

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

Schwemer Hall
7200 North Santa Monica Blvd.
Fox Point, WI 53217

Wednesday
March 20, 2024
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/83517564136>

Meeting ID: 835 1756 4136

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the February 14, 2024 Building Board meeting.
3. Scott Silverson, 8305 N Links Way, proposed roof mounted solar.
4. David Grassl, 7338 N Navajo Rd, proposed addition.
5. Steve Fouhal, 1130 E Dean Rd, proposed sunroom.
6. Adjourn.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, February 14, 2024, at 5:00 pm. Those present included:

Justin Racinowski
Jeff Weber
William Feldman
Sharon Celek-Absent
Lucille Sells-Absent
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by Jeff Weber to approve the minutes of January 10, 2024, as discussed and amended. Motion was seconded by William Feldman. Motion Caried.

AGENDA

1. **Kristen Bachman, 805 E Dean Rd, proposed roof mounted solar.** It was the consensus of the Building Board to approve as submitted.
2. **Lisa Mussak, 7121 N Barnett Ln, proposed greenhouse.** It was the consensus of the Building Board to approve as submitted.
3. **Kendall Strand, 506 E Bradley Rd, proposed detached garage.** It was the consensus of the Building Board to approve as submitted.
4. **Scott Davis, 7748 N Club Cir, proposed covered patio, detached garage, and covered pavilion with deck.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by William Feldman. Motion seconded by Jeff Weber. Motion Caried. Building Board adjourned at 5:28 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B-

OFFICE USE ONLY

Issued Date

Zoning

BUILDING PERMIT

Job Address 8305 N Links Way	Building Type: Residential ☒ Commercial ☐
Description of Work	
Installation of a roof mounted solar array	
Estimated Cost of Project \$29,835	

Owner/Occupant	
Business Name	Contact Name Scott Silverson
Address 8305 N Links Way	City/State/Zip Fox Point, WI 53217
Phone (414) 234-0340	Email scott@plinthgroup.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Eagle Point Solar LLC	Contact Name Ashton Holly
Address 2400 Kerper Blvd Ste A20	City/State/Zip Dubuque, IA 52001
Phone (563) 582-4044	Email permits@eaglepointsolar.com
Dwelling Contractor #DC092101006	Dwelling Contractor Qualifier #DCQ092201068

Square Footage Under Construction

1 st Floor	2 nd Floor	Basement	Addition	Garage
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Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	290
Building Board	\$75.00	75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$290

Applicant Signature

Rev 01/22

Date

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.059977

Feb 23, 2024

8305 N LINKS

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	
Total:	75.00
CHECK Check No: 22292	75.00
Payor: EAGLE POINT SOLAR	
CHECK	.00
Payor: EAGLE POINT SOLAR	
Total Paid:	75.00
Total Applied:	75.00
Change Tendered:	.00

02/23/2024 11:32 AM



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6822
www.villageoffoxpoint.com

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service.

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Scott Silversen

Homeowner's Name – PRINTED

DocuSigned by:

Scott Silversen

005F0E92EED11111...

Homeowner's Signature

8305 N Links Way

Property Address

2/6/2024

Date

DAVID C. HERNANDEZ, PE

513-418-8812 

4912 Prospect Ave., Blue Ash OH 45242 

davehernandezpe@gmail.com 

DATE: February 14, 2024

RE: 8305 N Links Way, Fox Point, WI 53217, USA

To Whom It May Concern,

As per your request, Exactus Energy has inspected the structure and has conducted a structural assessment of the building at the above address.

PV solar panels are proposed to be installed on roof areas as indicated with labeling or the presence of modules in the appended roof layout. The panels are clamped to rails which are attached to the roof with a lagged mounting system. The PV system (PV modules, racking, mounting hardware, etc.) shall be installed according to the manufacturer's approved installation specifications. The Engineer of Record and Exactus Energy claim no responsibility for misuse or improper installation.

