"
5 Deck Board	Cedar	5/4 x 6"
6 Roof Framing	Pine	2x6"
7 Roof	Corrugated Metal	TBD



4

3

2

1

B



B

A



A

Bill Of Materials			
	Part	Material	Nominal Size
1	Footing	Concrete	18" Dia
2	Column	Pine	6x6"
3	Platform Beam	Pine	2x6"
4	Platform Joist	Pine	2x6"
5	Deck Board	Cedar	5/4 x 6"
6	Roof Framing	Pine	2x6"
7	Roof	Corrugated Metal	TBD

4

3

2

1

SIZE	DWG. NO.	REV
B	202301	
WEIGHT:		SHEET 6 OF 6



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B-

OFFICE USE ONLY	
Issued Date	
Zoning	

BUILDING PERMIT

Job Address <u>304 E School Rd.</u>	Building Type: Residential ☒ Commercial ☐
Description of Work - <u>Demo + disposal of existing walls + windows</u> <u>build new walls + install windows + doors. install railing</u> <u>+ rubber roof above sunroom. add electrical drywall in</u> <u>interior.</u>	
Estimated Cost of Project \$ <u>56,603.73</u>	

Owner/Occupant <u>Dan Hurth</u>	
Business Name	Contact Name
Address	City/State/Zip
Phone	Email

****Cautionary Statement required when homeowner is applying for permit****

Contractor <u>Robert McDonald</u>	
Company Name <u>Excel Custom Contractor</u>	Contact Name <u>Laura Steinmetz</u>
Address <u>12000 W. 6 mile Rd.</u>	City/State/Zip <u>Franksville, WI 53126</u>
Phone <u>414-333-1888</u>	Email <u>lsteinmetz@excelcontractor.com</u>
Dwelling Contractor # <u> </u>	Dwelling Contractor Qualifier # <u> </u>

Square Footage Under Construction				
1st Floor	2nd Floor	Basement	Addition	Garage

328

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	<u>567.00</u>
Building Board	\$75.00	<u>\$ 75.00</u>
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld	\$95.00 minimum plus	\$0.13/sqft
Moving buildings	\$250.00 plus	\$0.13/sqft
Fuel tanks - Per 1,000 gallons		\$25.00
Re-inspection		\$100.00
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point		Total Permit Fee \$

Applicant Signature

Laura Steinmetz

Date

3-3-23

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.058685

Mar 16, 2023

304 E School Rd

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	

Total:	75.00
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CHECK	Check No: 5068	75.00
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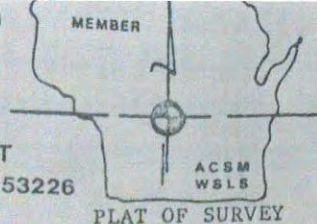
Payor: Excel Custom Contr LLC

Total Applied:	75.00
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Change Tendered:	.00
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03/16/2023 10:59 AM

2554 N. 100th STREET
WAUWATOSA, WISCONSIN 53226



ASSOCIATES, INC.

FREDERICK W. SHIBILSKI RLS
(414) 257-2212

PLAT OF SURVEY
-of-

That part of Lot 14, in HIGH VIEW, being a Subdivision of part of Government Lot 4, in the Southwest Fractional 1/4 of Section 21, in Township 8 North, Range 22 East, in the Village of Fox Point, Milwaukee County, Wisconsin bounded and described as follows: Commencing at the Southwest corner of said Lot 14; running thence East along the South line of said Lot 14, 4.09 feet to a point; thence North at right angles to the South line of said Lot 14, 39.66 feet to a point in the Westerly line of said Lot 14; thence Southwesterly along the Westerly line of said Lot 14, 39.87 feet to the place of commencement. Also, Lot 15, in HIGH VIEW, being a Subdivision of a part of Government Lot 4, in the Southwest Fractional 1/4 of Section 21, in Township 8 North, Range 22 East, in the Village of Fox Point, Milwaukee County, Wisconsin, except that part thereof bounded and described as follows: Commencing at the Northeast corner of said Lot 15; running thence West along the North line of said Lot 15, 4.09 feet to a point; thence South at right angles to the North line of said Lot 15, 39.65 feet to a point in the Easterly line of said Lot 15; thence Northeasterly along the Easterly line of said Lot 15, 39.86 feet to the place of commencement.

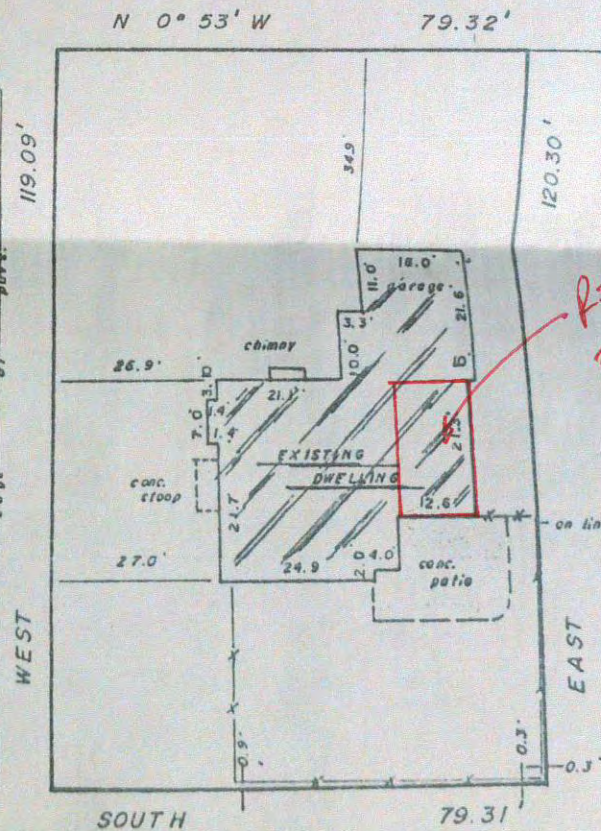
Survey location: 304 E. School Road

Buyer: Ray W. & LeNay D. Anderson

SANTA MONICA BLVD.

60' WIDE

E. SCHOOL RD.



REPAIR/REBUILD
EXISTING SUNROOM
W/ KNUST ROOF ONLY
(SAME FOOTPRINT)

SCALE 1" = 30'

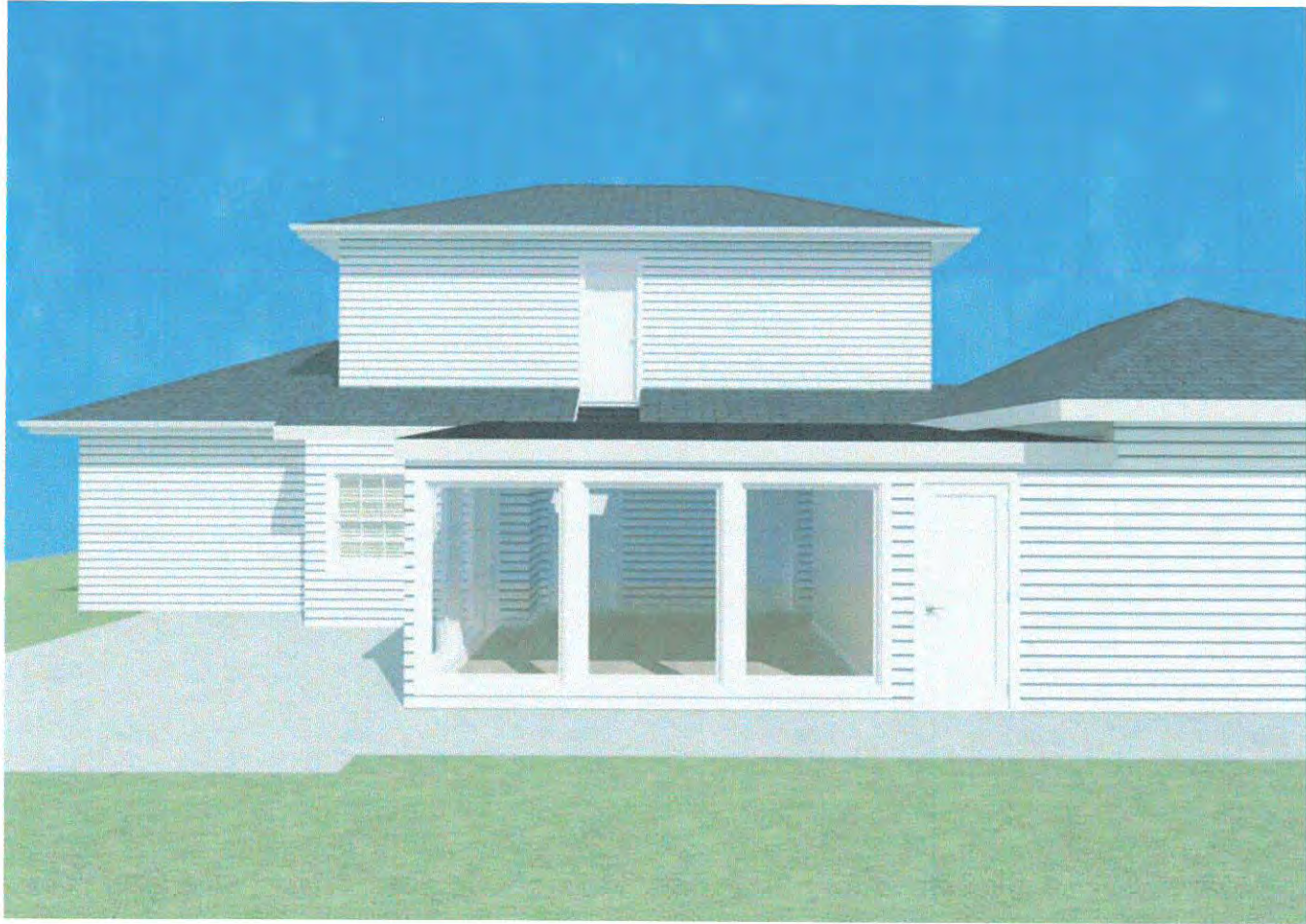
Surveyed for: KNUSTON MORTGAGE CORP.

"I hereby certify that I have surveyed the above described property and that the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and encroachments, if any.

"This survey is made for the use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one year from date hereof."

MONUMENTATION BY WRITTEN AGREEMENT WITH THE ABOVE NAMED CLIENT (HAS NOT) BEEN WAIVED IN ACCORDANCE WITH A-E 8.01 (1) (b) OF THE WISCONSIN ADMINISTRATIVE CODE

"THIS IS NOT AN ORIGINAL SURVEY UNLESS THIS SEAL IS RED."



DAN HURTH,
304 E. SCHOOL RD,
FOX POINT, WI 53217



Sheet Index		
Label	Title	Comments
T100	Title Page	
A100	Floor Plan	
A200	Framing Plan	
A300	Elevation	
A400	Demolition Plan	
A500	Details and Notes	
R100	Renderings	

GENERAL NOTES:

1. CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWING NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING AND SCAFFOLDING, BRACING, ERECTION, FORMWORK, ETC.) FOR COORDINATION OF THE VARIOUS TRADES FOR SAFE CONDITIONS ON THE JOB SITE AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.

2. VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE CONTRACTOR. WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE CONTRACTOR IS OBTAINED.

3. THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ECT., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.

4. OWNER/DESIGNER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ECT. ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND ONLY SHOP DRAWINGS STAMPED BY THE OWNER WILL BE ALLOWED AT THE JOB SITE.
5. UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.

6. ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE CONTRACTOR AGAINST ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND TRADES.

7. SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, EQUIPMENT PADS, DEPRESSIONS, CURBS, FLOOR FINISHES, INSERTS, AND OTHER EMBEDDED ITEMS.

8. UNLESS OTHERWISE SHOWN OR NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHORS BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.

9. THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS.

10. ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.

GENERAL NOTES AND SPECIFICATIONS

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IBC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.
2006 IEC AND 2006 IMC SHALL BE USED.
THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

THE VARIOUS MECHANICAL CONTRACTORS ARE RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE VARIOUS MECHANICAL CONTRACTORS SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

DESIGN CRITERIA: 2006 IRC AND IBC
ROOF: 50 PSF SNOW LOAD
8 PSF TOP CHORD DL.
7 PSF BOTTOM CHORD DL.
5 PSF NET WIND UPLIFT.
FLOOR: 40 PSF LL.
10 PSF TOP CHORD DL.
5 PSF BOTTOM CHORD DL.
SOIL: 2,000 PSF ALLOWABLE (ASSUMED). TO BE AT TIME OF EXCAVATION
FROST DEPTH: 4'-0"
WIND: 90 MPH (90 MPH 3 SEC GUST), EXPOSURE C.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.



DAN HURTH,
304 E. SCHOOL RD,
FOX POINT, WI 53217

DRAWN BY: FIDELITY DESIGN STUDIO
DESIGN CONSULTANT: Josiah McDonald
LATEST REVISION DATE: 2/3/2023

REVISIONS

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DRAWING

TITLE PAGE

SHEET

T100

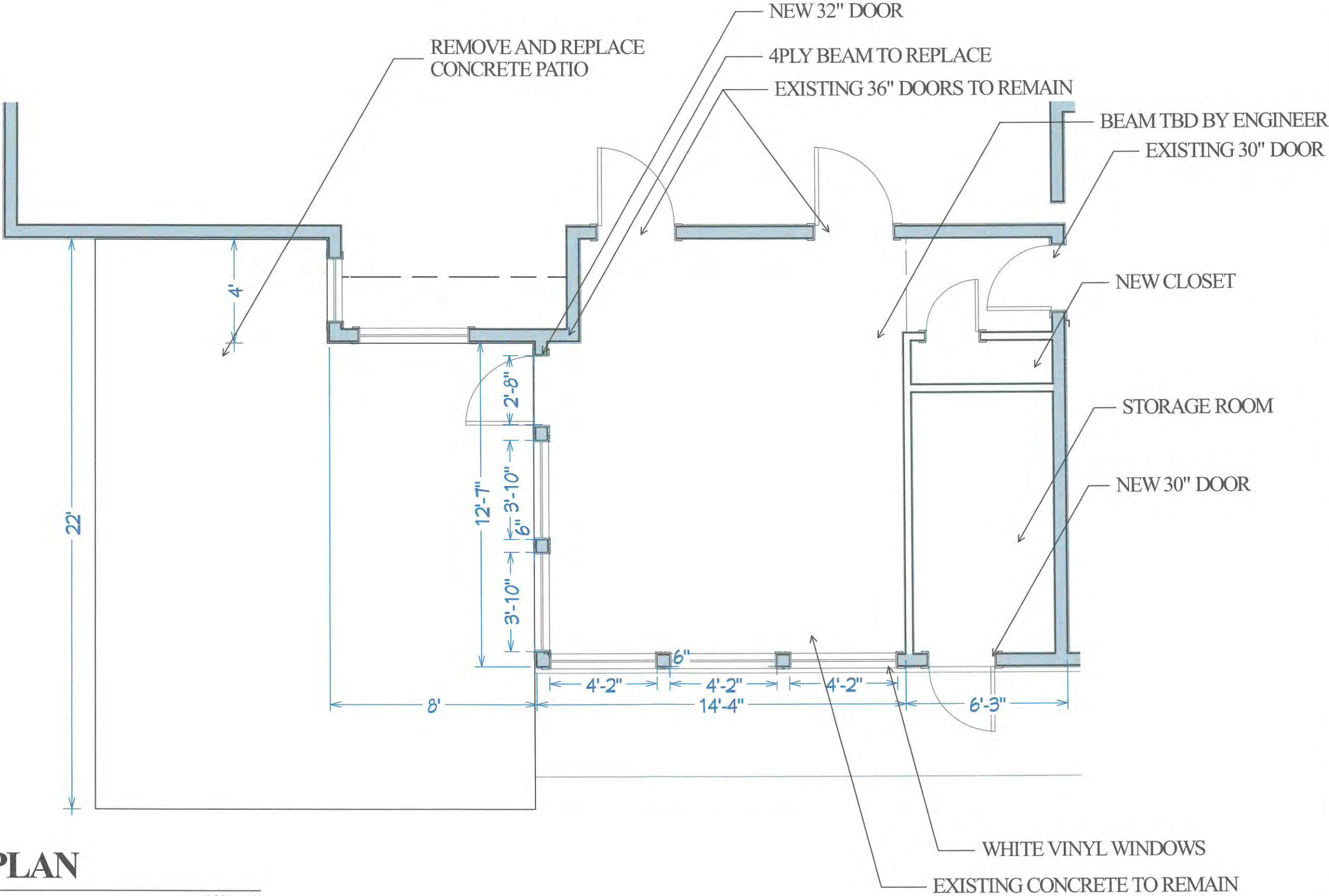
DATE

SIGNATURE

APPROVAL PRINT

FLOOR PLAN

1/4" = 1'



DAN HURTH,
304 E. SCHOOL RD,
FOX POINT, WI 53217

DRAWN BY FIDELITY DESIGN STUDIO
DESIGN CONSULTANT Josiah McDevitt
LATEST REVISION DATE 2/3/2023

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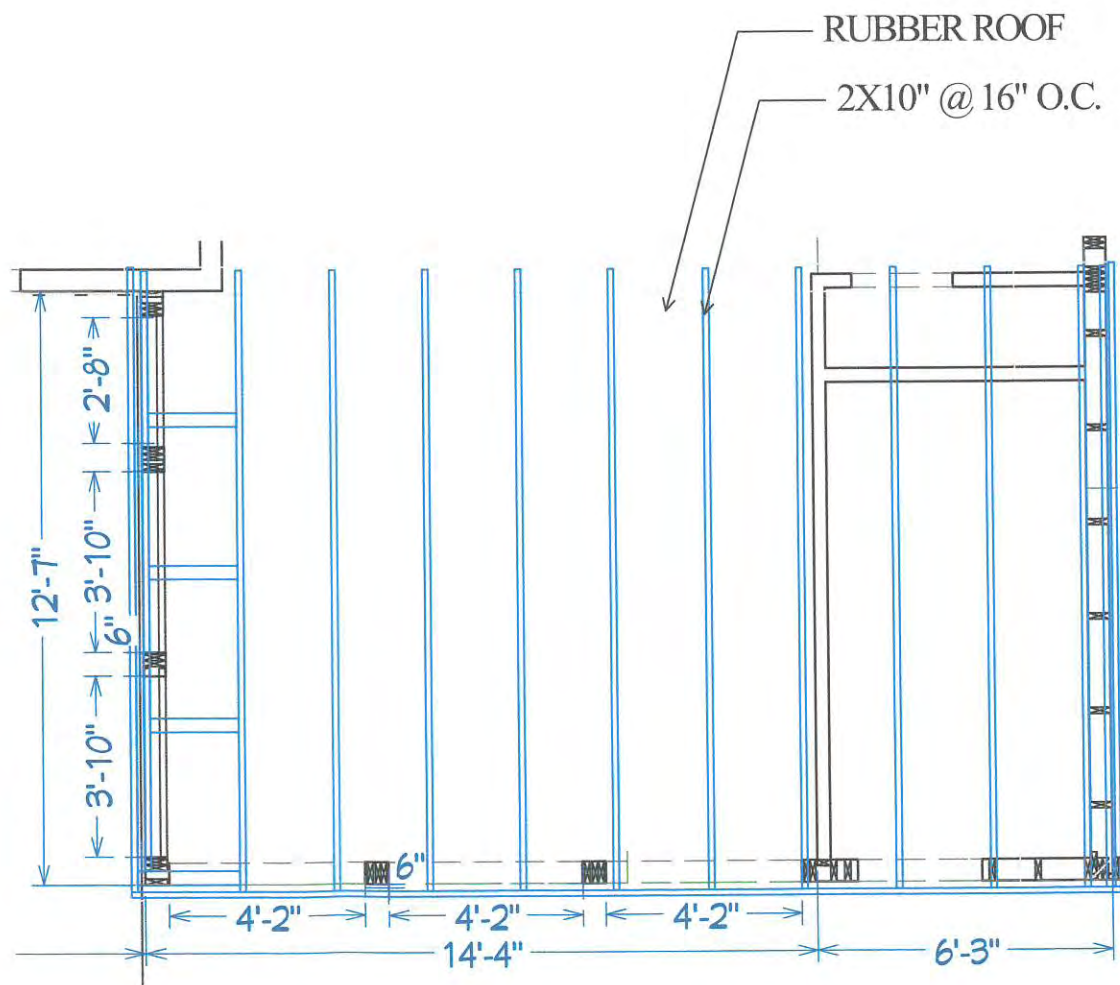
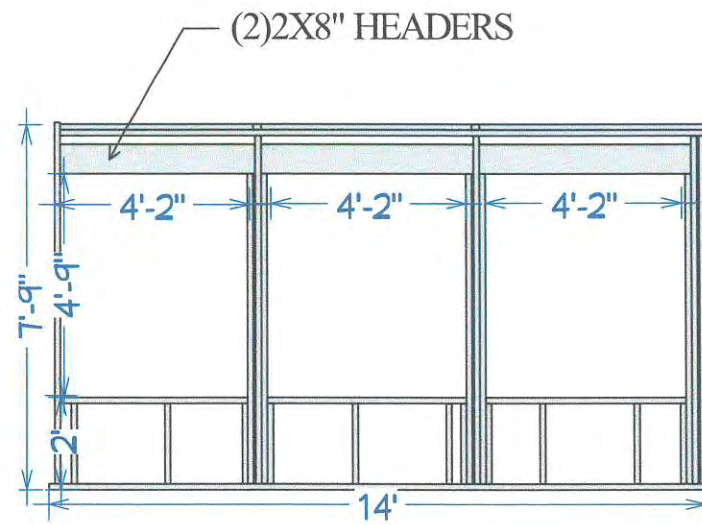
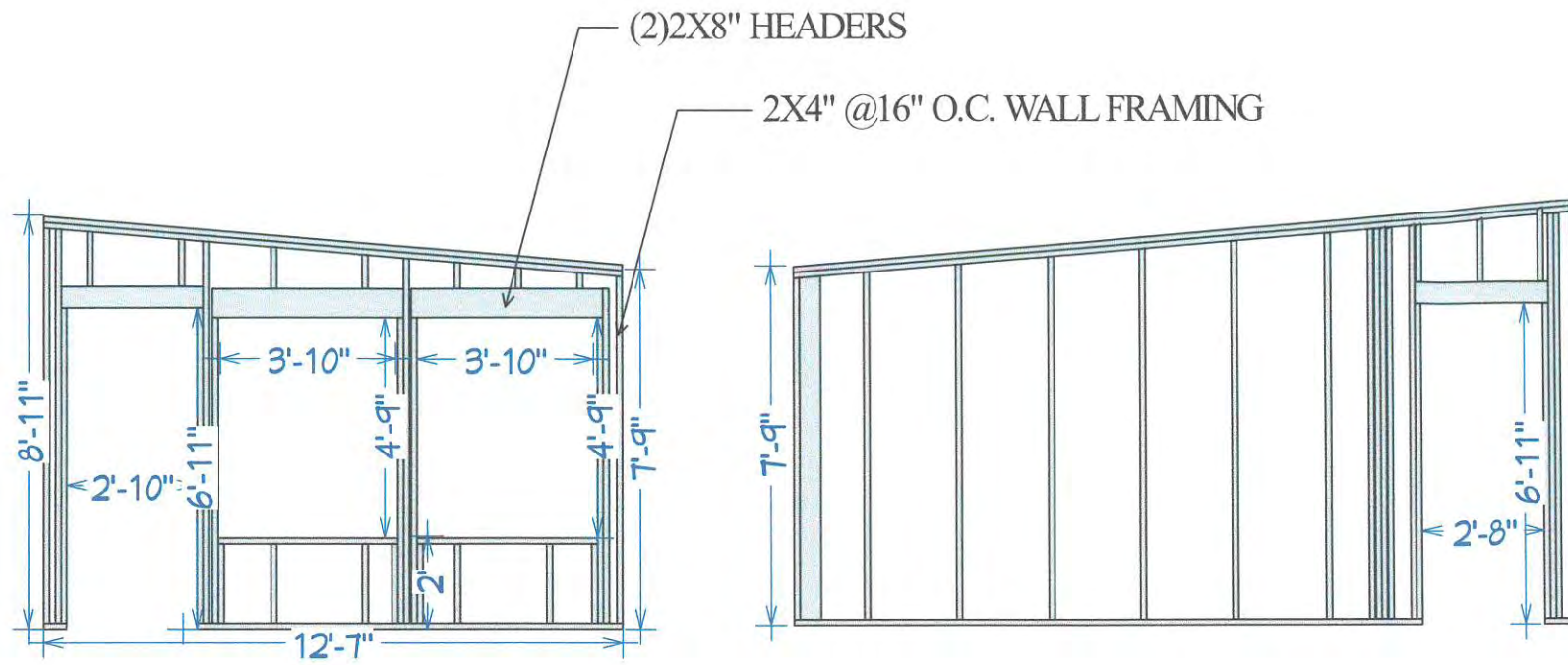
DRAWING
FLOOR PLAN

SHEET
A100

DATE

SIGNATURE

APPROVAL PRINT



FRAMING PLAN

1/4" = 1'



DAN HURTH,
304 E. SCHOOL RD,
FOX POINT, WI 53217

DRAWN BY: FIDELITY DESIGN STUDIO
DESIGN CONSULTANT: Joshua McDonald
LATEST REVISION DATE: 2/3/2023

REVISIONS

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DRAWING
FRAMING PLAN

SHEET
A200

DATE: _____ SIGNATURE: _____ APPROVAL: _____ PRINT: _____



ELEVATION

1/4" = 1'



DAN HURTH,
304 E. SCHOOL RD,
FOX POINT, WI 53217

DRAWN BY FIDELITY DESIGN STUDIO
DESIGN CONSULTANT Josiah McDonald
LATEST REVISION DATE 2/3/2023

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DRAWING

ELEVATION

SHEET

A300

DATE

SIGNATURE

APPROVAL PRINT



TEAR OUT EXISTING SUNROOM AND HAUL AWAY

DEMOLITION PLAN

1/4" = 1'



DAN HURTH,
304 E. SCHOOL RD,
FOX POINT, WI 53217

DRAWN BY FIDELITY DESIGN STUDIO
DESIGN CONSULTANT Josiah McDonald
LATEST REVISION DATE 2/5/2023

REVISIONS	

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DRAWING
DEMOLITION
PLAN

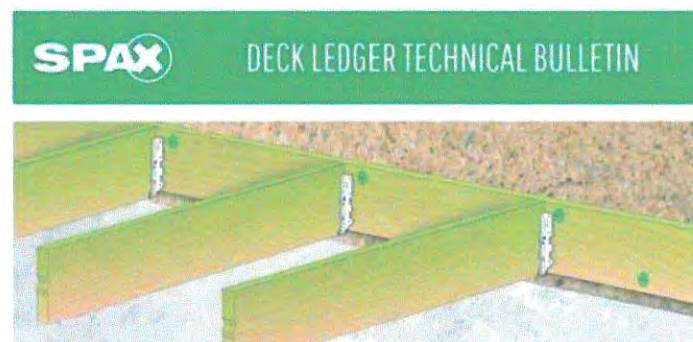
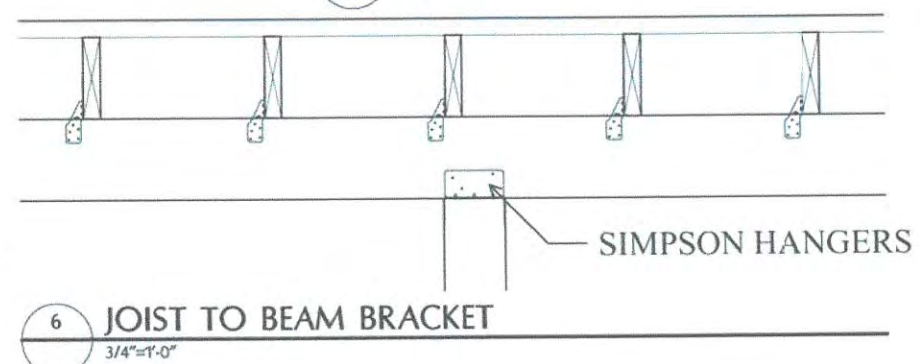
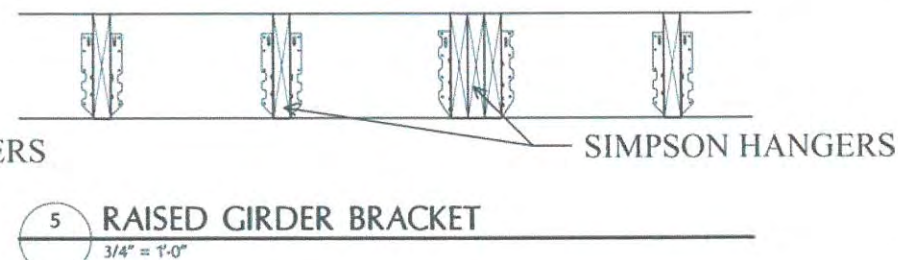
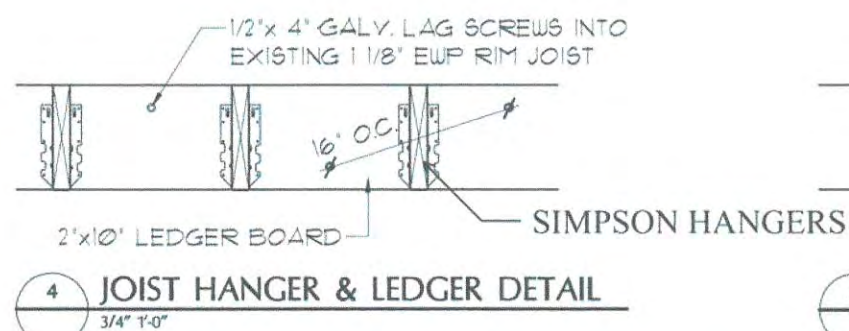
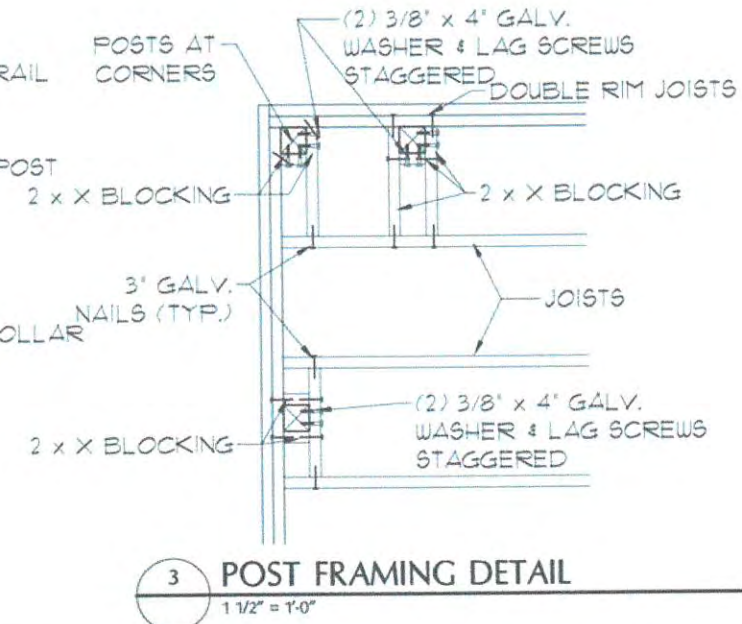
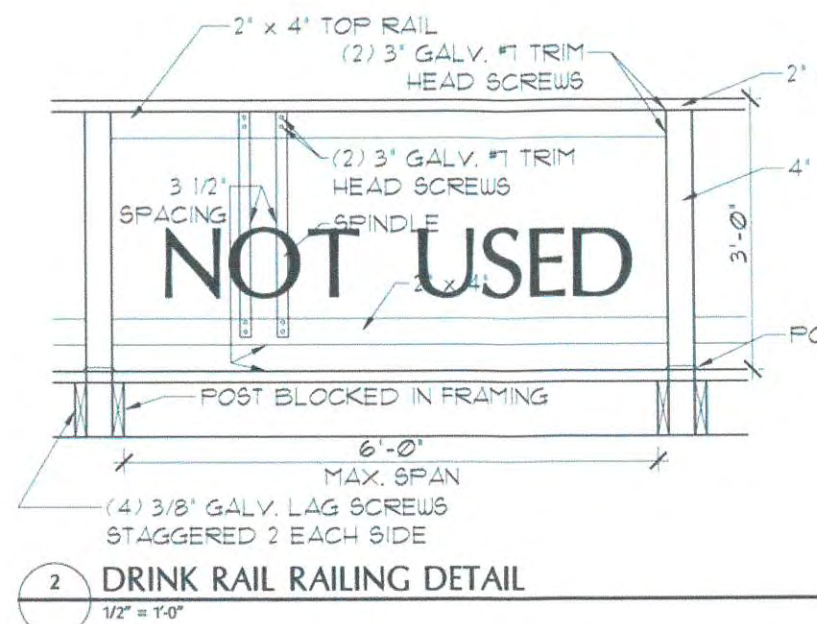
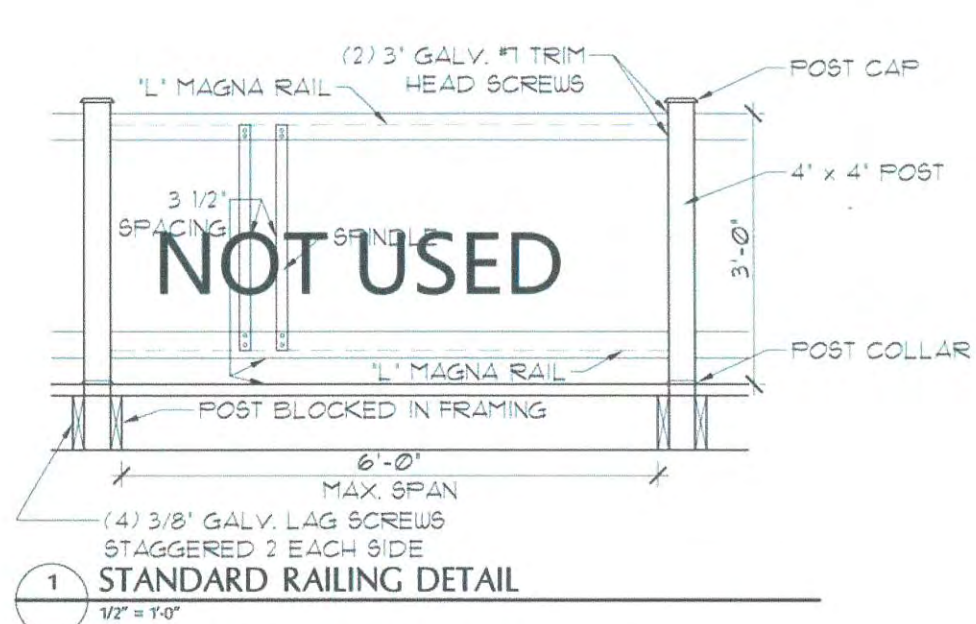
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DATE

SIGNATURE

APPROVAL PRINT



DECK LEDGER FASTENING SOLUTION WITH SPAX® POWERLAGS®

SPAX 5/16" PowerLag fasteners have been tested for use in the attachment of deck ledger boards to the building structure to provide prescriptive solutions that are equivalent to the International Residential Code provisions for deck ledger attachment. When installed per this technical bulletin, SPAX 5/16" PowerLag fasteners can be used in place of 1/2" lag screws as described in Table R507.9.1.3(1) of the 2018 IRC.

PRODUCT FEATURES

- * Code listed per ICC ESR-1782 & Div TER No. 1711-01.
- * Patented thread technology requires no pre-drilling, and drives faster and easier than conventional lag screws.
- * Two head types to choose from:
 - o Hex Washer Head
 - o T-Star Washer Head
- * HCR® Coating has been tested to ICC-ES standards (AC208.7) and has proven to be equivalent to code approved hot-dip galvanized coatings. HCR is suitable for many preservative-treated woods and exterior applications.
- * Fastener length on head provides easy identification.

INSTALLATION INSTRUCTIONS

- 1) Select the preferred head style and appropriate length PowerLag fastener to ensure the threads fully engage the band joint and the fastener tip extends beyond the back face of the band joint.
- 2) Using a 1/2" low rpm/high torque electric drill and appropriate driver bit, install the PowerLag through the ledger and sheathing into the band joint until the built-in washer is drawn firm and flush to the ledger board. Do not overdrive.
- 3) Stagger the PowerLag fasteners from top to bottom along the length of the ledger while maintaining the required spacing, edge and end distances as found in Figure 2 and Table 1.



DECK LEDGER TECHNICAL BULLETIN

SPAX

Table 1

Loadings Conditions	Fastener Type	Fastener Length	Min. Nomin. Ledger Spacing	Board Joist Material	Up to 6	Up to 8	Maximum Deck Joist Spacing	Up to 12	Up to 14	Up to 16	Up to 18
					16	16	Maximum On-Center Spacing of PowerLug® Fasteners	12	11	10	
					25	25		13	11	10	
					7	16		12	11	9	
					25	25		11	9	8	
					25	22		12	10	8	
					25	19		13	11	10	
					16	16		10	9	8	
					16	15		11	9	8	
					25	13		11	9	8	
					12	12		10	9	7	
					25	13		11	9	8	
					11	10		8	7	6	
					25	13		10	8	7	
					11	10		9	8	7	
					25	13		10	8	7	
					11	10		9	8	7	

Footnotes:

- Based on load requirements for a 10' span and a 10' acceptable load duration as specified in NDS 2015.
- Fasteners are required to have full embedment into the main member.
- Fasteners shall be staggered from the top to the bottom along the length of the ledger while maintaining the required edge and end distances as shown in Figures 1 and 2.
- A maximum 1/2" structure sheathing, fastened per code, may be substituted between the ledger and the board joist.
- Multiple ledger pairs shall be fastened together per code and independent of the 5/8" PowerLug.
- Minimum ledger board requirements: 1-1/2" thick by 1-1/2" depth. Must be greater than or equal to the depth of the deck joist and no greater than the depth of the board joist.
- Solid steel ledger shall be HF/SF or TSP shapes (specific gravity of 0.42 and 0.50 respectively), designed by others.
- Minimum board joist requirements: SPS (specific gravity of 0.42) solid sawn lumber: 1-1/2" thick and 7-1/2" depth. Engineered Wood Product (EWPP) 1" thick by 7-1/4" depth.
- Fastener spacing for all fasteners is based on tested loads. The design values use the value of a 1/8" deflection or a factor of safety equivalent to or greater than that of the code-compliant lag screw application.
- Fastener spacing for 5/8" fasteners is based on previously published reference design values.

- For guidance on designing a deck ledger to their connection where a bolted joint is not used, see SBCA's Tech Note, "Attachment of Residential Deck Ledger to Metal Plate Connected Wood Floor Joists" available at www.sbcacenter.com.
- Attachment of a deck ledger to concrete or CMU requires using PowerLugs to create the proper tie into the structural member.
- This technical bulletin is subject to periodic review and updates. For the latest current version, visit www.spax.us.
- For a comprehensive review of SPAX PowerLugs for use in deck ledger attachment, please see "100 TDS 100, 171-1-01" available at www.drawingproject.com.

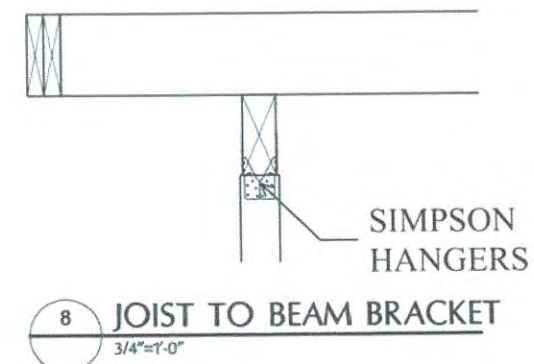
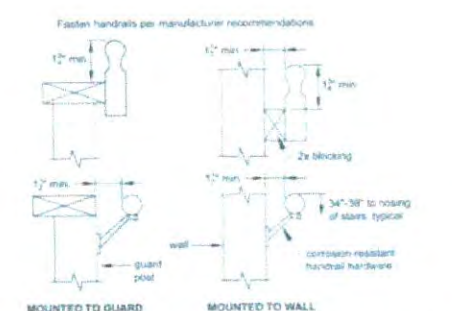
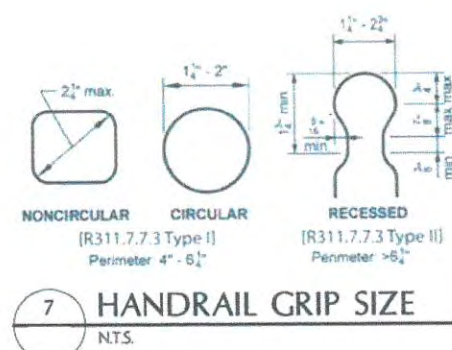
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ASTM INTERNATIONAL & CO. U.S.A. INC.