It was found that the roof structures satisfactorily meet the applicable standards included in the Wisconsin Uniform Dwelling Code, IBC 2015, IRC 2015, IEBC 2015 and ASCE 7-10 as well as the design criteria shown below:

Design Criteria:

Risk Category	= II
Exposure Category	= C
Wind speed	= 115 mph
Ground snow load	= 30 psf
Roof dead load	= 12 psf
Solar system dead load	= 3 psf

Overall, the roof area is structurally adequate to support the PV alteration with no modifications or reinforcements as required per 2015 IEBC Sections 402.3 and 403.3

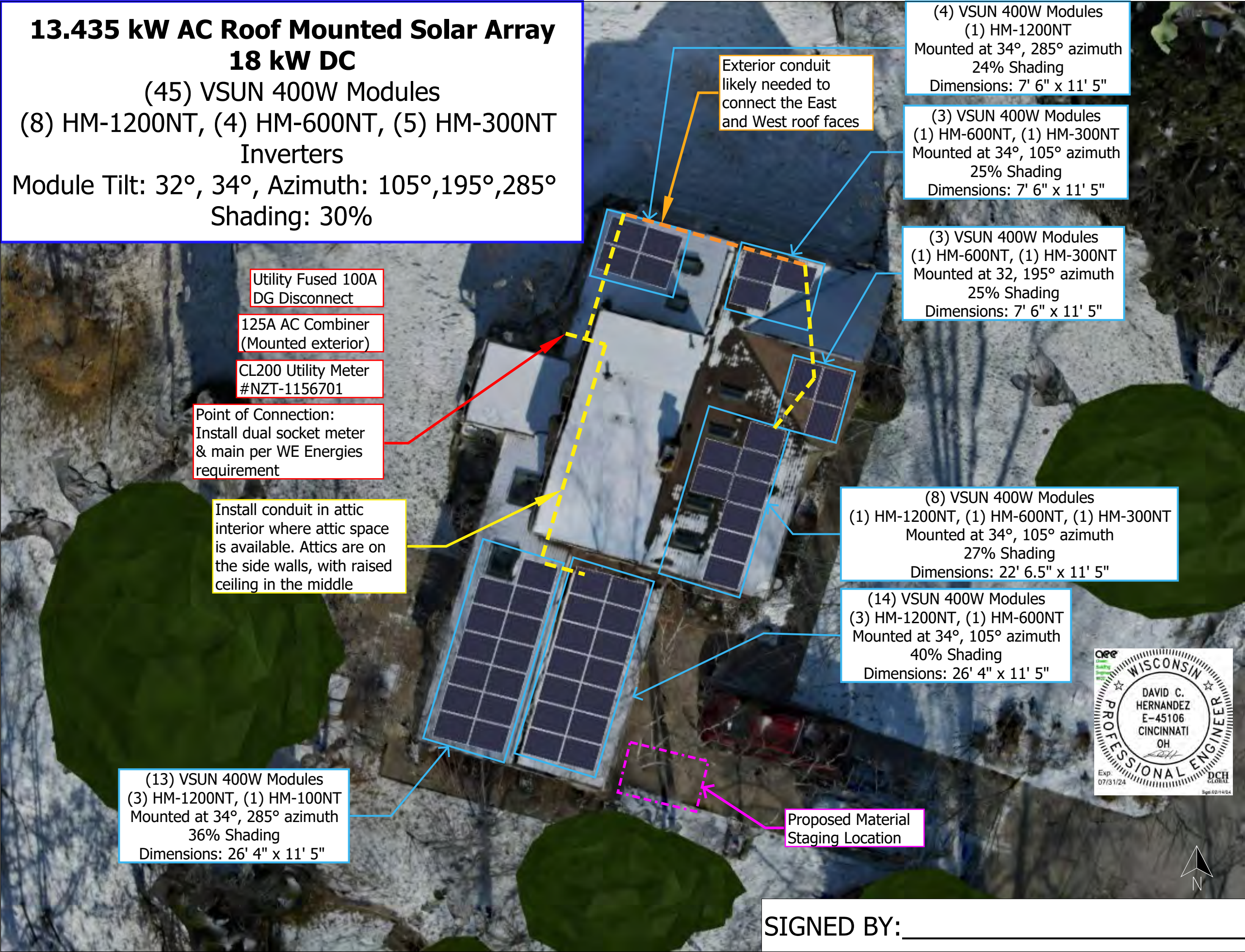
This letter was completed in accordance to recognized design standards, professional engineering experience, and judgement. Prior to installation, the on-site contractor must notify Exactus Energy if there are any discrepancies, or damages to the members, that was not addressed in the plan set.

If you have any further questions, please do not hesitate to contact me.

Acknowledged by:



13.435 kW AC Roof Mounted Solar Array
18 kW DC
(45) VSUN 400W Modules
(8) HM-1200NT, (4) HM-600NT, (5) HM-300NT
Inverters
Module Tilt: 32°, 34°, Azimuth: 105°,195°,285°
Shading: 30%



Eagle Point Solar
2400 Kerper Blvd
Ste A-20
Dubuque, IA 52001
(536)-582-4044

PROJECT
Scott Silverson
(Residence)

CLIENT / SITE
Scott Silverson
8305 N Links Way,
Fox Point, WI, 53217
(414) 234-0340

Solar Energy Consultant
Cory Wernimont
563-552-9576

DATE					
DESCRIPTION	Plot plan and one line done				
REV	1.0	2.0	3.0	4.0	5.0

SHEET TITLE
Utility Plot Plan

DESIGNER

Photovoltaic
Justin Williams
PVA-080323-015392

DRAWN BY (If Applicable)

SITE ASSESSOR
Rory Mulgrew

ELECTRICAL ESTIMATOR
TBD

UTILITY
WE Energies

EDITION DATE
January 12, 2024

03 **REVISION**
1.0

Sheet Index	
Page #	Description
1	Cover Page
2	Bill of Materials
3	Utility Plot Plan
4	Install Plot Plan
5	Equipment Plan
6	Racking
7	Stringing
8	One Line
9	Utility Grid Settings
10	Module Datasheet
11	Racking Datasheet
12	Inverter Datasheet
13	Inverter Datasheet
14	Inverter Datasheet
15	Placards/Labels

Silverson, Scott

8305 N Links Way, Fox Point, WI, 53217
Scott Silverson - (414) 234-0340



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(536)-582-4044

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Solar Energy Consultant
Cory Wernimont
563-552-9576

DATE					
DESCRIPTION	Plot plan and one line done				
REV	1.0	2.0	3.0	4.0	5.0

SHEET TITLE
Cover Page

DESIGNER

Photovoltaic
Justin Williams
PVA-080323-015392

DRAWN BY (If Applicable)