10017-01 Warnings, Caution, Note, Important, and Other Notices for the User of this Bulletin

ICC-ES

Dri-Drain

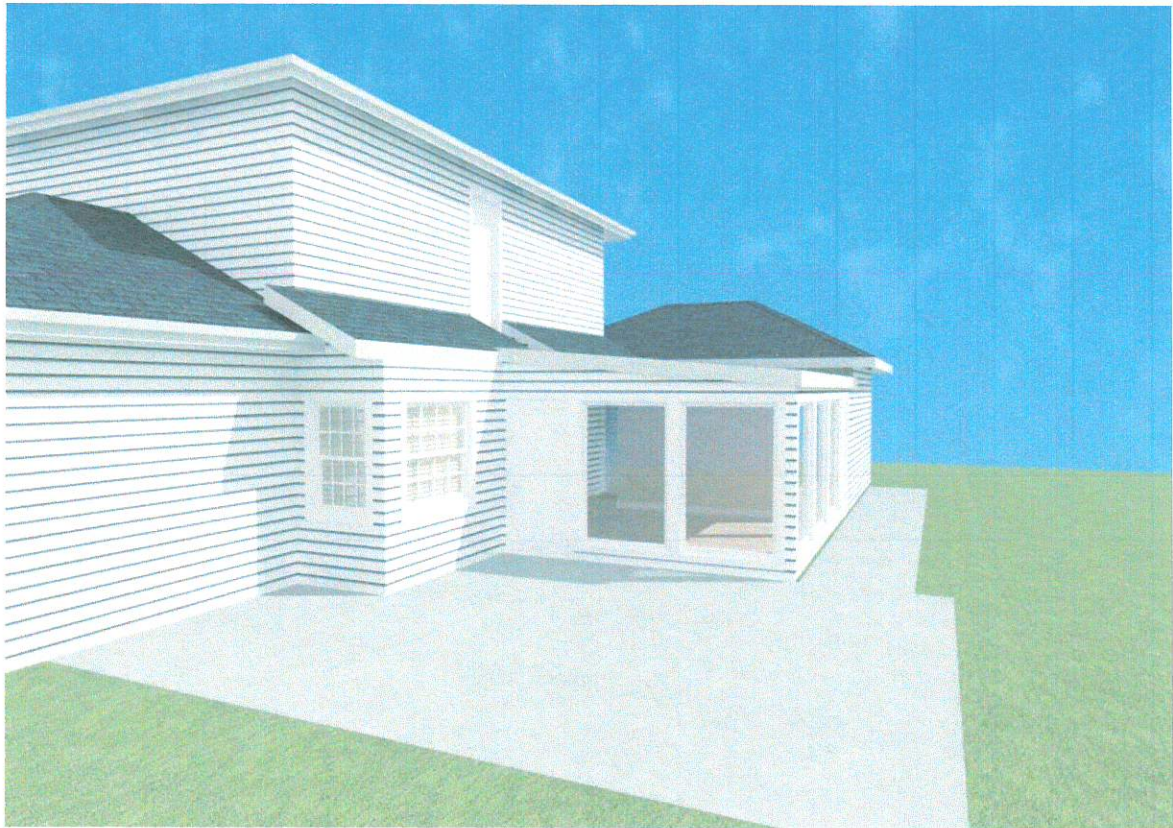


DESIGN NOTE:

DESIGNED PER PAR (1)
OF SPS 321.225 DECKS

SMOKING NOTE:

ABSOLUTELY NO
SMOKING ON JOBSITE



RENDERINGS

N.T.S.



DAN HURTH,
304 E. SCHOOL RD,
FOX POINT, WI 53217

DRAWN BY FIDELITY DESIGN STUDIO
DESIGN CONSULTANT Joshua McDaniel
LATEST REVISION DATE 2/3/2023

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DRAWING

RENDERINGS

SHEET

R100

DATE

SIGNATURE

APPROVAL PRINT

**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:**B-****OFFICE USE ONLY**

Issued Date

Zoning

BUILDING PERMIT

Job Address	7705 N Lake Dr	Building Type: Residential ☒ Commercial ☐
Description of Work	CREATE PEAKED/GABLED NEW FRONT ENTRY AND SEAT WALL AND NEW Roof Structure over attached garage	
Estimated Cost of Project \$	48,000	

Owner/Occupant	
Business Name	Contact Name Jay Schmidt
Address 7705 N Lake Dr	City/State/Zip Fox Point WI 53217
Phone 414-517-7716	Email jayschmidt@kiv.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name	Contact Name
Address	City/State/Zip
Phone	Email
Dwelling Contractor #	Dwelling Contractor Qualifier #

Square Footage Under Construction

1 st Floor	2 nd Floor	Basement	Addition	Garage
-----------------------	-----------------------	----------	----------	--------

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	\$480
Building Board	\$75.00	\$75
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$

Applicant Signature

Rev 01/22

Date

3/13/23

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.058871

Mar 13, 2023

7705 N Lake Dr

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	
LICENSES & PERMITS - BUILDING PERMIT	480.00
24-44460 BUILDING PERMIT	

Total:	555.00
--------	--------

CHECK	Check No: 2555	75.00
Payor: JB3 Enterprises Inc		
CHECK	Check No: 2554	480.00
Payor: JB3 Enterprises Inc		

Total Paid:	555.00
-------------	--------

Total Applied:	555.00
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Change Tendered:	.00
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Duplicate Copy

03/13/2023 3:13 PM



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Jay Schmitt

Homeowner's Name – PRINTED

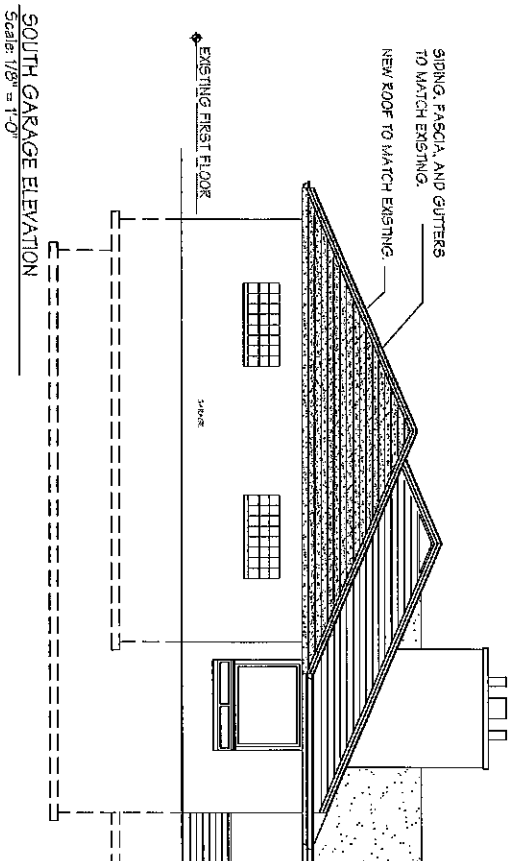
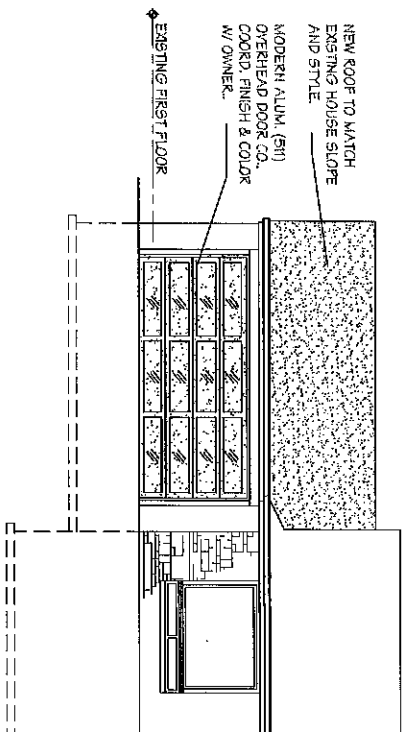
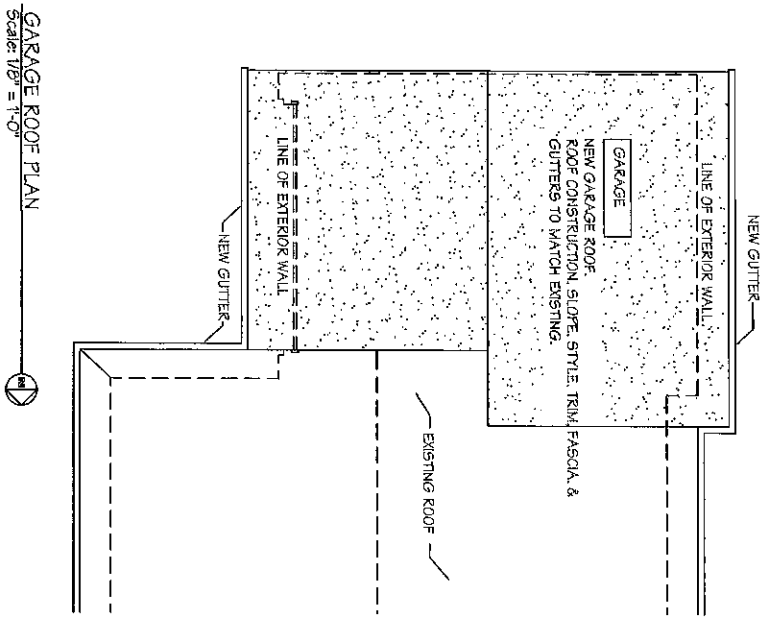
7705 N Lake Dr

Property Address

Homeowner's Signature

3/13/23

Date



GENERAL NOTES:
 1. DRAWINGS ARE INTENDED FOR DESIGN PURPOSES ONLY; THEY WERE NOT EVALUATED BY A STRUCTURAL ENGINEER. OWNERS ARE RESPONSIBLE FOR COORDINATING REVIEW OF DRAWINGS BY A STRUCTURAL ENGINEER.

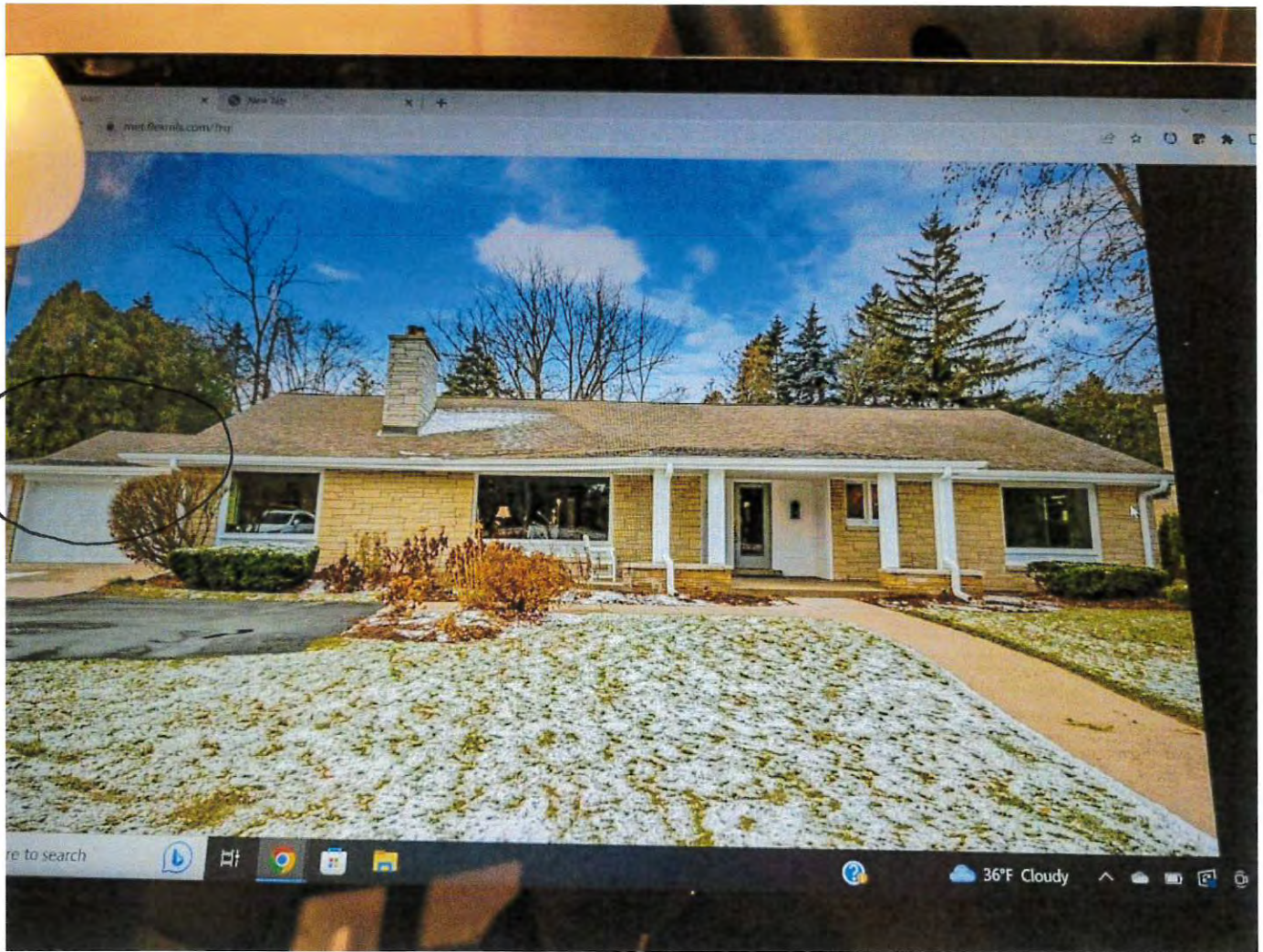
- OWNERS & THEIR CONTRACTORS TO OBTAIN NECESSARY PERMITS.
- CONTRACTORS ARE TO FOLLOW ALL STATE & LOCAL CODES.
- STRUCTURAL, ELECTRICAL, PLUMBING, & HVAC IS TO BE DESIGN BUILT BY CONTRACTORS.
- WINDOW INFORMATION IS FOR DESIGN REPRESENTATION ONLY. OWNER TO COORDINATE WINDOW SPEC WITH SALE REP. AND INSTALLER.

SCHMIDT RESIDENCE
 7705 N. LAKE DRIVE
 FOX POINT WI

SHEET TITLE:
 GARAGE ROOF PLAN & ELEVATIONS

SHEET NO.: 1

MARCH 14, 2023







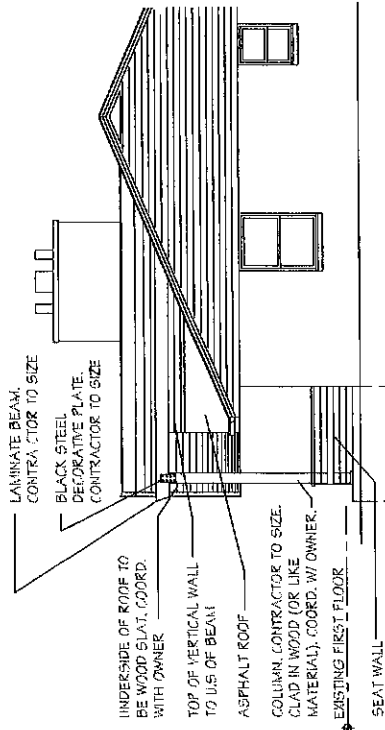




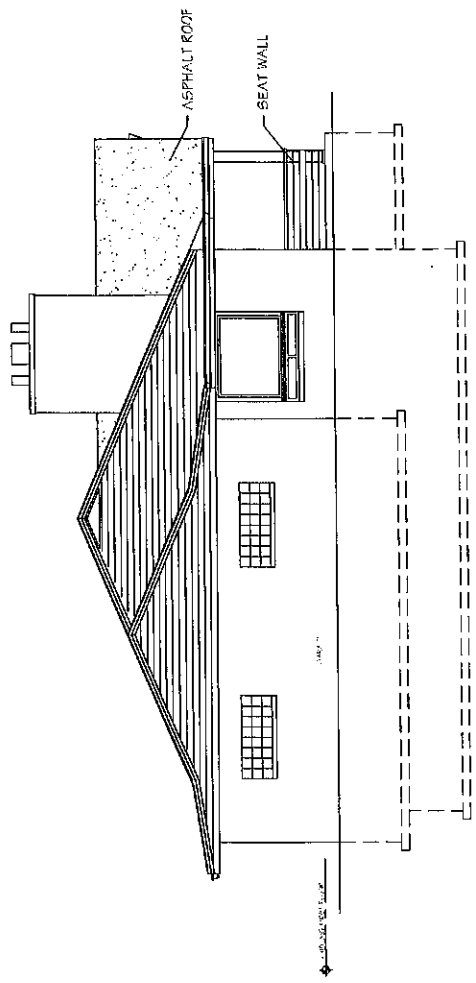
Inspiration

- SIMILAR WOOD TONE - HPE WOOD
- NO BLACK TRIM
- SEAT WALL IN SAME HPE WOOD

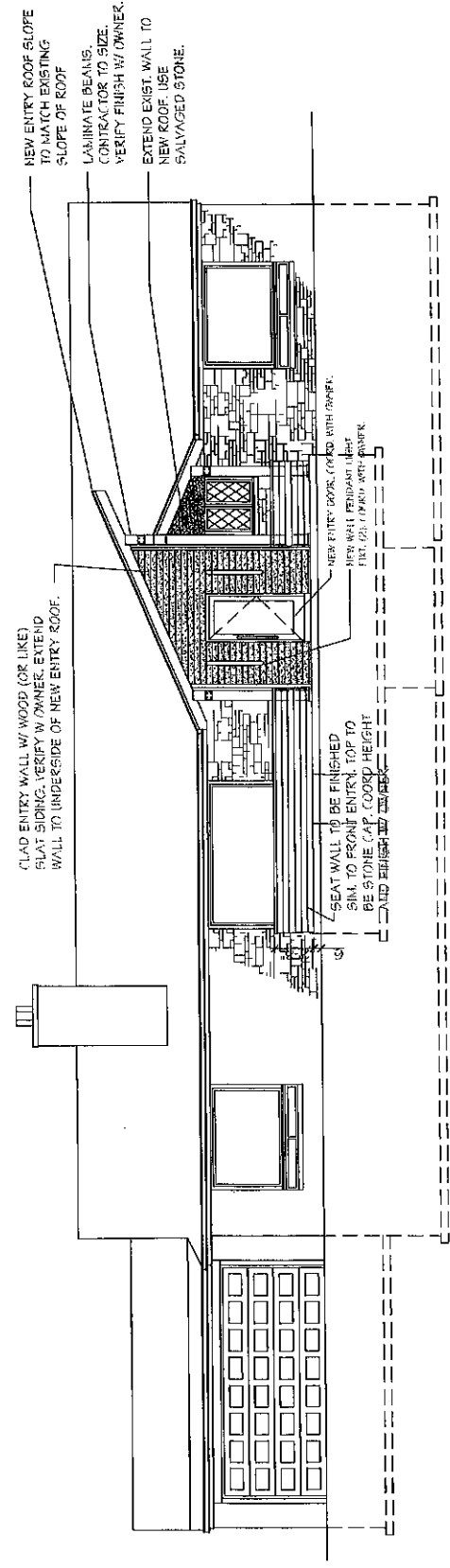




FRONT ENTRY - PARTIAL NORTH ELEVATION
Scale: 1/8" = 1'-0"



FRONT ENTRY - PARTIAL SOUTH ELEVATION
Scale: 1/8" = 1'-0"