SITE ASSESSOR
Rory Mulgrew
ELECTRICAL ESTIMATOR
Paul Hundrieser

UTILITY
WE Energies

EDITION DATE
February 14, 2024

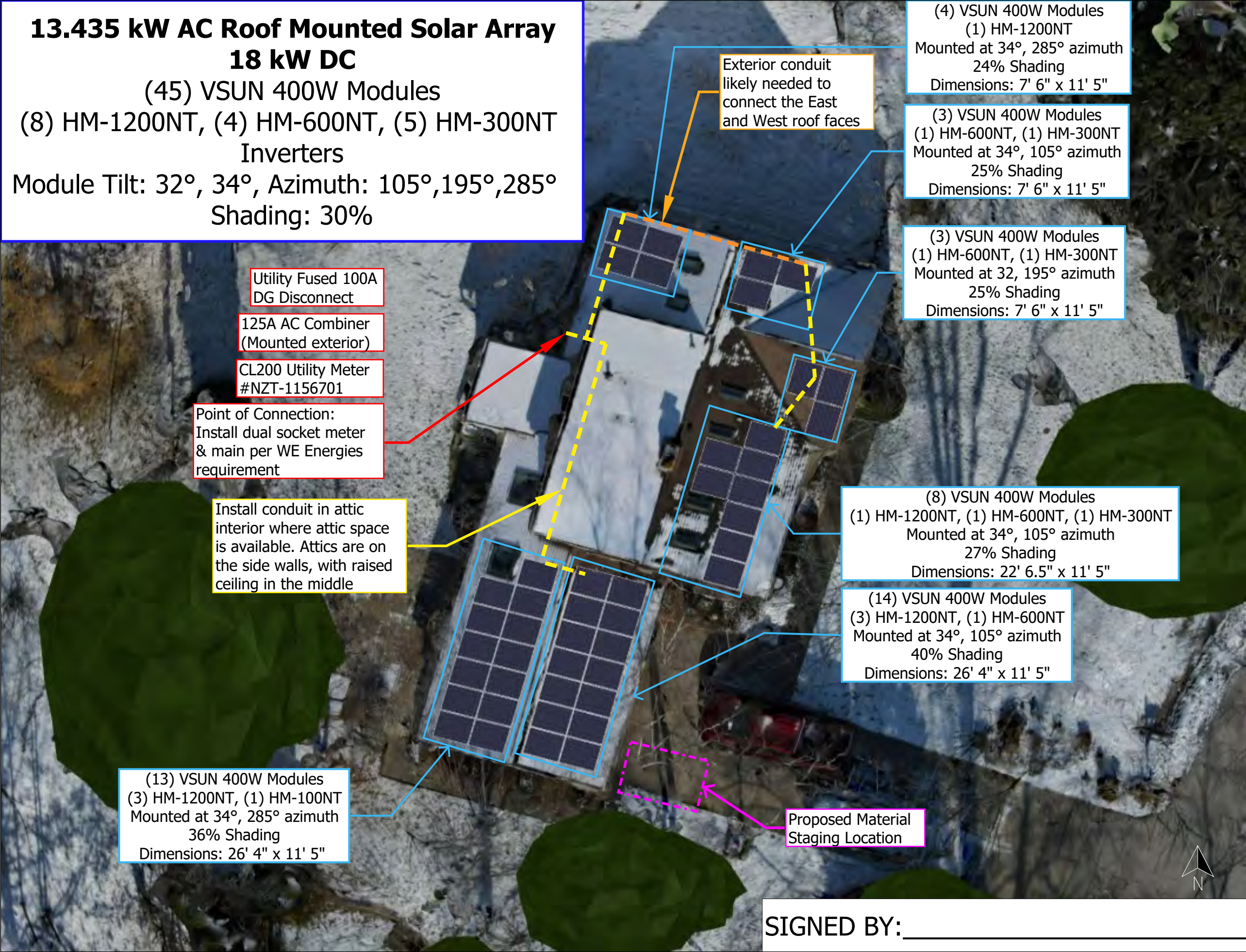
01	REVISION 1.0
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Project Notes
Attic space above garage runs down the center.
Attic space throughout the house mainly runs on both sides. This will affect conduit routes.