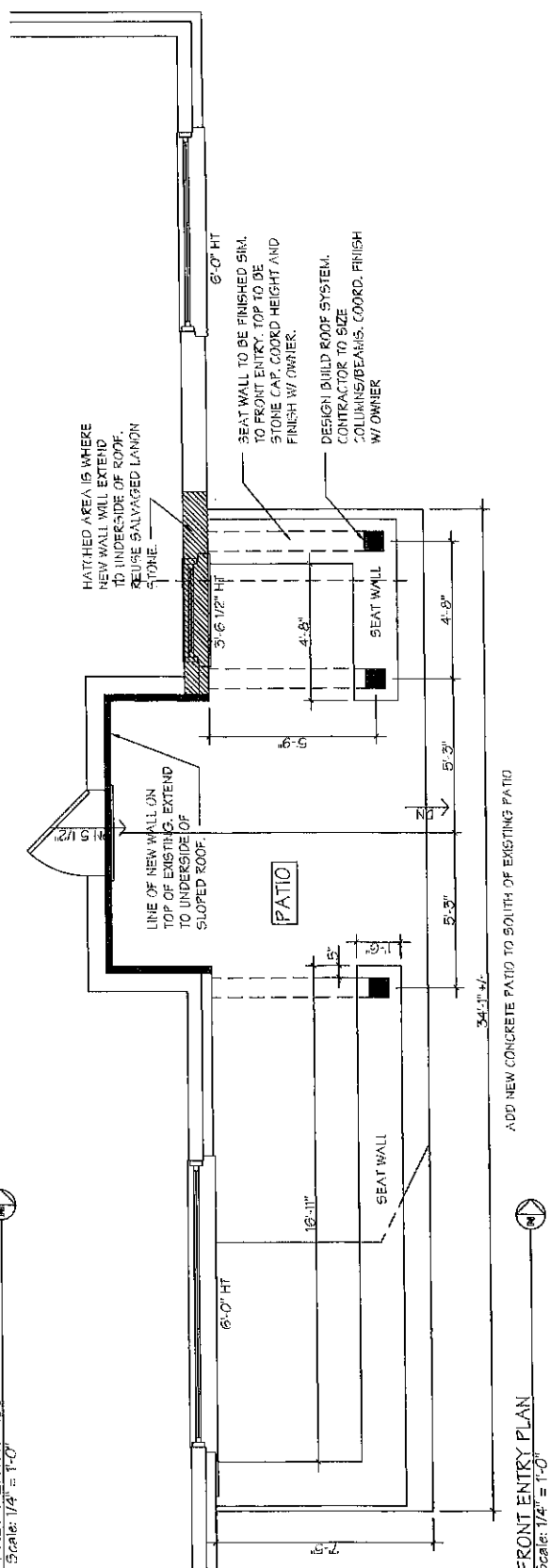
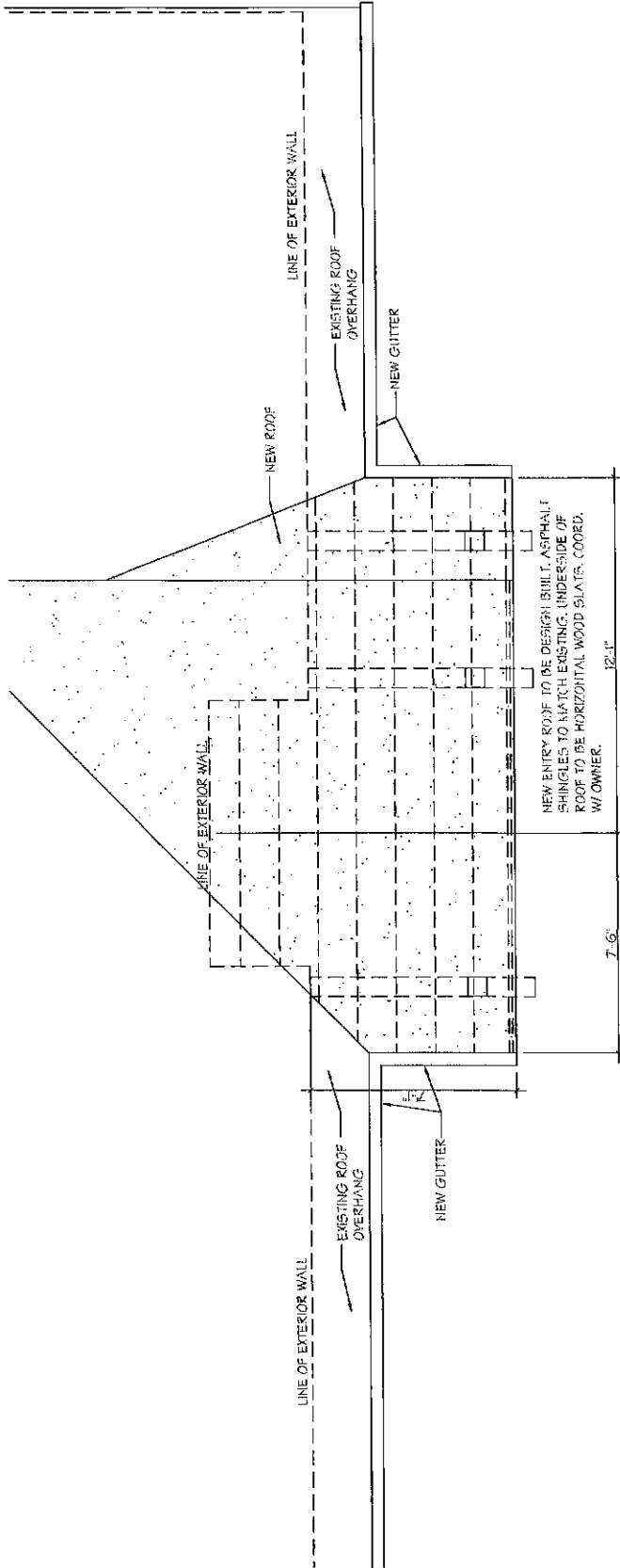
FRONT ENTRY - PARTIAL EAST ELEVATION
Scale: 1/8" = 1'-0"

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 3. CONTRACTORS ARE TO FOLLOW ALL STATE & LOCAL CODES.
 4. STRUCTURAL, ELECTRICAL, PLUMBING, & HVAC IS TO BE DESIGN BY CONTRACTORS.
 5. WINDOW INFORMATION IS FOR DESIGN REPRESENTATION ONLY. OWNER TO COORDINATE WINDOW SPEC. WITH SALE REP. AND INSTALLER.

SCHMIDT RESIDENCE
7705 N. LAKE DRIVE
FOX POINT WI

SHEET TITLE:
FRONT ENTRY PARTIAL ELEVATION

SHEET NO.:
MARCH 8, 2023
2



GENERAL NOTE(S):
1. DRAWINGS ARE INTENDED FOR DESIGN PURPOSES ONLY. THEY WERE NOT EVALUATED BY A STRUCTURAL ENGINEER. OWNERS ARE RESPONSIBLE FOR COORDINATING REVIEW OF DRAWINGS BY A STRUCTURAL ENGINEER.

2. OWNERS & THEIR CONTRACTORS TO OBTAIN NECESSARY PERMITS.

3. CONTRACTORS ARE TO FOLLOW ALL
STATE & LOCAL CODES.

4. STRUCTURAL ELECTRICAL,
PLUMBING, & HVAC IS TO BE DESIGN
BUILT BY CONTRACTORS.

5. WINDOW INFORMATION IS FOR DESIGN REPRESENTATION ONLY. OWNER TO COORDINATE WINDOW SPEC WITH SALE REP AND INSTALLER.

SCHMIDT RESIDENCE
7705 N. LAKE DRIVE
FOX POINT WA

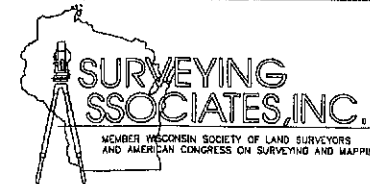
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FRONT ENTRY PLAN & ROOF PLAN

GN : 7.2.16

MARCH 8, 2023

1



2554 N. 100TH STREET
P.O. BOX 26596
WAUWATOSA, WISCONSIN 53226
(414) 257-2212 FAX: (414) 257-2443

FREDERICK W. GHIBILSKI R.L.S.

PLAT OF SURVEY

That part of Lot 6 in the Northwest 1/4 of Section 16, Town 8 North, Range 22 East, in the Village of Fox Point, Milwaukee County, Wisconsin, which is bounded and described as follows: Commencing at a point which is in the East and West 1/4 Section line 473.00 feet North 89° 56' 00" West of the center of said Section 16; thence North 00° 14.5' 00" East 825.00 feet to a point which is the point of beginning of the land to be described; thence North 00° 14.5' 00" East 110.00 feet to a point; thence South 89° 56' 00" East 172.82 feet to a point in the center line of Fox Point Road which is 88.00 feet in width; thence South 08° 51' 00" East and along the center line of said Fox Point Road 111.35 feet to a point; thence North 89° 56' 00" West 190.14 feet to the place of beginning. EXCEPTING THEREFROM for highway purposes that portion of said premises which lies within the boundaries of said Fox Point Road.

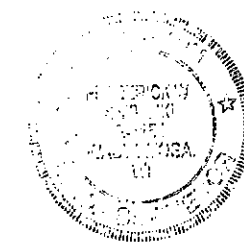
Address: 7705 North Lake Drive

Note: Legal description not provided by client. Above legal from prior survey by National Survey & Engineering, Survey No. 53901-M, September 8, 1980.

LEGEND

- ⊙ - DENOTES FOUND IRON PIN
- - DENOTES FOUND IRON PIPE
- - DENOTES SET IRON STAKE
- ⊕ - DENOTES UTILITY POLE
- ⊞ - DENOTES GAS METER
- ⊞ - DENOTES ELECTRIC METER
- E - DENOTES OVERHEAD ELECTRIC
- - DENOTES CHAIN LINK FENCE
- - DENOTES WOOD FENCE
- P/L - DENOTES PROPERTY LINE

BUILDING SETBACKS PER FOX PT.
SIDE: NOT LESS THAN 10'
REAR: NOT LESS THAN 20'



NOTE: THIS IS NOT AN ORIGINAL SURVEY UNLESS THIS SEAL IS RED.

Surveyed for: RUMIN BROS. ARTISANS AND TRADES

'I have surveyed the above described property from the legal description furnished by the client noted on this survey.'
'This survey is made for the use of the present owners of the property, and those who purchase, mortgage, or guarantee the title thereto within one year from date hereof.'

Frederick W. Ghibilski
WISCONSIN REGISTERED LAND SURVEYOR

MAY 22, 2012
DATE

MCP/MTK
FIELD WORK BY

JTY
DRAWN BY

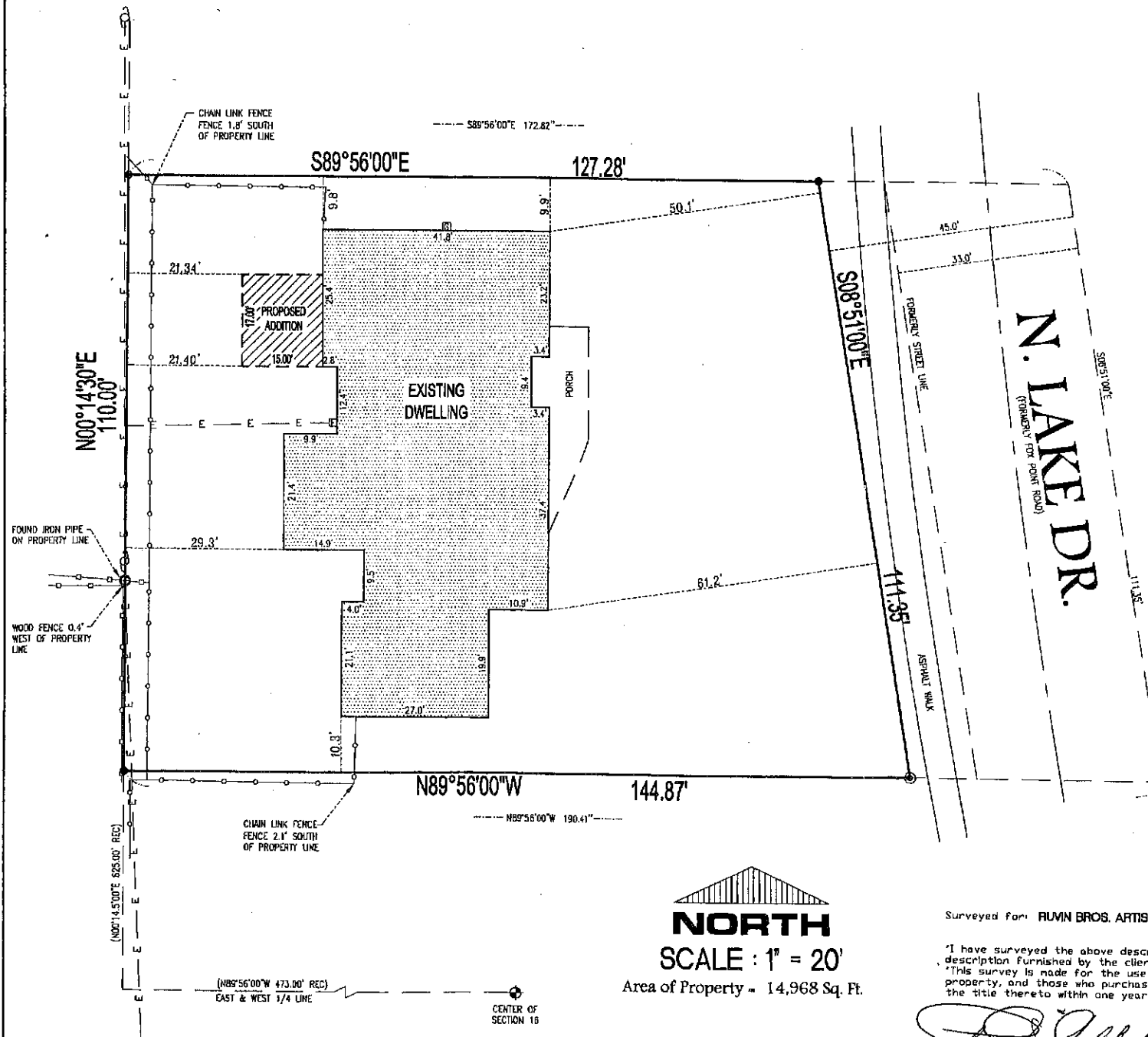
33751
JOB NUMBER

NORTH

SCALE: 1" = 20'

Area of Property = 14,968 Sq. Ft.

CENTER OF SECTION 16





VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B-_____

OFFICE USE ONLY
Issued Date
Zoning

BUILDING PERMIT

Job Address 175 W Blackhawk Rd, Fox Point, WI 53217	Building Type: Residential ☒ Commercial ☐
Description of Work	
Installation of 12.09 Solar PV Panels, grid-tied, and roof penetrating.	
Estimated Cost of Project \$ 51,773.50	

Owner/Occupant Jennie Stoltz	
Business Name	Contact Name
Address 175 W Blackhawk Rd, Fox Point, WI 53217	City/State/Zip
Phone (414) 305-9735	Email jennie.stoltz@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Tron Solar LLC	Contact Name Chris Wright
Address 950 Corporate Woods Pkwy, Vernon Hills, IL, 60061	City/State/Zip
Phone 224-628-6832	Email permitting@tron.solar
Dwelling Contractor # DC-092101024	Dwelling Contractor Qualifier # DCQ-092101010

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition 652sqft	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	
Building Board	\$75.00	75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$

Applicant Signature Chris Wright **Date** 3/24/2023

Rev 01/22

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

E- _____

OFFICE USE ONLY

Issued Date

ELECTRICAL PERMIT

Job Address 175 W Blackhawk Rd, Fox Point, WI	Building Type: Residential ☒ Commercial ☐
Description of Work Installation of 12.09Kw Solar PV Panels, grid-tied, and roof penetrating	
Owner/Occupant Name Jennie Stoltz	Phone Number (414) 305-9735

Contractor	
Company Name Tron Solar LLC	Master Electrician Name Preston Fewkes
Address 950 Corporate Woods Pkwy, Vernon Hills, IL	City/State/Zip
Phone 224-628-6832	Email permitting@tron.solar
Master Electrician License Number 1528668	Electrical Contractor Number 1540317

Description	Rate	Qty	Amount
Devices (fixtures, switches, receptacles, luminaries, etc.)	\$1.00		
Range, disposal, dishwasher, clothes dryer, water heater	\$10.00		
LED, HID, mercury, sodium, metal halide, etc.	\$5.00		
Exhaust and ventilation fans	\$5.00		
Heating equipment (furnace, boiler)	\$15.00		
Space heating system, base board	\$5.00		
Air conditioner, refrigerating equipment	\$15.00		
Feeders, sub feeder, sub panel	\$15.00		
Service switch or disconnect switch	\$5.00		
Services per 100 amp Service Size: _____ amps	\$30.00		
Generator, transformers	\$30.00		
Swimming pools, spa, hot tub	\$60.00		
Motors over ¼ hp	\$5.00		
Fuel dispensing equipment	\$50.00		
Signs, illuminated	\$35.00		
Smoke/CO detectors	\$3.00		
Machines, motion picture, X-ray, welders, etc.	\$30.00		
Pole mounted fixtures	\$10.00		
Whirlpool tubs	\$30.00		
Fire alarm systems	\$60.00		
Temporary service	\$60.00		
Re-inspection	\$100.00		
Work started without permit	Double		
	Minimum Fee	\$60.00	
Payable to: Village of Fox Point		Total Permit Fee	\$

Permit shall expire 12 months after the date of issuance, if installation of the electrical wiring has not commenced.

Applicant Signature Chris Wright **Date** 3/24/2023

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.058723

Mar 30, 2023

175 W Black Hawk

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	
Total:	75.00
CHECK	75.00
Check No: 1971	
Payor: Tron Solar	
Total Applied:	75.00
Change Tendered:	.00

03/30/2023 10:49 AM



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Jennie Stoltz

Homeowner's Name – PRINTED

175 W Blackhawk Rd, Fox Point, WI 53217

Property Address

Jennie Stoltz

Homeowner's Signature

3/24/2023

Date



03-22-2023

Tron Solar, LLC

950 Corporate Woods Parkway,

Subject: Structural Certification for Installation of Residential Solar
re job: Jennie Stoltz

175 W Blackhawk Rd, Fox Point, WI 53217, USA

Attn.: To Whom It May Concern

Observation of the condition of the existing framing system was performed by an audit team of
Tron Solar, LLC

After review of the field observation data, structural capacity calculations were performed in accordance with applicable building codes to determine adequacy of the existing roof framing supporting the proposed panel layout. Please see full Structural Calculations report for details regarding calculations performed and limits of scope of work and liability. The design criteria and structural adequacy are summarized below:

Design Criteria:

Code: IBC 2015, IRC 2018, ASCE 7-10, Ult Wind Speed: 115 mph, Ground Snow: 30 psf, Min Snow
Roof: 0 psf

ROOF 1: Shingle roofing supported by 2x8 Rafter @ 16 in. OC spacing. The roof is sloped at approximately 16 degrees and has a max beam span of 16.0 ft between supports. Roof is adequate to support the imposed loads. Therefore, no structural upgrades are required.

03-22-2023

Current Renewables Engineering Inc.
Professional Engineer
info@currentrenewableseng.com





03-22-2023

Tron Solar, LLC

950 Corporate Woods Parkway,

Attn.: To Whom It May Concern

re job: Jennie Stoltz

175 W Blackhawk Rd, Fox Point, WI 53217, USA

The following calculations are for the structural engineering design of the photovoltaic panels and are valid only for the structural info referenced in the stamped plan set.

I certify that the roof structure has sufficient structural capacity for the applied PV loads.

All mounting equipment shall be designed and installed per manufacturer's approved installation specifications.

Design Criteria:

Code: IBC 2015, IRC 2018, ASCE 7-10,
Live Load: 20 psf
Ult Wind Speed: 115 mph
Exposure Cat: C
Ground Snow: 30 psf
Min Snow Roof: N/A

Current Renewables Engineering Inc.
Professional Engineer
info@currentrenewableseng.com

03-22-2023





Roof Properties:

Roof 1

Roof Type = Shingle
 Roof Pitch (deg) = 16.0
 Mean Root Height (ft) = 13.0
 Attachment Trib Width (ft) = 2.75
 Attachment Spacing (ft) = 4.0
 Framing Type = Rafter
 Framing Size = 2x8
 Framing OC Spacing (in.) = 16.0
 Section Thickness, b (in) = 1.5
 Section Depth, d (in) = 7.2
 Section Modulus, S_x (in³) = 13.141
 Moment of Inertia, I_x (in⁴) = 47.635
 Unsupported Span (ft) = 16.0
 Upper Chord Length (ft) = 23.0
 Deflection Limit D+L (in) = 4.6
 Deflection Limit S or W (in) = 3.067
 Attachments Pattern = Fully Staggered
 Framing Upgrade = No
 Sister Size = NA
 Wood Species = SPF
 Wood Fb (psi) = 875.0
 Wood Fv (psi) = 135.0
 Wood E (psi) = 1400000.0
 C_D (wind) = 1.6
 C_d (snow) = 1.15
 C_{LS} = 1.05
 $C_M = C_t = C_L = C_i$ = 1.0
 C_F = 1.2
 C_{fu} = 1.0
 C_r = 1.15
 F'b wind (psi) = 2028.6
 F'b snow (psi) = 1458.06
 F'v wind (psi) = 216.0
 F'v snow (psi) = 155.25
 M allowable wind (lb-ft) = 2221.42
 M allowable snow (lb-ft) = 1596.65
 V allowable wind (lbs) = 1566.0
 V allowable snow (lbs) = 1125.56
 E' (psi) = 1400000.0



Load Calculation:

Dead Load Calculations:

Roof 1

Panels Dead Load (psf) = 3.0
Roofing Weight (psf) = 3.0
Decking Weight (psf) = 2.0
Framing Weight (psf) = 1.869
Misc. Additional Weight (psf) = 1.0
Existing Dead Load (psf) = 7.869
Total Dead Load (psf) = 10.869

Wind Load Calculations:

Ultimate Wind Speed (mph) = 115.0
Directionality Factor, k_d = 0.85
Topographic Factor, k_{zt} = 1.0
Velocity Press Exp Factor, k_z = 0.849
Velocity Pressure, q_z (psf) = 24.429
External Pressure Up, GCp_1 = -0.87
External Pressure Up, GCp_2 = -1.549
External Pressure Up, GCp_3 = -2.419
External Pressure Down, GCp = 0.44
Design Pressure Up, p_1 (psf) = -21.251
Design Pressure Up, p_2 (psf) = -37.852
Design Pressure Up, p_3 (psf) = -59.103
Design Pressure Down, p (psf) = 16.0

Snow Load Calculations:

Ground Snow Load, p_g (psf) = 30.0
Min Flat Snow, pf_{min} (psf) = 0.0
Sloped Snow, ps_{min} (psf) = 0.0
Snow Importance Factor, I_c = 1.0
Exposure Factor, C_e = 0.9
Thermal Factor, C_t = 1.1
Flat Roof Snow, pf (psf) = 20.79
Slope Factor, C_s = 1.0
Sloped Roof Snow, ps (psf) = 20.79



Attachment Checks:

Roof 1

Attachment Type = Custom

Allowable Up Force (lbs) = 250.0

Allowable Down Force (lbs) = 450.0

Allowable Side Force (lbs) = 250.0

Applied Uplift Force (lbs) = -102.273

Uplift DCR = 0.409

Applied Down Force (lbs) = 265.095

Down DCR = 0.589

Applied Lateral Force (lbs) = 72.132

Lateral DCR = 0.289



Roof Framing Checks:

Force Checks:

LC1: D+S

Roof 1

Applied Moment (lb-ft) = 1018.0
Applied Shear (lbs) = 400.0
Allowable Moment (lb-ft) = 1597.0
Allowable Shear (lbs) = 1126.0
Moment DCR = 0.638
Shear DCR = 0.355

LC2: D+0.6W

Applied Moment (lb-ft) = 658.0
Applied Shear (lbs) = 258.0
Allowable Moment (lb-ft) = 2221.0
Allowable Shear (lbs) = 1566.0
Moment DCR = 0.296
Shear DCR = 0.165

LC3: D+0.75(S+0.6W)

Applied Moment (lb-ft) = 1083.0
Applied Shear (lbs) = 425.0
Allowable Moment (lb-ft) = 2221.0
Allowable Shear (lbs) = 1566.0
Moment DCR = 0.487
Shear DCR = 0.271

LC4: 0.6D+0.6W

Applied Moment (lb-ft) = 519.0
Applied Shear (lbs) = 203.0
Allowable Moment (lb-ft) = 2221.0
Allowable Shear (lbs) = 1566.0
Moment DCR = 0.233
Shear DCR = 0.13



Deflection Checks (Service Level):

LC1: D+L

Deflection (in.) = 0.684
Deflection Limit (in.) = 4.6
Deflection DCR = 0.149

LC2: S

Deflection (in.) = 0.34
Deflection Limit (in.) = 3.067
Deflection DCR = 0.111

LC3: W (Down)

Deflection (in.) = 0.11
Deflection Limit (in.) = 3.067
Deflection DCR = 0.036

LC4: W (Up)

Deflection (in.) = 0.146
Deflection Limit (in.) = 3.067
Deflection DCR = 0.048



Seismic Check:

Existing Weight:

Wall Weight (psf) = 17.0
Tributary Wall Area (ft²) = 1480.0
Total Wall Weight (lbs) = 25160.0
Roof Weight (psf) = 7.869
Roof Area (ft²) = 5251.0
Total Roof Weight (lbs) = 41320.855
Total Existing Weight (lbs) = 66480.86

Total Additional PV Weight (lbs) = 1687.95

Weight Increase:

$$(\text{Existing W} + \text{Additional W}) / (\text{Existing W}) = 1.025$$

The increase in weight as a result of the solar system is less than 10% of the existing structure and therefore no further seismic analysis is required.



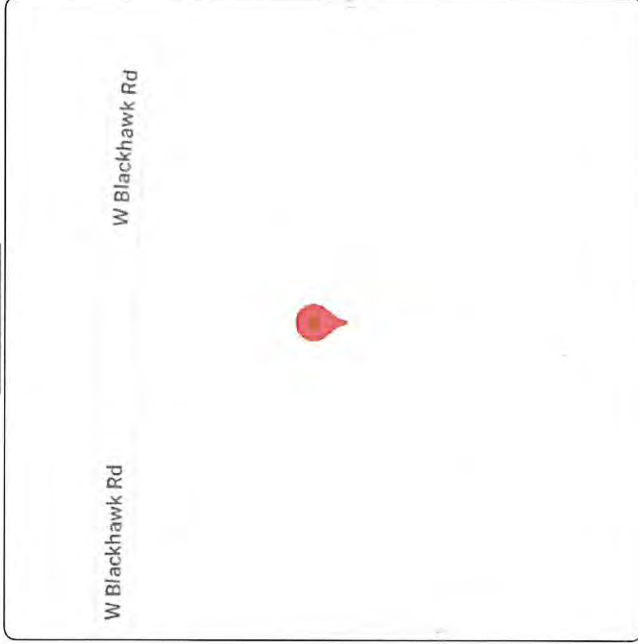
Limits of Scope of Work and Liability:

The calculations produced are only for the roof framing supporting the proposed PV installation referenced in the stamped planset and were completed according to generally recognized structural analysis standards and procedures, professional engineering and design experience, opinions and judgments. Existing deficiencies which are unknown or were not observable during time of inspection are not included in this scope of work. This analysis is not stamped for water leakage. Prior to commencement of work, the contractor shall verify the framing sizes, spacings, and spans noted in the stamped plans, calculations, and cert letter (where applicable) and notify the Engineer of Record of any discrepancies prior to starting construction. Contractor shall also verify that there is no damaged framing that was not addressed in stamped plans, calculations, and cert letter (where applicable) and notify the Engineer of Record of any concerns prior to starting construction.

AERIAL VIEW:



STREET VIEW:



CONTRACTOR INFORMATION:
Tron Solar LLC
950 Corporate Woods Parkway,
Vernon Hills, IL 60061
License #: TGC110144

SITE INFORMATION

JENNIE STOLTZ
175 W. BLACKHAWK RD,
FOX POINT, WI 53217
LAT. 43.1607
LONG. -87.9092
DC SYSTEM SIZE: 12.09 kW DC
AC SYSTEM SIZE: 7.44 kW AC
(31) JA SOLAR JAM54531-390/MR/1500V
PV MODULES
(31) ENPHASE ENERGY IQ8-60-2-US
MICRO-INVERTER
WE UTILITY

GENERAL NOTES

1. INSTALLATION OF SOLAR PHOTOVOLTAIC SYSTEM SHALL BE IN ACCORDANCE WITH NEC ARTICLE 690, AND ALL OTHER APPLICABLE NEC CODES WHERE NOTED OR EXISTING.
2. PROPER ACCESS AND WORKING CLEARANCE AROUND EXISTING AND PROPOSED ELECTRICAL EQUIPMENT WILL COMPLY WITH NEC ARTICLE 110.
3. ALL WIRES, INCLUDING THE GROUNDING ELECTRODE CONDUCTOR SHALL BE PROTECTED FROM PHYSICAL DAMAGE IN ACCORDANCE WITH NEC ARTICLE 250
4. THE PV MODULES ARE CONSIDERED NON-COMBUSTIBLE; THIS SYSTEM IS UTILITY INTERACTIVE PER UL 1741 AND DOES NOT INCLUDE STORAGE BATTERIES OR OTHER ALTERNATIVE STORAGE SOURCES.
5. ALL DC WIRES SHALL BE SIZED ACCORDING TO [NEC 690.8]
6. DC CONDUCTORS SHALL BE WITHIN PROTECTED RACEWAYS IN ACCORDANCE WITH [NEC 690.31]
7. ALL SIGNAGE TO BE PLACED IN ACCORDANCE WITH LOCAL JURISDICTIONAL BUILDING CODE.

PHOTOVOLTAIC (PV) SYSTEM SPECIFICATIONS

EQUIPMENT:
DC SYSTEM SIZE: 12.09 kW DC
AC SYSTEM SIZE: 7.44 kW AC
(31) JA SOLAR JAM54531-390/MR/1500V PV MODULES
(31) ENPHASE ENERGY IQ8-60-2-US MICRO-INVERTER
RACKING: K2 RAIL - 48" O.C.

APPLICABLE GOVERNING CODES

2017 NATIONAL ELECTRIC CODE (NEC)
2018 INTERNATIONAL FIRE CODE (IFC)
2015 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)

SITE SPECIFICATIONS

OCCUPANCY: R-4
ZONING: RESIDENTIAL



STAMPED 03/22/2023

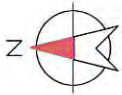
SHEET INDEX:

PV01 COVER PAGE
PV02 SITE PLAN
PV03 ROOF ATTACHMENTS
PV04 MOUNTING DETAIL
PV05 LINE DIAGRAM
PV06 LABELS
PV07 SITE PHOTOS

DRAWN BY: SOLAROFIX

DATE: MARCH, 15, 2023
REV A

COVER PAGE - PV01



SCALE: 1/16"=1'-0"

W BLACKHAWK RD

FRONT OF HOME

- STRUCTURAL NOTES:**
1. THESE PLANS ARE STAMPED FOR STRUCTURAL CODE COMPLIANCE OF THE ROOF FRAMING SUPPORTING THE PROPOSED PV INSTALLATION ONLY.
 2. THESE PLANS ARE NOT STAMPED FOR WATER LEAKAGE.
 3. PV MODULES, RACKING, AND ATTACHMENT COMPONENTS MUST FOLLOW MANUFACTURER GUIDELINES AND REQUIREMENTS.
 4. PLEASE SEE THE ACCOMPANYING STRUCTURAL CALCULATIONS REPORT FOR ADDITIONAL INFORMATION.
 5. PRIOR TO COMMENCEMENT OF WORK, THE SOLAR INSTALLER SHALL VERIFY THE ROOF FRAMING INFO BEFORE INSTALLATION AND NOTIFY THE E.O.R. IF THERE IS ANY INCONSISTENCY BETWEEN SITE VERIFICATION AND FOLLOWING: 2x8 RAFTERS @ 16" OC SPACING WITH MAX UNSUPPORTED SPAN EQUAL OR LESS THAN 16 FT.

MP1
TILT: 16°
AZIMUTH: 180°



STAMPED 03/22/2023



CONTRACTOR INFORMATION:

Tron Solar LLC
950 Corporate Woods Parkway,
Vernon Hills, IL 60061
License #: TGC110144

SITE INFORMATION

JENNIE STOLTZ
175 W. BLACKHAWK RD,
FOX POINT, WI 53217
LAT: 43.1607
LONG: -87.9092
DC SYSTEM SIZE: 12.09 kW DC
AC SYSTEM SIZE: 7.44 kW AC
(31) JA SOLAR JAM54S31-390/MR/1500V
PV MODULES
(31) ENPHASE ENERGY IQ8-60-2-US
MICRO-INVERTER

WE UTILITY

EQUIPMENT LEGEND:

☒ UTILITY METER ☒ AC DISCONNECT ☒ MAIN SERVICE PANEL

☐ INVERTER ☐ SUB PANEL ☐ LOAD CENTER ☐ COMBINER BOX

☐ FIRE ACCESS PATHWAY (3' TYP) ☐ PROPERTY LINE

☐ BATTERY(IES) ☐ DC DISCONNECT

NOTE: MICRO-INVERTERS INSTALLED UNDER EACH MODULE

VISIBLE, LOCKABLE,
LABELED AC DISCONNECT
LOCATED WITHIN 10'
OF UTILITY METER

DRAWN BY: SOLAROFIX

DATE:
MARCH, 15, 2023

REV A

SITE PLAN - PV02



CONTRACTOR INFORMATION:
Tron Solar LLC
950 Corporate Woods Parkway,
Vernon Hills, IL 60061
License #: TGC110144

SITE INFORMATION

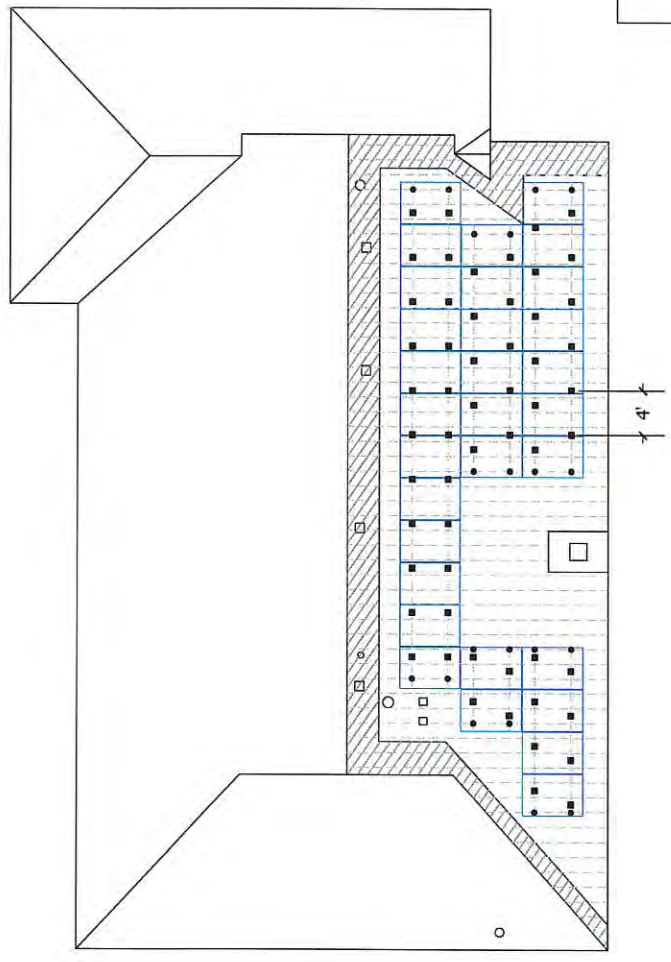
JENNIE STOLTZ
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LONG. -87.9092
DC SYSTEM SIZE: 12.09 kW DC
AC SYSTEM SIZE: 7.44 kW AC
P.V. MODULES
(31) JA SOLAR JAM54531-390/MR/1500V
(31) ENPHASE ENERGY IQ8-60-2-US
MICRO-INVERTER
WE UTILITY



STAMPED 03/22/2023

LEGEND:

- RAFTER MOUNT AT EDGE OF ARRAY
- DECK MOUNT AT 48" EACH SPACING



EQUIPMENT INFORMATION:		ROOF INFO:		PHOTOVOLTAIC ARRAY STRUCTURAL CRITERIA:	
RAIL MANUFACTURER	K2 SYSTEMS	ROOF TYPE	COMPOSITION SHINGLE	PV MODULE COUNT:	31
RAIL PART NUMBER	44-X	ROOF FRAMING	RAFTERS	ARRAY AREA:	MODULE COUNT * 21.02ft² = 651.62
ATTACHMENTS	SPLICE FOOT XL COMP. KIT	RAFTER/TOP CHORD SIZE	2x8	ROOF AREA:	4096 ft²
ATTACHMENT QTY	68	RAFTER/TOP CHORD SPACING	16"	PERCENT OF ROOF COVERED:	15.90%
SPLICE QTY	8	ATTACHMENT SPACING	48"	ARRAY WEIGHT:	MODULE COUNT * 47.40lbs = 1469.4
MIDCLAMP QTY	52			DISTRIBUTED LOAD:	ARRAY LBS/ATTACHMENT'S = 21.61
ENDCLAMP QTY	20			POINT LOAD: (lbs/ft²)	(ARRAY) WEIGHT/AREA = 2.25 lbs/ft²

DRAWN BY: SOLAROFIX

DATE: MARCH, 15, 2023
REV A

ROOF ATTACHMENTS - PV03



CONTRACTOR INFORMATION:
Tron Solar LLC
950 Corporate Woods Parkway,
Vernon Hills, IL 60061
License #: TGC110144

SITE INFORMATION

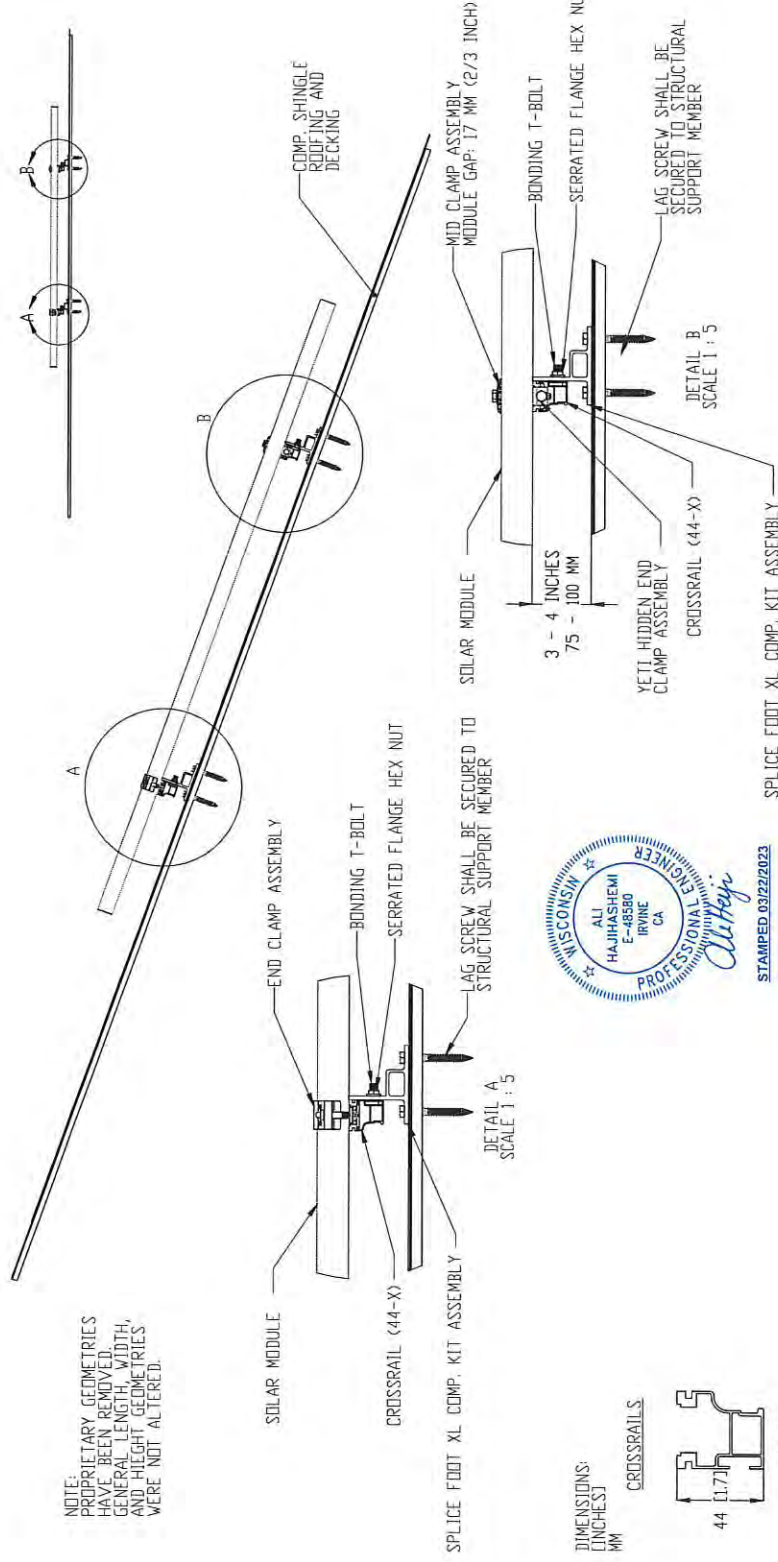
JENNIE STOLTZ
175 W. BLACKHAWK RD,
FOX POINT, WI 53217
LAT. 43.1607
LONG. -87.9092
DC SYSTEM SIZE: 12.09 KW DC
AC SYSTEM SIZE: 7.44 KW AC
(31) JA SOLAR JAMS4531-390/MR/1500V
PV MODULES
(31) ENPHASE ENERGY IQ8-60-2-US
MICRO-INVERTER
WE UTILITY

DRAWN BY: SOLAROFIX

DATE:
MARCH, 15, 2023

REV A

MOUNTING DETAIL - PV04



NOTE:
PROPRIETARY GEOMETRIES
HAVE BEEN REMOVED.
GENERAL LENGTH, WIDTH,
AND HEIGHT GEOMETRIES
WERE NOT ALTERED.