Project Name: Silverson Scott - House								Eagle Point SOLAR Eagle Point Solar 2400 Kerper Blvd Ste A-20 Dubuque, IA 52001 (536)-582-4044																									
Location: 8305 N Links Way, Fox Point, WI, 53217																																	
Location	Material	Manufacturer	Model	Qty Needed	Qty Recommended	Van Meter SKU	Review Qty	PROJECT Scott Silverson (Residence) CLIENT / SITE Scott Silverson 8305 N Links Way, Fox Point, WI, 53217 (414) 234-0340 Solar Energy Consultant Cory Wernimont 563-552-9576 <table><tr><td>DATE</td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>DESCRIPTION</td><td>Plot plan and one line done</td><td></td><td></td><td></td><td></td></tr><tr><td>REV</td><td>1.0</td><td>2.0</td><td>3.0</td><td>4.0</td><td>5.0</td></tr></table> SHEET TITLE Bill of Materials DESIGNER NABCEP ASSOCIATE Photovoltaic Justin Williams PVA-080323-015392 DRAWN BY (If Applicable)								DATE						DESCRIPTION	Plot plan and one line done					REV	1.0	2.0	3.0	4.0	5.0
DATE																																	
DESCRIPTION	Plot plan and one line done																																
REV	1.0	2.0	3.0	4.0	5.0																												
Site	Modules	VSUN	VSUN400-108BMH	45	45	.10104885																											
Site	Racking - Roof	K2 CrossRail 44-X - Dark	CrossRail 44-X Max, 172", Dark	30	30	.10216740																											
Site	Racking - Roof	K2 CrossRail 44-X - Dark	Rail Connector CR 44-X, Set, Dark	10	12	.10040783																											
Site	Racking - Roof	K2 CrossRail 44-X - Dark	K2 Cross Clamp Set, Dark	114	116	.10236529																											
Site	Racking - Roof	K2 CrossRail 44-X - Dark	K2 Flex Foot Kit, Dark w/EverSeal	90	96	.10235672																											
Site	Racking - Roof	K2 CrossRail Accessories	Deck Screw, #14 x 1-1/2" x 5/16	90	96	.10182965																											
Site	Racking - Roof	K2 CrossRail Accessories	End Cap 44-X , K2	48	50	.10042630																											
Site	Racking - Roof	K2 CrossRail Accessories	13x25mm T-Bolt Kit	90	96	.10182967																											
Site	Racking - Roof	K2 CrossRail Accessories	CR Micro inverter & OPT, 13mm Hex Kit	34	36	.10040786																											
Site	Racking - Roof	K2 CrossRail Accessories	K2 Ground Lug Set	12	14	.10040787																											
Site	Racking - Roof	K2 CrossRail Accessories	Wire Management Clip, TC (50/Bag)	50	50	.10041085																											
Shop	Microinverters	Hoymiles	HM-300NT, Bus Cable	5	5	.7846432																											
Shop	Microinverters	Hoymiles	HM-600NT, Bus Cable	4	4	.7846434																											
Shop	Microinverters	Hoymiles	HM-1200NT, Bus Cable	8	8	.7846436																											
Shop	Microinverters	Hoymiles Accessories	2.3M Bus Cable	17	17	.10086790																											
Shop	Microinverters	Hoymiles Accessories	Bus Cable End Cap (Unused Top of T Connector)	3	3	.7846445																											
Shop	Microinverters	Hoymiles Accessories	10/3 THHN Tray Cable - BLK-RED-GRN (per Foot)	20	30	.10002599																											
Shop	Racking - Roof	SolaDeck	SOLADECK 0799-5B	6	6	.7726240																											
Shop	Communications	Hoymiles Accessories	DTU PRO Wireless Communication	1	1	.7821361																											
Shop	Communications	EPS Comm Packages	CAT5 5' Cable (DTU Pro)	1	1	.541622																											
Non-VM Material	DC Connectors	Apmphenol Solar	MC4/H4 Male End Cap	56	56	.10008653																											
Non-VM Material	DC Connectors	Apmphenol Solar	MC4/H4 Female End Cap	56	56	.10008654																											
Non-VM Material	EPS Yard Sign	EPS Yard Sign	EPS Yard Sign	1	1																												
Recommended Equipment								ELECTRICAL ESTIMATOR Paul Hundrieser																									
								UTILITY WE Energies																									
								EDITION DATE February 14, 2024																									
								02				REVISION 1.0																					

13.435 kW AC Roof Mounted Solar Array
18 kW DC
(45) VSUN 400W Modules
(8) HM-1200NT, (4) HM-600NT, (5) HM-300NT
Inverters
Module Tilt: 32°, 34°, Azimuth: 105°,195°,285°
Shading: 30%



Eagle Point Solar
2400 Kerper Blvd
Ste A-20
Dubuque, IA 52001
(536)-582-4044

PROJECT
Scott Silverson
(Residence)

CLIENT / SITE
Scott Silverson
8305 N Links Way,
Fox Point, WI, 53217
(414) 234-0340