DIMENSIONS:
[INCHES]
MM

CROSSRAILS



44-X

STAMPED 03/22/2023

EQUIPMENT INFORMATION:			ROOF INFO:		PHOTOVOLTAIC ARRAY STRUCTURAL CRITERIA:	
RAIL MANUFACTURER	K2 SYSTEMS	ROOF TYPE	COMPOSITION SHINGLE		PV MODULE COUNT:	31
RAIL PART NUMBER	44-X	ROOF FRAMING	RAFTERS		ARRAY AREA:	MODULE COUNT * 21.02ft² = 651.62
ATTACHMENTS	SPLICE FOOT XL COMP. KIT	RAFTER/TOP CHORD SIZE	2x8		ROOF AREA:	4095 ft²
ATTACHMENT QTY	68	RAFTER/TOP CHORD SPACING	16"		PERCENT OF ROOF COVERED:	15.90%
SPLICE QTY	8	ATTACHMENT SPACING	48"		ARRAY WEIGHT:	MODULE COUNT * 47.40lbs = 1469.4
MIDCLAMP QTY	52				DISTRIBUTED LOAD:	ARRAY LBS/ATTACHMENTS = 21.61
ENDCLAMP QTY	20				POINT LOAD: (lbs/ft²)	(ARRAY) WEIGHT/AREA = 2.25 lbs/ft²

TYPE:

QTY:

DESCRIPTION:

RATING:

MODULES:

INVERTERS:

AC DISCONNECT(S):

AC COMBINER BOX:

METER SOCKET

(31)

(31)

(1)

(1)

(1)

JA SOLAR JAM54531-390/MR/1500V PV MODULES

ENPHASE ENERGY IQ8-60-2-US

PV AC DISCONNECT, 240V, 2-POLE

125A ENPHASE IQ AC COMBINER 4C BOX

MILBANK U1252-X-KK DUAL SOCKET

390 W

240 W

60A

125A, 240V

200A, 300V

EQUIPMENT SCHEDULE:

WIRE GAUGE	DESCRIPTION	QTY	CONDUIT SIZE	CONDUCTOR RATING	# OF CONDUCTORS	TEMP. DEGRADE	CONDUCTOR RATING W/DEGRADE	CONDUIT FILL
12 AWG	ENPHASE Q-CABLE BRANCH	(2)	N/A - FREE AIR	40A	N/A - FREE AIR	0.96	38.4A	N/A - FREE AIR
6 AWG	THHN-2, or THHN, or 10/2 NM-B COPPER - (L1, L2)	(1)		40A	0.6	0.96	30.72A	20.70%
10 AWG	THHN/THWN-2, COPPER - (L1, L2)	(1)	3/4" EMT	55A	1	0.96	52.8A	25.05%
8 AWG	THHN/THWN-2, COPPER - (L1, L2)	(1)	3/4" EMT	75A	1	0.96	72.0A	32.29%
8 AWG	THHN-2 COPPER - (L1, L2, NEUTRAL)	(1)						
6 AWG	THHN-2 COPPER - (L1, L2, NEUTRAL)	(1)						
8 AWG	THHN-2 COPPER - (GROUND)	(1)						

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MICRO-INVERTER
WE UTILITY

DRAWN BY: SOLAROFIX

DATE: MARCH, 15, 2023

REV A

LINE DIAGRAM - PV05

STRING (1) BRANCH OF (16) MICRO-INVERTERS

16 MODULES

1

STRING (2) BRANCH OF (15) MICRO-INVERTERS

15 MODULES

1

J-BOX

2

(N) 125A ENPHASE IQ AC COMBINER 4C BOX WITH INTEGRATED 10A ENVOY BREAKER X-IQ-AML-240-4C

(N) 40A FUSES

NEUTRAL AND GROUND BONDING VIA MAIN BONDING SCREW IN DISCONNECT

(N) 20A-2P

(N) 20A-2P

(N) 20A-2P

(E) 150A MAIN SERVICE PANEL

(E) 150A-2P

(E) LOADS

(E) GROUNDING ELECTRODE

(N) DUAL METER PEDISTAL AND CONNECTION ON A DEDICATED METER SOCKET (U1252-X-KK)

INTERCONNECTION NOTES

1. GROUND FAULT PROTECTION IN ACCORDANCE WITH [NEC 215.9] & [NEC 230.95]
2. SUPPLY SIDE INTERCONNECTION ACCORDING TO [NEC705.12(A)] WITH SERVICE ENTRANCE CONDUCTORS IN ACCORDANCE WITH [NEC 240.21(B)]

DISCONNECT NOTES

1. DISCONNECTING SWITCHES SHALL BE WIRED SUCH THAT WHEN THE SWITCH IS OPENED THE CONDUCTORS REMAINING LIVE ARE CONNECTED TO THE TERMINALS MARKED "LINE SIDE" (TYPICALLY THE UPPER TERMINALS)
2. AC DISCONNECT MUST BE ACCESSIBLE TO QUALIFIED UTILITY PERSONNEL, BE LOCKABLE, AND BE A VISIBLE-BREAK SWITCH.
3. FUSED AC DISCONNECT TO BE USED.

GROUNDING & GENERAL NOTES:

1. PV INVERTER IS UNGROUNDED, TRANSFORMER-LESS TYPE.
2. DC GEC AND AC EGC TO REMAIN UNSPliced, OR SPliced TO EXISTING ELECTRODE
3. ANY EXISTING WIRING INVOLVED WITH PV SYSTEM CONNECTION THAT IS FOUND TO BE INADEQUATE PER CODE SHALL BE CORRECTED PRIOR TO FINAL INSPECTION.
4. JUNCTION BOX QUANTITIES, AND PLACEMENT SUBJECT TO CHANGE IN THE FIELD - JUNCTION BOXES DEPICTED ON ELECTRICAL DIAGRAM REPRESENT WIRE TYPE TRANSITIONS.
5. AC DISCONNECT NOTED IN EQUIPMENT SCHEDULE OPTIONAL IF OTHER AC DISCONNECTING MEANS IS LOCATED WITHIN 10' OF SERVICE DISCONNECT.

VISIBLE, LOCKABLE, LABELED AC DISCONNECT LOCATED WITHIN 10' OF UTILITY METER

WARNING
ELECTRIC SHOCK HAZARD.
THE DC CONDUCTORS OF THIS
PHOTOVOLTAIC SYSTEM ARE UNGROUND-
ED AND MAY BE ENERGIZED.

LABEL 1
AT EACH JUNCTION BOX, COMBINER BOX,
DISCONNECT AND DEVICE WHERE ENERGIZED
UNGROUND-ED CONDUCTORS MAY BE EXPOSED
DURING SERVICE [NEC 690.35(F)]

WARNING
ELECTRIC SHOCK HAZARD.
DO NOT TOUCH TERMINALS
TERMINALS ON BOTH LINE AND LOAD SIDES
MAY BE ENERGIZED IN THE OPEN POSITION.

LABEL 2
AT BUILDING OR STRUCTURE MAIN
DISCONNECTING MEANS. [NEC 690.17(E), NEC
705.22]

**PHOTOVOLTAIC
AC DISCONNECT**
MAX AC OPERATING CURRENT = 31.00
NOMINAL AC OPERATING VOLTAGE = 240

LABEL 4
AT POINT OF INTERCONNECTION, MARKED AT
DISCONNECTING MEANS [NEC 690.54]

WARNING
DUAL POWER SOURCES.
SECOND SOURCE IS PV SYSTEM

LABEL 5
AT POINT OF INTERCONNECTION.
[NEC 705.12(D)(3)]

**PHOTOVOLTAIC
DC DISCONNECT**

LABEL 6
AT EACH DC DISCONNECTING MEANS
[NEC 690.13(B)]

**PHOTOVOLTAIC
AC DISCONNECT**

LABEL 8
AT EACH AC DISCONNECTING
MEANS
[NEC 690.13(B)]

**WARNING: PHOTOVOLTAIC
POWER SOURCE**

LABEL 9
AT EXPOSED RACEWAYS, CABLE
TRAYS, AND OTHER WIRING
METHODS; SPACED AT MAXIMUM
10FT SECTION OR WHERE
SEPARATED BY ENCLOSURES,
WALLS, PARTITIONS, CEILINGS, OR
FLOORS [NEC 690.31(G)(3)]

INTERACTIVE PHOTOVOLTAIC SYSTEM
LOCATED AT NORTH SIDE OF HOUSE
PHOTOVOLTAIC SYSTEM DISCONNECT
LOCATED AT NORTH SIDE OF HOUSE

DIRECTORY PLAQUE
PERMANENT PLAQUE OR DIRECTORY PROVIDING THE
LOCATION OF THE SERVICE DISCONNECTING MEANS
AND THE PHOTOVOLTAIC SYSTEM DISCONNECTING
MEANS IF NOT IN THE SAME LOCATION [NEC 690.56(B)]

WARNING
INVERTER OUTPUT CONNECTION.
DO NOT REVERSE THIS OVERCURRENT DEVICE.

LABEL 10
PLACED ADJACENT TO THE BACK-FED BREAKER FROM
THE INVERTER IF TIE IN CONSISTS OF LOAD SIDE
CONNECTION TO BUSBAR. [NEC 705.12(D)(2)(3)(b)]

PHOTOVOLTAIC SYSTEM
EQUIPPED WITH RAPID
SHUTDOWN

LABEL 11
SIGN LOCATED AT UTILITY SERVICE
EQUIPMENT [NEC 690.56(C)]

PHOTOVOLTAIC
RAPID SHUTDOWN
DC DISCONNECT

LABEL 12
SIGN LOCATED AT RAPID SHUT DOWN
DISCONNECT CONTROLLER [NEC 690.13(B)]

WARNING
THIS EQUIPMENT FED BY MULTIPLE SOURCES.
TO PREVENT OVERCURRENT PROBLEMS,
EXCLUDING MAIN SUPPLY, OVERCURRENT
DEVICE SHALL NOT EXCEED AMPACITY OF
BUSBAR

LABEL 13
SIGN LOCATED AT LOAD CENTER IF CONTAINS 3 OR
MORE POWER SOURCES [NEC 705.12(D)(2)(3)(C)]



CONTRACTOR INFORMATION:
Tron Solar LLC
950 Corporate Woods Parkway,
Vernon Hills, IL 60061
License #: TGC110144

SITE INFORMATION

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LONG: -87.9092
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AC SYSTEM SIZE: 7.44 kW AC
(31) JA SOLAR JAM54S31-390/MR/1500V
PV MODULES
(31) ENPHASE ENERGY I08-60-2-US
MICRO-INVERTER

WE UTILITY

DRAWN BY: SOLAROFIX

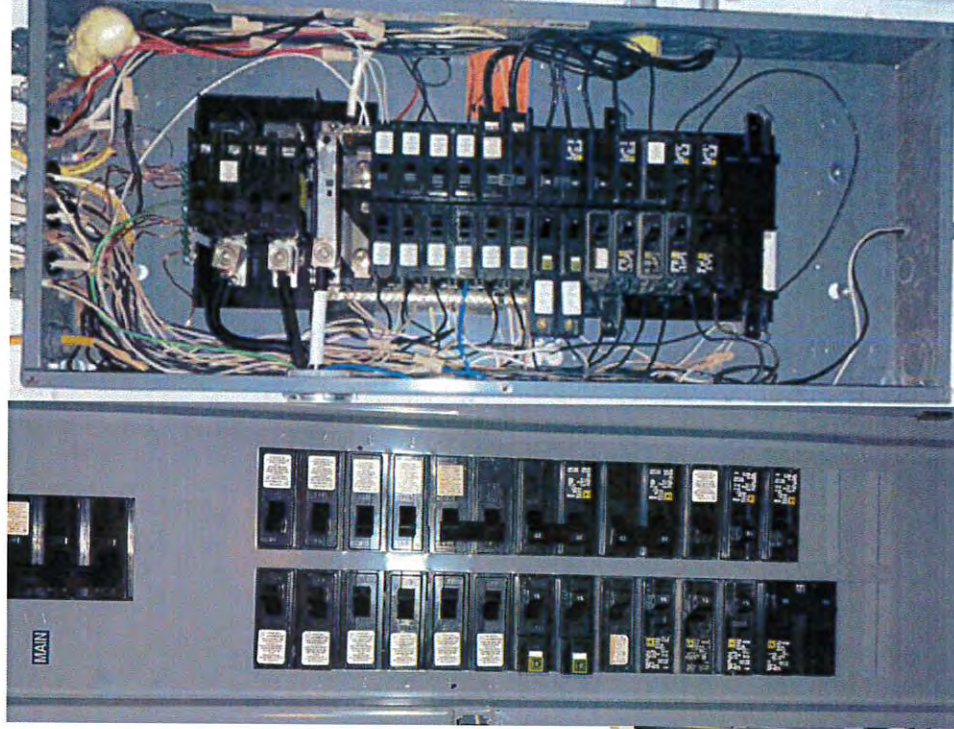
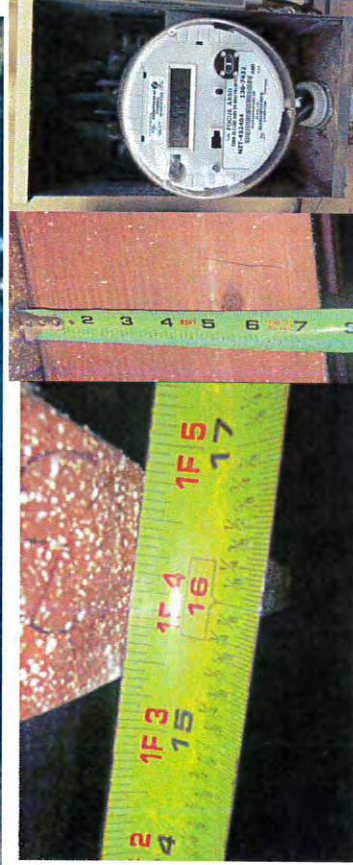
DATE:
MARCH, 15, 2023

REV A

LABELS - PV06

LABELING NOTES:
1. LABELING REQUIREMENTS BASED ON THE 2011 NATIONAL ELECTRIC CODE, OSHA STANDARD 19010.145, ANSI Z535.
2. MATERIAL BASED ON THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
3. LABELS TO BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED [NEC 110.2.1]
4. LABELS TO BE A MINIMUM LETTER HEIGHT OF 3/8", WHITE ON RED BACKGROUND; REFLECTIVE, AND PERMANENTLY AFFIXED [IFC 605.11.1.1]

SITE PHOTOS:



CONTRACTOR INFORMATION:

Tron Solar LLC
950 Corporate Woods Parkway,
Vernon Hills, IL 60061
License #: TGC110144

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PV MODULES
(31) ENPHASE ENERGY IQ8-60-2-US
MICRO-INVERTER
WE UTILITY

DRAWN BY: SOLAROFIX

DATE: MARCH, 18, 2023
REV A

SITE PHOTOS - PV07

Harvest the Sunshine

405 W MBB Half-cell Black Module

Mono

Introduction

Assembled with 11BB PERC cells, the half-cell configuration of the module offers the advantages of higher power output, better temperature-dependent performance, reduced shading effect on the energy generation, lower risk of hot spot, as well as enhanced balance for mechanical loading.



Higher output power



Lower LCOE



Less shading and lower resistive loss



Better mechanical loading tolerance

Superior Warranty

- 12-year product warranty
- 25-year linear power output warranty

0.15% Annual Degradation
Over 25 years



■ New linear power warranty ■ Standard module linear power warranty

Comprehensive Certificates

- IEC 61215, IEC 61730
- ISO 9001:2015 Quality management systems
- ISO 14001:2015 Environmental management systems
- ISO 45001:2018 Occupational health and safety management systems



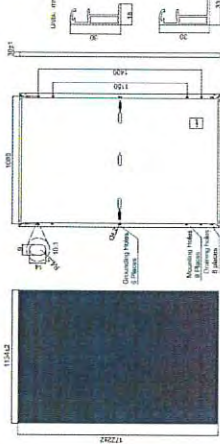
JA SOLAR



www.jasolar.com
Specifications subject to technical change and without
commitment. JA Solar Technology Co., Ltd.

JA SOLAR

MECHANICAL DIAGRAMS



SPECIFICATIONS

Cell	Mono
Weight	19.5kg or 21.5kg
Dimensions	1722.2mm×1134.2mm×30.1mm
Cable Cross Section Size	4mm ² (IEC) / 12 AWG (UL)
No. of cells	108 (6x18)
Junction Box	IP68, 3 diodes
Connector	Sta-tek MC4-EVO9
Cable Length (Including Connector)	OC-Sun OC-4-10-25 Remotely Connectable Landscape 120mm (4.724in)±0.5mm (0.02in)
Country of Manufacturer	China/Vietnam
Front Glass	2.0mm or 3.2mm

ELECTRICAL PARAMETERS AT STC

TYPE	JAM54S31 -380W/1500V	JAM54S31 -405W/1500V	JAM54S31 -425W/1500V	JAM54S31 -450W/1500V	JAM54S31 -475W/1500V
Rated Maximum Power (P _{max}) [W]	380	385	390	395	400
Open Circuit Voltage (V _{oc}) [V]	38.55	38.71	38.85	38.98	39.07
Maximum Power Voltage (V _{mp}) [V]	30.28	30.41	30.48	30.54	30.61
Short Circuit Current (I _{sc}) [A]	13.44	13.52	13.61	13.70	13.79
Maximum Power Current (I _{mp}) [A]	12.55	12.64	12.73	12.81	12.89
Module Efficiency [%]	14.5	14.7	14.8	14.9	15.0
Power Tolerance	0~+5W				
Temperature Coefficient of P _{max} (I _{sc})	+0.045%/°C				
Temperature Coefficient of V _{oc} (I _{mp})	-0.275%/°C				
Temperature Coefficient of P _{max} (I _{mp})	-0.350%/°C				

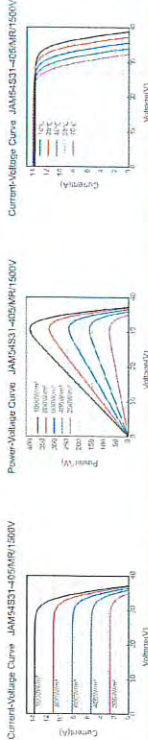
STC
Reference: Thermal data is for cooling on not under a single module but they are not part of this data they are part of complete array different module types.
Measurement tolerance at STC: Power 3%, V_{oc} 2%, I_{sc} 1%, P_{max} 2%.

ELECTRICAL PARAMETERS AT NOCT

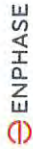
TYPE	JAM54S31 -380W/1500V	JAM54S31 -405W/1500V	JAM54S31 -425W/1500V	JAM54S31 -450W/1500V	JAM54S31 -475W/1500V
Rated Max Power (P _{max}) [W]	280	284	288	294	298
Open Circuit Voltage (V _{oc}) [V]	34.38	34.62	34.75	34.86	35.12
Max Power Voltage (V _{mp}) [V]	25.68	25.87	25.98	26.06	26.47
Short Circuit Current (I _{sc}) [A]	10.75	10.82	10.89	10.93	11.10
Max Power Current (I _{mp}) [A]	10.03	10.11	10.16	10.25	10.38

NOCT
Reference: Thermal data is for cooling on not under a single module but they are not part of this data they are part of complete array different module types.
Measurement tolerance at NOCT: Power 3%, V_{oc} 2%, I_{sc} 1%, P_{max} 2%.

CHARACTERISTICS



Version No.: G0001-EN_20200304



IQ8 and IQ8+ Microinverters

Our newest IQ8 Microinverters are the industry's first microgrid-forming, software-defined microinverters with split-phase power conversion capability to convert DC power to AC power efficiently. The brain of the semiconductor-based microinverter is our proprietary application-specific integrated circuit (ASIC) which enables the microinverter to operate in grid-tied or off-grid modes. This chip is built in advanced 55nm technology with high-speed digital logic and has super-fast response times to changing loads and grid events, alleviating constraints on battery sizing for home energy systems.



Part of the Enphase Energy System, IQ8 Series Microinverters integrate with the Enphase IQ Battery, Enphase IQ Gateway, and the Enphase App monitoring and analysis software.



IQ8 Series Microinverters redefine reliability standards with more than one million cumulative hours of power-on testing, enabling an industry-leading limited warranty of up to 25 years.



Connect PV modules quickly and easily to IQ8 Series Microinverters using the included Q-DCC-2 adaptor cable with plug-n-play MC4 connectors.



- ### Easy to install
- Lightweight and compact with plug-n-play connectors
 - Power Line Communication (PLC) between components
 - Faster installation with simple two-wire cabling

- ### High productivity and reliability
- Produce power even when the grid is down*
 - More than one million cumulative hours of testing
 - Class II double-insulated enclosure
 - Optimized for the latest high-powered PV modules

- ### Microgrid-forming
- Complies with the latest advanced grid support**
 - Remote automatic updates for the latest grid requirements
 - Configurable to support a wide range of grid profiles
 - Meets CA Rule 21 (UL 1741-SA) requirements

* Only when installed with IQ System Controller 2, meets UL 1741.
** IQ8 and IQ8Plus supports split phase, 240V installations only.

IQ8 and IQ8+ Microinverters

INPUT DATA (IEC)		IQ8-60-2-US		IQ8PLUS-72-2-US	
Commonly used module pairings ¹	W	235 ~ 350		235 ~ 440	
Module compatibility		60-cell/120 half-cell		60-cell/120 half-cell, 66-cell/132 half-cell and 72-cell/144 half-cell	
MPP1 voltage range	V	27 ~ 37		29 ~ 45	
Operating range	V	25 ~ 48		25 ~ 56	
Min/max start voltage	V	30 / 48		30 / 58	
Max input DC voltage	V	50		60	
Max DC current ² (module Isc)	A	15		15	
Overvoltage class DC port	II	II		II	
DC port backfeed current	mA	0		0	
PV array configuration		1x1 Ungrounded array; No additional DC side protection required; AC side protection requires min. 20A per branch circuit			
OUTPUT DATA (IEC)		IQ8-60-2-US		IQ8PLUS-72-2-US	
Peak output power	W	245		300	
Max continuous output power	W	240		290	
Nominal (L-L) voltage/range ³	V	240 / 211 ~ 264		240 / 211 ~ 264	
Max continuous output current	A	1.0		1.21	
Nominal frequency	Hz	60		60	
Extended frequency range	Hz	50 ~ 68		50 ~ 68	
AC short circuit fault current over 3 cycles	A rms	2		2	
Max units per 20 A (L-L) branch circuit ⁴		16		13	
Total harmonic distortion	%	<5%		<5%	
Overvoltage class AC port	III	III		III	
AC port backfeed current	mA	30		30	
Power factor setting		1.0		1.0	
Grid-tied power factor (adjustable)		0.85 leading ~ 0.85 lagging		0.85 leading ~ 0.85 lagging	
Peak efficiency	%	97.5		97.6	
CEC weighted efficiency	%	97		97	
Night-time power consumption	mW	60		60	
PERFORMANCE DATA					
Ambient temperature range		-40°C to +60°C (-40°F to +140°F)			
Relative humidity range		4% to 100% (condensing)			
DC Connector type		MC4			
Dimensions (HxWxD)		212 mm (8.3") x 175 mm (6.9") x 30.2 mm (1.2")			
Weight		1.08 kg (2.38 lbs)			
Cooling		Natural convection - no fans			
Approved for wet locations		Yes			
Pollution degree		PD3			
Enclosure		Class II double-insulated, corrosion resistant polycarbonate enclosure			
Environ. category / UV exposure rating		NEMA Type 6 / outdoor			
CERTIFICATION					
Certifications		CA Rule 21 (UL 1741-SA), UL 62109-1, UL1741/IEEE547, FCC Part 15 Class B, IEC-60035 Class B, CAN/CSA-C22.2 NO. 1071-01			

(1) No enforced DC/AC ratio. See the compatibility calculator at <https://enphase.com/module-compatibility>
(2) Maximum continuous input DC current is 10.6A (3) Nominal voltage range can be extended beyond nominal if required by the utility. (4) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

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IQ8SP-DS-0002-01-EN-US-2022-03-17

Enphase IQ Combiner 4/4C

X-IQ-AM1-240-4
X-IQ-AM1-240-4C



To learn more about Enphase offerings, visit enphase.com

The **Enphase IQ Combiner 4/4C** with Enphase IQ Gateway and integrated LTE-M1 cell modem (included only with IQ Combiner 4C) consolidates interconnection equipment into a single enclosure and streamlines IQ microinverters and storage installations by providing a consistent, pre-wired solution for residential applications. It offers up to four 2-pole input circuits and Eaton BR series busbar assembly.

Smart

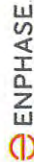
- Includes IQ Gateway for communication and control
- Includes Enphase Mobile Connect cellular modem (CELLMODEM-M1-06-SP-05), included only with IQ Combiner 4C
- Includes solar shield to match Enphase IQ Battery aesthetics and deflect heat
- Flexible networking supports Wi-Fi, Ethernet, or cellular
- Optional AC receptacle available for PLC bridge
- Provides production metering and consumption monitoring

Simple

- Centered mounting brackets support single stud mounting
- Supports bottom, back and side conduit entry
- Up to four 2-pole branch circuits for 240 VAC plug-in breakers (not included)
- 80A total PV or storage branch circuits

Reliable

- Durable NRTL-certified NEMA type 3R enclosure
- Five-year limited warranty
- Two year labor reimbursement program coverage included for both the IQ Combiner SKUs
- UL listed

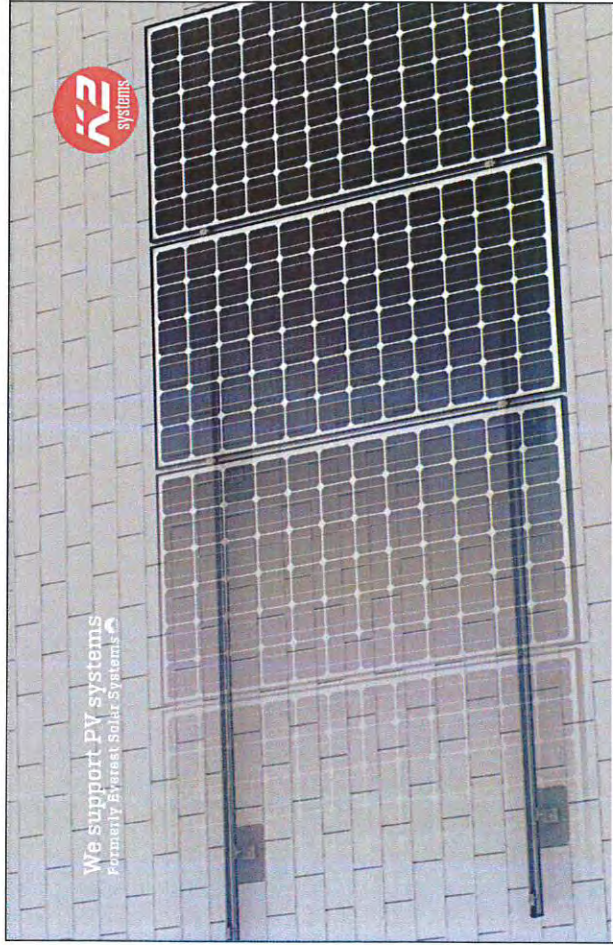


Enphase IQ Combiner 4/4C

MODEL NUMBER	DESCRIPTION
IQ Combiner 4 (X-IQ-AM1-240-4)	IQ Combiner 4 with Enphase IQ Gateway printed circuit board for integrated revenue grade PV production metering (ANSI CT120 4+/-0.5%) and consumption metering (V-2.5%), includes a silver solar shield to match the IQ Battery system and IQ System Controller 2 and to deflect heat.
IQ Combiner 4C (X-IQ-AM1-240-4C)	IQ Combiner 4C with Enphase IQ Gateway printed circuit board for integrated revenue grade PV production metering (ANSI CT120 4+/-0.5%) and consumption metering (V-2.5%), includes Enphase Mobile Connect cellular modem (CELLMODEM-M1-06-SP-05), included only with IQ Combiner 4C, and a silver solar shield to match the IQ Battery system and IQ System Controller 2 and to deflect heat. (Available in the US, Canada, Mexico, Puerto Rico, and the US Virgin Islands, where there is adequate cellular service in the installation area.) Includes a silver solar shield to match the IQ Battery and IQ System Controller and to deflect heat. (not included, order separately)
ACCESSORIES AND REPLACEMENT PARTS	
Ensemble Communications Kit	
COMMS-CELLMODEM-M1-06	
CELLMODEM-M1-06-SP-05	
CELLMODEM-M1-06-AT-05	
Circuit Breakers	
BRK-10A-2-240V	
BRK-15A-2-240V	
BRK-20A-2-240V	
BRK-30A-2-240V	
EPLC-01	
XA-SOL-ARSHIELD-ES	
XA-PLUG-120-3	
XA-ENV-PCBA-3	
X-IQ-HA-HB-175A	
ELECTRICAL SPECIFICATIONS	
Rating	Continuous duty
System voltage	120/240 VAC, 60 Hz
Eaton BR series busbar rating	125 A
Max. continuous current rating	65 A
Max. continuous current rating (input from PV/gasage)	64 A
Max. fuse/circuit rating (output)	90 A
Branch circuits (seller and/or storage)	Up to four 2-pole Eaton BR series Distributed Generation (DG) breakers only (not included)
Max. total branch circuit breaker rating (input)	80A of distributed generation / 80A with IQ Gateway breaker included
Production metering CT	200 A solid core pre-installed and wired to IQ Gateway
Consumption metering CT (CT 200-50A/1T)	A pair of 200 A split core current transformers
MECHANICAL DATA	
Dimensions (WxHxD)	3.75 x 4.9 x 5 x 16.8 cm (1.475 x 1.95 x 6.637") Height is 21.06" (53.3 cm) with mounting brackets.
Weight	7.5 kg (16.5 lbs)
Ambient temperature range	-40° C to +45° C (-40° to 115° F)
Cooling	Natural convection, plus heat shield
Enclosure environmental rating	Outdoors, NRTL-certified, NEMA type 3R, polycarbonate construction
Wire sizes	• 30 A to 50 A breaker inputs: 14 to 4 AWG copper conductors • 60 A breaker input: 10 to 2 AWG copper conductors • 80 A breaker input: 10 to 2 AWG copper conductors • Neutral and ground: 14 to 1/0 copper conductors Always follow local code requirements for conductor sizing.
Altitude	To 2000 meters (6,560 feet)
INTERNET CONNECTION OPTIONS	
Integrated Wi-Fi	802.11b/g/n
Cellular	CELLMODEM-M1-06-SP-05, CELLMODEM-M1-06-AT-05 4G based LTE-M1 cellular modem. Note that an Enphase Mobile Connect cellular modem is required for all Ensemble installations.
Ethernet	Optional, BDC-3, QABE (or Cat 6) UTP Ethernet cable (not included)
COMPLIANCE	
Compliance, IQ Combiner	UL 1741, CAN/CSA C22.2 No. 107.1, 47 CFR, Part 15, Class B, (FCCS D03) Production metering: ANSI CT120 accuracy class 0.5 (PV production) Consumption metering: accuracy class 2.5
Compliance, IQ Gateway	UL 60950-1/1 CAN/CSA 22.2 No. 61010-1

To learn more about Enphase offerings, visit enphase.com

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We support PV systems
Formerly Everest Solar Systems

CrossRail System

PRODUCT SHEET

- High quality, German-engineered system for residential and commercial installations
- 4 rail sizes available to suit all structural conditions
- Universal components for all rail types
- Use 2 innovative components to turn this system into Shared Rail or Tilt Up
- MK3 technology provides highest rail engagement
- Roof attachments for all roof types
- 100% code compliant, structural validation for all solar states
- Fast installation with minimal component count result in low total installed cost



Components



CrossRail 44-X

Part Number	Description
4000019	CrossRail 44-X, 1307, Mill
4000020	CrossRail 44-X, 1307, Dark
4000021	CrossRail 44-X, 1307, Mill
4000022	CrossRail 44-X, 1307, Dark



CrossRail 48-X

Part Number	Description
4000062	CrossRail 48-X, 1307, Mill
4000063	CrossRail 48-X, 1307, Dark



CrossRail 48-XL

Part Number	Description
4000065	CrossRail 48-XL, 1307, Mill
4000066	CrossRail 48-XL, 1307, Dark



CrossRail 80

Part Number	Description
4000058	CrossRail 80, 1307, Mill



CrossRail Mid Clamp

Part Number	Description
4000014	CR MC Silver, 30-47mm, Shared RL, 30-37mm 13mm Hex
4000015	CR MC Dark, 30-47mm, Shared RL, 30-37mm 13mm Hex
4000016	SR MC Silver, 38-50mm, Shared RL, 38-46mm 13mm Hex
4000017	SR MC Silver, 38-50mm, Shared RL, 38-46mm 13mm Hex



CrossRail End Clamp

Part Number	Description
4000479	CR ED Silver 35-50mm, SR 33-45mm
4000480	CR ED Dark 35-50mm, SR 33-45mm
4000059	SR ED Silver 48-50mm
4000060	SR ED Dark 48-50mm



Yeti Clamp

Part Number	Description
4000028-H	Yeti Hidden EC for CR, 13mm Hex Set



Aluminum End Clamp

Part Number	Description
4005594	CrossRail EC Silver, AL 32-35mm
4005595	CrossRail EC Silver, AL 34-35mm
4005596	CrossRail EC Silver, AL 37-38mm
4005597	CrossRail EC Silver, AL 38-41mm
4005598	CrossRail EC Silver, AL 42-45mm
4005599	CrossRail EC Silver, AL 46-47mm
4005600	CrossRail EC Silver, AL 48-50mm



CrossRail Rail Connector

Part Number	Description
4000051	Rail Connector CR 44-X, Set, MS
4000052	Rail Connector CR 48-X, Set, MS
4000385	RailConn CR48-X/48-XL Street Set, Mill
4000386	RailConn CR48-X/48-XL Street Set, Dark
4001156	Rail Connector UL 2703 Set, CR48, Mill



L-Foot & T-Foot

Part Number	Description
4000630	L-Foot Street Set, Mill
4000631	L-Foot Street Set, Dark
4000632	T-Foot 4' 6" AL, Mill



Tile Hooks

Part Number	Description
4000634	Flat Tile Hook Set, w/Lugs
4001299	Tile Hook, 35 Wide Size w/Hardware



Standing Seam PowerClamps

Part Number	Description
4000018	Standing Seam PowerClamp, Mill, Set
4000019	Standing Seam PowerClamp, Standard, Set



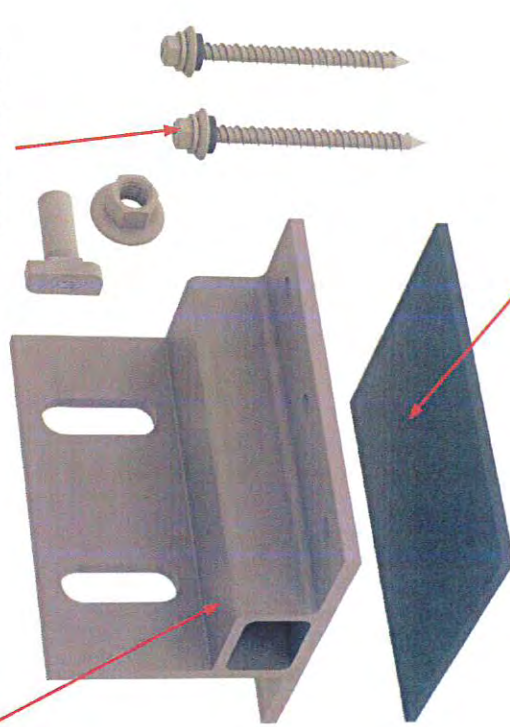
We support PV systems
Formerly Everest Solar Systems

Rail Shelf

- Allows for easier rail support
- Aligns CrossRail T-Bolt channel

Self-Tapping Screws

- Self-sealing; no sealant required
- Self-tapping; no pilot holes required
- 2 screws included per mount



K2 EverSeal

- Pre-installed butyl flexible flashing
- 20+ years of proven water sealing technology
- TWS 100(A) and Wind Driven Rain tested and approved



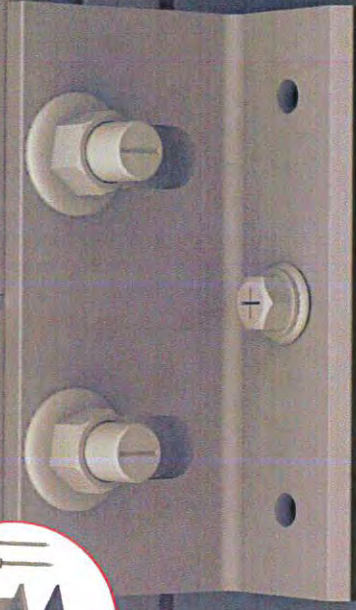
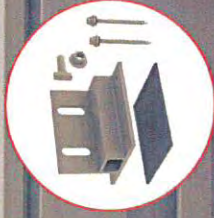
Splice Foot X & XL

Patent Pending

PRODUCT SHEET



We support PV systems
Formerly Everest Solar Systems



Splice Foot X & XL

Patent Pending

PRODUCT SHEET

Part Number	Description
4000113	Splice Foot X Kit, All
4000152	Splice Foot XL Kit, All

- All-in-one mount and splice foot
- K2 EverSeal technology
- 20+ years of proven water sealing technology on asphalt
- Self drilling lag screws = less tools needed
- Optimized for CrossRail systems and components
- No L-Foot needed
- T-Bolt hardware included



U1252-X-KK



Catalog Number	U1252-X-KK	Enclosure	G90 Galvanized Steel with Powder Coat Finish
Marketing Product Description	4 Terminal Ringless Large Closing Plate Horn Bypass 2 Position	Jaw Quantity	4 Terminal
UPC	784572133341	Bypass Type	Horn Bypass
Length (IN)	5.125	Number of Meter Positions	2 Positions
Width (IN)	26.5	Equipment Ground	Ground Lug
Height (IN)	14	Hub Opening	Large Closing Plate
Brand Name	Milbank	Load Side Wire Range	6 AWG - 350 kcmil
Type	Ringless Meter Socket	Number Of Receptacles	0
Application	Meter Socket		
Standard	UL Listed; Type 3R		
Voltage Rating	300 Volts Alternating Current		
Ampere Rating	200 Continuous Ampere		
Phase	1 Phase		
Frequency Rating	60 Hertz		
Size	5.125L x 26.5W x 14H		
Number Of Cutouts	0		
Cutout Size	No Main Breaker		
Cable Entry	Overhead or Underground with Center Wireway		
Terminal	3/8 Inch Stud		
Insulation	Glass Polyester		
Mounting	Surface Mount		

Please consult serving utility for their requirements prior to ordering or installing, as specifications and approvals vary by utility and may require local electrical inspector approval. All installations must be installed by a licensed electrician and must comply with all national and local codes, laws and regulations. Milbank reserves the right to make changes in specifications and features shown without notice or obligation.



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B-

OFFICE USE ONLY
Issued Date
Zoning <i>A-3, 60</i>

BUILDING PERMIT

Job Address 240 W Dunwood Rd	Building Type: Residential ☒ Commercial ☐
Description of Work	
Inground Swimming pool and pool paver pool deck	
Estimated Cost of Project \$64,000	

Owner/Occupant Cathy Conway	
Business Name	Contact Name Cathy Conway
Address 240 W Dunwood Rd	City/State/Zip Fox Point WI 53217
Phone 414-617-1380	Email catherinefconway@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Loomis Pools & Landscaping	Contact Name Mike Loomis
Address 27335 Apple Rd	City/State/Zip Waterford, WI 53185
Phone 414-239-0463	Email Mike@loomislandscaping.net
Dwelling Contractor #	Dwelling Contractor Qualifier #

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	640.00
Building Board	\$75.00	75
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$715.00

Applicant Signature

Rev 01/22

Date

3/30/2023

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.058726

Mar 30, 2023

240 W Dunwood Road

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PERMIT	715.00
24-44460 BUILDING PERMIT	

Total:	715.00
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CREDIT CARD	715.00
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Payor: 240 W Dunwood Road

Total Applied:	715.00
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Change Tendered:	.00
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Landscaping - Other	Quantity	Unit Price	Cost
Accessory (Barbecue11)	1	\$0.00	\$0.00
Accessory (Patio Set5)	2	\$0.00	\$0.00
Accessory (Patio Set8)	1	\$0.00	\$0.00
Accessory (Stool18)	2	\$0.00	\$0.00
Accessory (Storage Box14)	1	\$0.00	\$0.00
Accessory (Table152)	1	\$0.00	\$0.00
Accessory (Trellis76)	1	\$0.00	\$0.00
Green space	20816 sq ft	\$0.00	\$0.00
Region (mulch14)	2884 sq ft	\$0.00	\$0.00
Region (Stone234)	3727 sq ft	\$0.00	\$0.00
Rock (Flagstone1)	2 cu ft	\$0.00	\$0.00
Rock (Flagstone17)	1 cu ft	\$0.00	\$0.00
Subtotal			\$0.00

Utility	Quantity	Unit Price	Cost
Overlay (scan)	1	\$0.00	\$0.00
Subtotal			\$0.00

Pool	Quantity	Unit Price	Cost
Pool Accessory (Drain4)	2	\$0.00	\$0.00
Pool Accessory (Handrail3)	1	\$0.00	\$0.00
Pool Accessory (Pool Filter1)	1	\$0.00	\$0.00
Pool Accessory (Pool Heater1)	1	\$0.00	\$0.00
Pool Accessory (Stairs2)	1	\$0.00	\$0.00
Pool Coping (Unilock 'Black River - 12x24 Plank - Black Joint')	140 sq ft	\$0.00	\$0.00
Pool Decking Top (Unilock 'Umbriano® Winter Marvel - Pattern A')	852 sq ft	\$0.00	\$0.00
Pool Finish (solid78)	842 sq ft	\$0.00	\$0.00
Pool Tile (Noble Tile Supply 'Noble Classic 1 Blue')	25 sq ft	\$0.00	\$0.00
Pool Tile (Tile703)	100 sq ft	\$0.00	\$0.00
Subtotal			\$0.00

Building	Quantity	Unit Price	Cost
Door (Patio Door41)	1	\$0.00	\$0.00
House (Brick87)	1461 sq ft	\$0.00	\$0.00
House (Wall1)	1255 sq ft	\$0.00	\$0.00
House (Wall44)	1333 sq ft	\$0.00	\$0.00
House (Wall8)	572 sq ft	\$0.00	\$0.00
Panel Fence (Fence11 - Jerith 'Style 402')	164 ft	\$0.00	\$0.00
Patio Border (Unilock 'Town Hall™ Basalt - Running Bond')	368 sq ft	\$0.00	\$0.00
Patio Top (Concrete20)	1078 sq ft	\$0.00	\$0.00
Patio Top (Concrete3)	131 sq ft	\$0.00	\$0.00
Patio Top (Unilock 'Series™ - Peppered Granite')	673 sq ft	\$0.00	\$0.00
Window (Shutter23)	6	\$0.00	\$0.00
Window (Window39b)	2	\$0.00	\$0.00
Window (Window40b)	3	\$0.00	\$0.00
Subtotal			\$0.00

Landscaping - Plants	Quantity	Unit Price	Cost
Plant (Alpine Currant)	7	\$0.00	\$0.00
Plant (Austrian Pine)	6	\$0.00	\$0.00
Plant (Burning Bush)	2	\$0.00	\$0.00
Plant (Callery Pear)	5	\$0.00	\$0.00
Plant (Common Boxwood)	5	\$0.00	\$0.00
Plant (Coral Bells)	7	\$0.00	\$0.00
Plant (Corkscrew Rush)	6	\$0.00	\$0.00
Plant (Daylily)	8	\$0.00	\$0.00
Plant (Hosta)	7	\$0.00	\$0.00
Plant (Shaggy Shield Fern)	6	\$0.00	\$0.00
Plant (Siberian Carpet Cypress)	5	\$0.00	\$0.00

HeatPro® Heat Pumps

FOR IN-GROUND AND ABOVE-GROUND POOLS AND SPAS

Heating



HP31005T HeatPro



HP21404T HeatPro

Specifications & Dimensions

Model Number	BTU	C.O.P.	Platform	Voltage Hertz/Phase	MIN Circuit Protection	Size Width x Depth	Height	Weight (lbs.) Unit	Ship
Vertical Discharge Heat									
HP21004T	90,000	5.7	Square	240/60/1	40A	30 1/4" x 34"	37"	230	270
HP21004TC*	90,000	5.7	Square	240/60/1	40A	30 1/4" x 34"	37"	230	270
HP21124T	110,000	5.7	Square	240/60/1	50A	30 1/4" x 34"	44"	245	285
HP21254T	125,000	5.7	Square	240/60/1	50A	30 1/4" x 34"	37"	245	285
HP21404T	140,000	5.7	Square	240/60/1	50A	30 1/4" x 34"	44"	280	320
HP21404TC*	140,000	5.7	Square	240/60/1	50A	30 1/4" x 34"	44"	280	320

NOTE: *Low Ambient Operation – Continues to Heat to Temperatures as low as 40° F.

Vertical Discharge Heat and Cool with Low Ambient Operation

HP31005T	100,000	6.4	Round	208-230/60/1	50A	30 1/4"	40"	245	285
HP31204T	120,000	5.7	Square	240/60/1	50A	30 1/4" x 34"	37"	250	290

Horizontal Discharge Heat and Cool with Low Ambient Operation

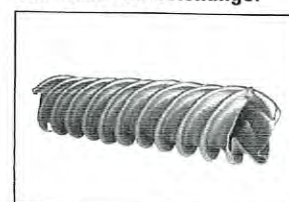
HP50HA2	47,000	6.0	Side Air	208-230/60/1	25A	44 1/2" x 18"	26"	152	160
HP70HA2	70,000	5.3	Side Air	208-230/60/1	30A	45 1/4" x 18 1/2"	35"	230	270



HP50HA2 / HP70HA2

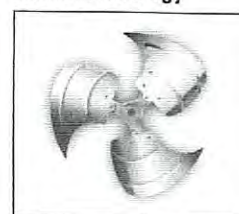
The Hayward Titanium HeatPro heat pump provides an energy efficient solution to your pool heating options. With its Titanium Heat Exchanger and Hayward Quiet Technology, HeatPro heat pumps heat pool water more efficiently for a fraction of the cost of gas while maintaining a quiet relaxed backyard environment. Depending on individual use and application of your pool, a heat pump may be right for you.

Titanium Heat Exchanger



Titanium heat exchanger for unrivaled, uncompromising and trouble-free performance even under the harshest conditions.

Quiet Technology



Profiled fan blade design provides high-performance and quiet operation.



Acoustic compressor cover minimizes compressor sound for a quiet backyard.

High Performance Evaporator Coil and Union Connections



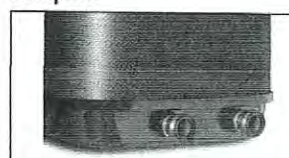
Ultra Gold corrosion resistant evaporator coil provides lasting performance and excellent durability, especially in coastal environments.

Digital LCD Control Panel



Easy to read digital temperature display with temperature lock-out capability.

Footprint



2" x 2 1/2" Union Connections for high efficiency plumbing and easy installation and maintenance.

Compact footprint allows for easy installations, is ideal for retrofit replacements, and has integrated hurricane tie-downs to meet local codes without the need for accessory kits.

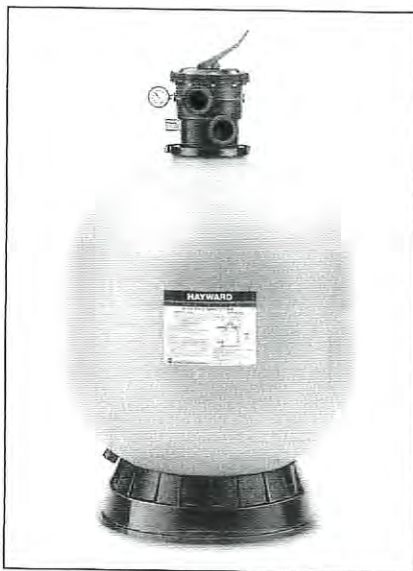
For replacement parts see pages 230-231, 238-243

ProSeries™

TOP-MOUNT SAND FILTERS – S220T, S220T2, S244T, S244T2, S270T, S270T2 AND S310T2 MODELS



S244T2 ProSeries 24" Filter with 2" VariFlo Control Valve



S310T2 ProSeries 30" Filter with 2" VariFlo Control Valve

ProSeries high-rate sand filters are molded of durable, corrosion-proof material for long-lasting performance. They feature attractive, unitized tank construction for years of trouble-free operation with only minimal care. ProSeries sets the standard for performance, value and dependability.

Applications

- In-ground pools of all types and sizes
- In-ground spas
- Water features (fish ponds, fountains, water gardens)

Features

- Flange clamp design allows 360° rotation of valve to simplify plumbing
- Integral top diffuser ensures even distribution of water over the top of the sand media bed. Full-size internal piping provides smooth, free-flowing performance
- Large pressure sand/water drain for rapid winterizing or servicing
- Unitized, corrosion-proof filter tank molded of rugged, colorfast polymeric material for dependable, all-weather performance
- 6 position Hayward 2" VariFlo® control valve with easy-to-use lever-action handle lets you dial any of the valve/filter functions. Integral sight glass lets you see when backwash cycle is completed
- Precision engineered umbrella-fold self cleaning laterals for balanced flow and backwashing, plus easy serviceability

ProSeries Buying Guide

EXPERT LINE

Model Number	Valve	Sand Capacity	Dimensions		Ctn. Qty.	Ctn. Weight
			Width	Height*		
S220T	1 ½" VariFlo	250 lbs.	22 ½"	41"	1	44 lbs.
S220T2	2" VariFlo	250 lbs.	22 ½"	41"	1	44 lbs.
S244T	1 ½" VariFlo	300 lbs.	24 ½"	42"	1	46 lbs.
S244T2	2" VariFlo	300 lbs.	24 ½"	42"	1	46 lbs.
S270T	1 ½" VariFlo	350 lbs.	27"	43"	1	56 lbs.
S270T2	2" VariFlo	350 lbs.	27"	43"	1	56 lbs.
S310T2	2" VariFlo	500 lbs.	30 ½"	48"	1	68 lbs.

NOTES: *Above dimensions are to top of valve.

Model Number	Description	Pipe Size	Valve Positions	Ctn. Qty.	Ctn. Weight
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Valve Selections

SP0714T	VariFlo	1 ½" FIP	7	1	5 lbs.
SP071621	VariFlo	2" FIP	6	1	8 lbs.

OPEN LINE

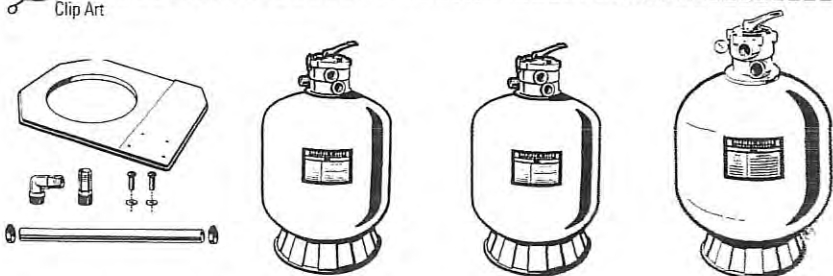
Model Number	Description	Ctn. Qty.	Ctn. Weight
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Modular System Base Paks

OPEN LINE

S160TPAK3	Universal pump and filter mounting base, complete with clear pump-to-filter hose, pipe adapters and hardware. Pre-drilled for PowerFlo LX™ Series, MaxFlo®, Super® and Super II™ Pumps.	1	12 lbs.
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Clip Art



Performance Data – Filter

Model Number	Effective Filtration Area	Design Flow Rate*	Turnover (In Gallons)	
			8 Hours	10 Hours
S220T/T2	2.64 ft. ²	52 GPM	24,960	31,200
S244T/T2	3.14 ft. ²	62 GPM	29,760	37,200
S270T/T2	3.70 ft. ²	74 GPM	35,520	44,400
S310T2	4.91 ft. ²	98 GPM	47,040	58,800

*Based on 20 GPM/ft.² (maximum allowable NSF rating).

Performance Data – Valve Positions

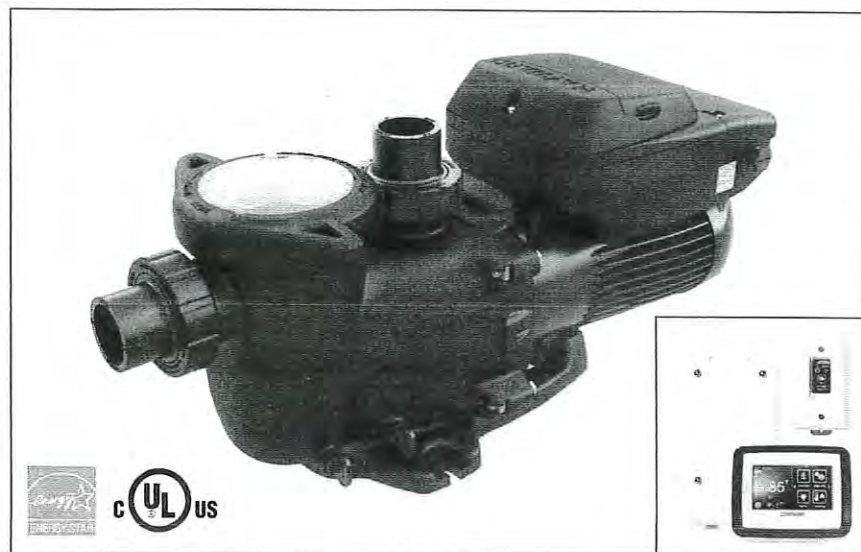
Model Number	Filter	Back-wash	Waste	Recirculate	Rinse	Closed	Winter
SP0714T	•	•	•	•	•	•	•
SP071621	•	•	•	•	•	•	—

MaxFlo VS® 500 (Omni®)

ULTRA-HIGH EFFICIENCY PUMPS

EXPERT LINE

Pumps



MaxFlo VS 500 Omni

MaxFlo VS 500 Specifications

Model Number	Total H.P.	WEF	Speed Range RPM	Voltage at 60 Hz	Port Size	Smart Pool Control	Ctn. Qty.	Ctn. Weight
HL2350020VSP*	1.65	10.2/10.7	600-3450	230/115	1 1/2" x 2"	Yes	1	63 lbs.
SP23520VSP*	1.65	10.2/10.7	600-3450	230/115	1 1/2" x 2"	No	1	63 lbs.

NOTE: *Extended Warranty is 3 years

MaxFlo VS 500 is a drop-in upgrade for MaxFlo models up to 1.5 HP. It features a new upgraded dual-voltage motor drive that delivers significantly quieter high-speed operation while maintaining optimal operating efficiency with increased reliability and product longevity. Also, a Viton® seal for long-lasting performance.

Hayward VS Omni ultra-high efficiency pumps provide next generation energy efficiency plus smart control of the entire pad including pumps, heaters, lighting, salt systems, cleaners, water features, and spa settings. Each model is supplied with everything needed to install smart pool control: VS Control Pad, Hub, and a Smart Relay. Up to two additional Smart Relays can be purchased for even more control including booster pumps, cleaner, backyard lighting, and water features.

Applications

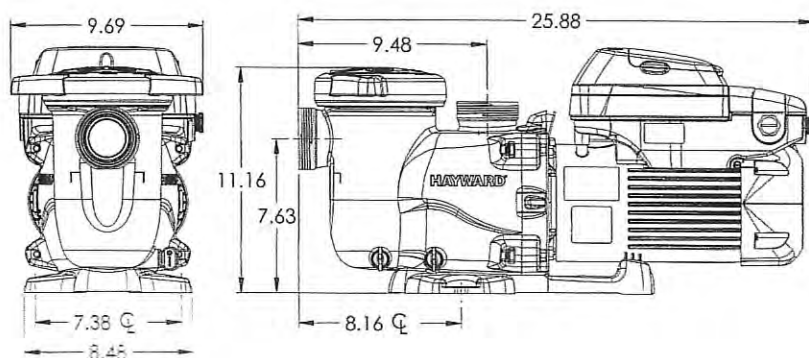
- In-ground pools
- In-ground spas

Features

- Delivers up to 80% energy savings*
- Dual-voltage motor drive maintains optimal operating efficiency for long-lasting performance
- Advanced, chemical-resistant Viton seal enhances durability in all environments
- VS Omni model provides smartphone control for the entire pad
- Up to two additional Smart Relays (HLH485RELAY) can be added for even more control options

*Actual savings may vary based on comparison pump model, hours of operation, electrical rate and other hydraulic aspects such as plumbing size and length.

Overall Dimensions (inches)



Performance Data*

RPM	Percent Output	Pump Output (GPM) vs. Total Resistance to Flow (Feet of Head)				
		10 ft	20 ft	30 ft	40 ft	50 ft
1725	50	30	—	—	—	—
2400	70	59	40	—	—	—
3000	87	80	68	52	27	—
3450	100	96	85	73	59	40

NOTE: *For 230V



M - I Bank - Milwaukee
M. iael Lane

PLAT OF SURVEY

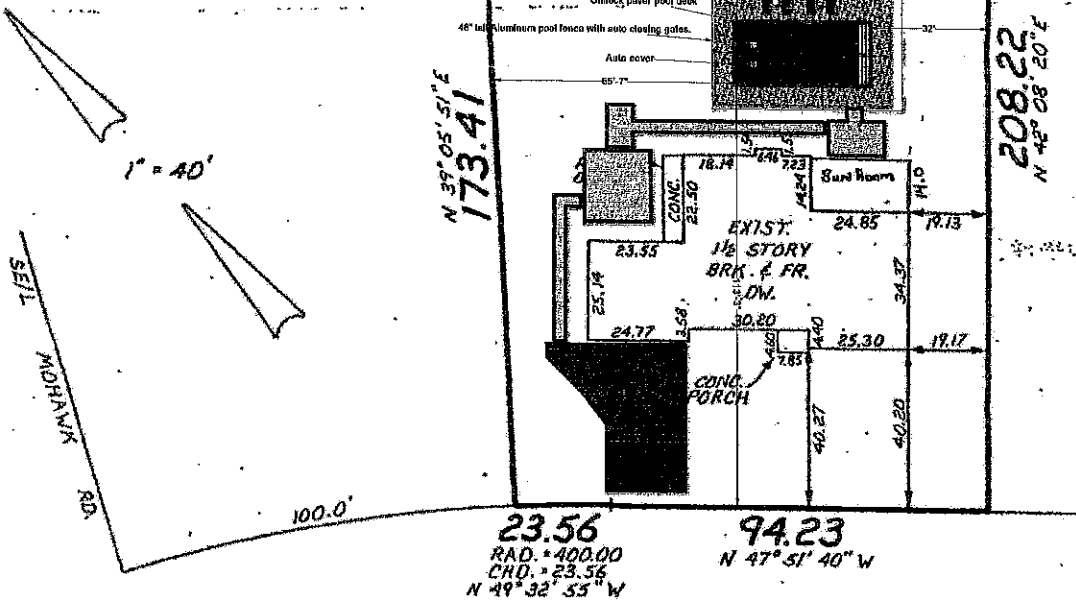
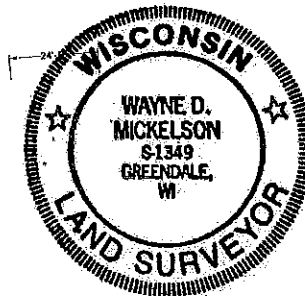
#347

LOCATION: 240 West Dunwood Road, Fox Point, Wisconsin

LEGAL DESCRIPTION: Lot 13 in Block 8 in BACON HOMESITES ADDITION, being a Re-subdivision of part of Parcel B, Block 5, Bacon Homesites and lands in the Northeast 1/4 of Section 17, Town 8 North, Range 22 East, in the Village of Fox Point, Milwaukee County, Wisconsin.

August 24, 1989

Survey No. 75498



01/11/2000 DN

M - I Bank - Milwaukee
M. Iael Lane

PLAT OF SURVEY

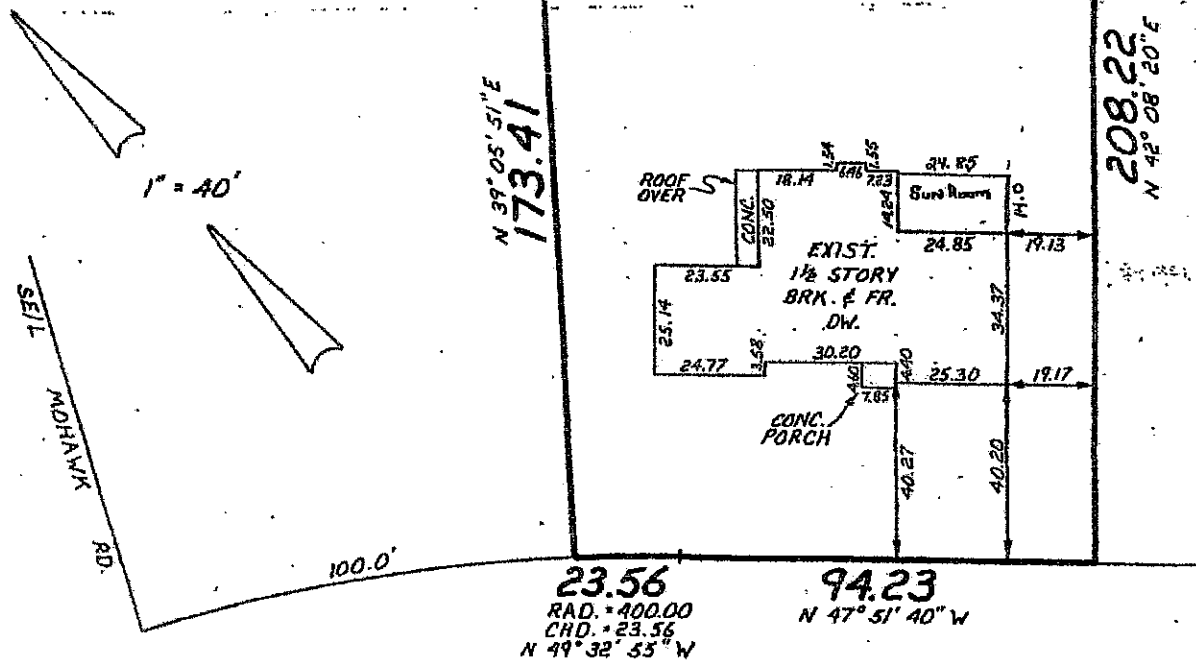
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Michael Rakow

From: mike@loomislandscaping.net
Sent: Thursday, April 6, 2023 4:49 PM
To: Michael Rakow
Subject: Loomis Pools
Attachments: IMG_5158.JPG; IMG_5161.JPG; IMG_5166.JPG

Hi Michael,

Here are the pictures and the green space calculations.

Total lot square footage is	26,780 sq ft
House footprint	3,820 sq ft
Pool footprint	576 sq ft
Pool terrace/deck	852 sq ft
Total green space sq ft	21,532 sq ft







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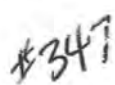
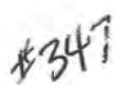
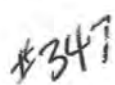
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