Solar Energy Consultant
Cory Wernimont
563-552-9576

DATE					
DESCRIPTION	Plot plan and one line done				
REV	1.0	2.0	3.0	4.0	5.0

SHEET TITLE
Utility Plot Plan

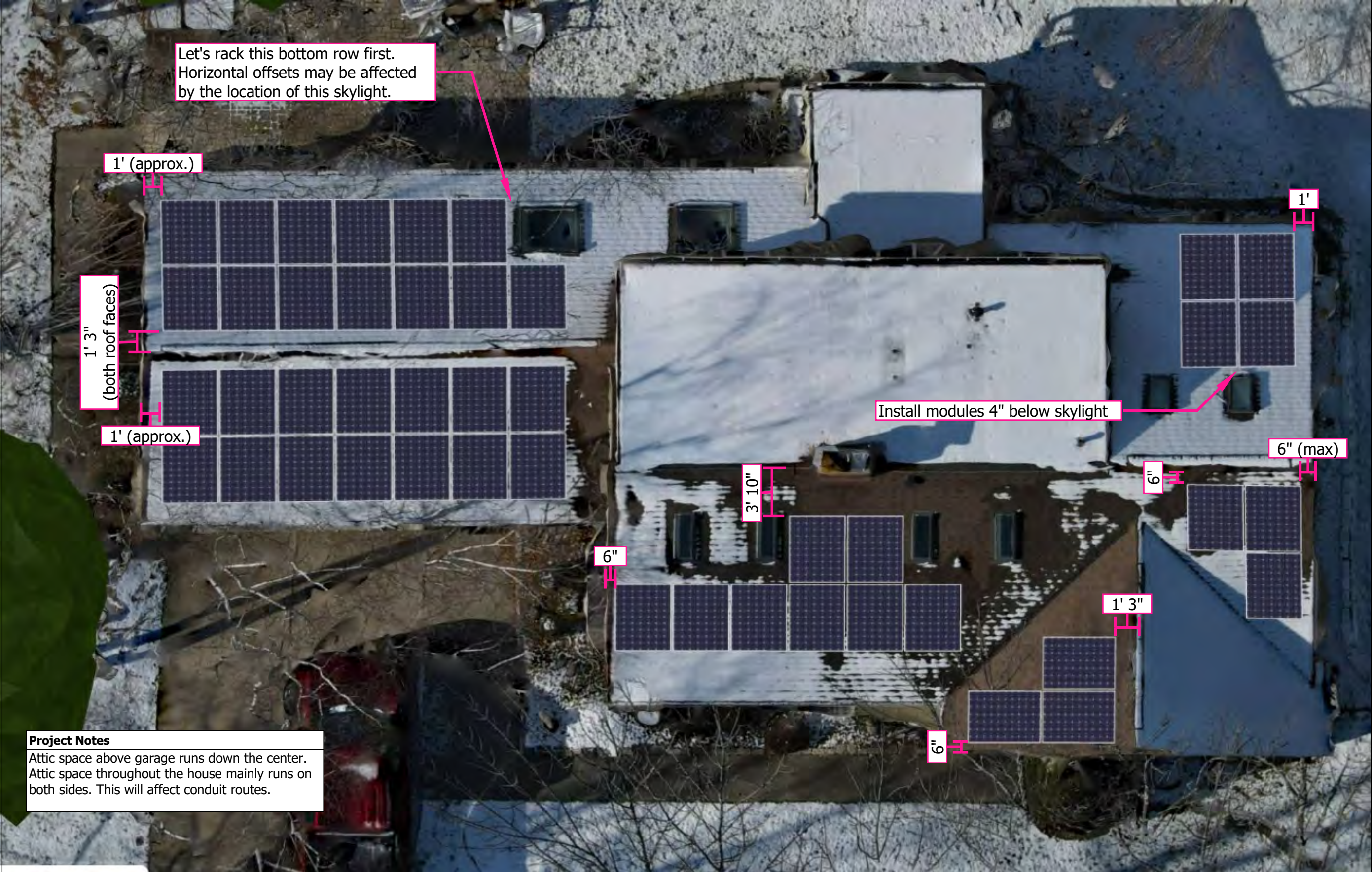
DESIGNER


Photovoltaic
Justin Williams
PVA-080323-015392

DRAWN BY (If Applicable)

SITE ASSESSOR
Rory Mulgrew
ELECTRICAL ESTIMATOR
Paul Hundrieser
UTILITY
WE Energies
EDITION DATE
February 14, 2024

03 **REVISION**
1.0



Project Notes
Attic space above garage runs down the center.
Attic space throughout the house mainly runs on both sides. This will affect conduit routes.



Eagle Point Solar
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PROJECT
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8305 N Links Way,
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(414) 234-0340

Solar Energy Consultant
Cory Wernimont
563-552-9576

DATE					
DESCRIPTION	Plot plan and one line done				
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SHEET TITLE
Install Plot Plan

DESIGNER



Photovoltaic
Justin Williams
PVA-080323-015392

DRAWN BY (If Applicable)

SITE ASSESSOR
Rory Mulgrew

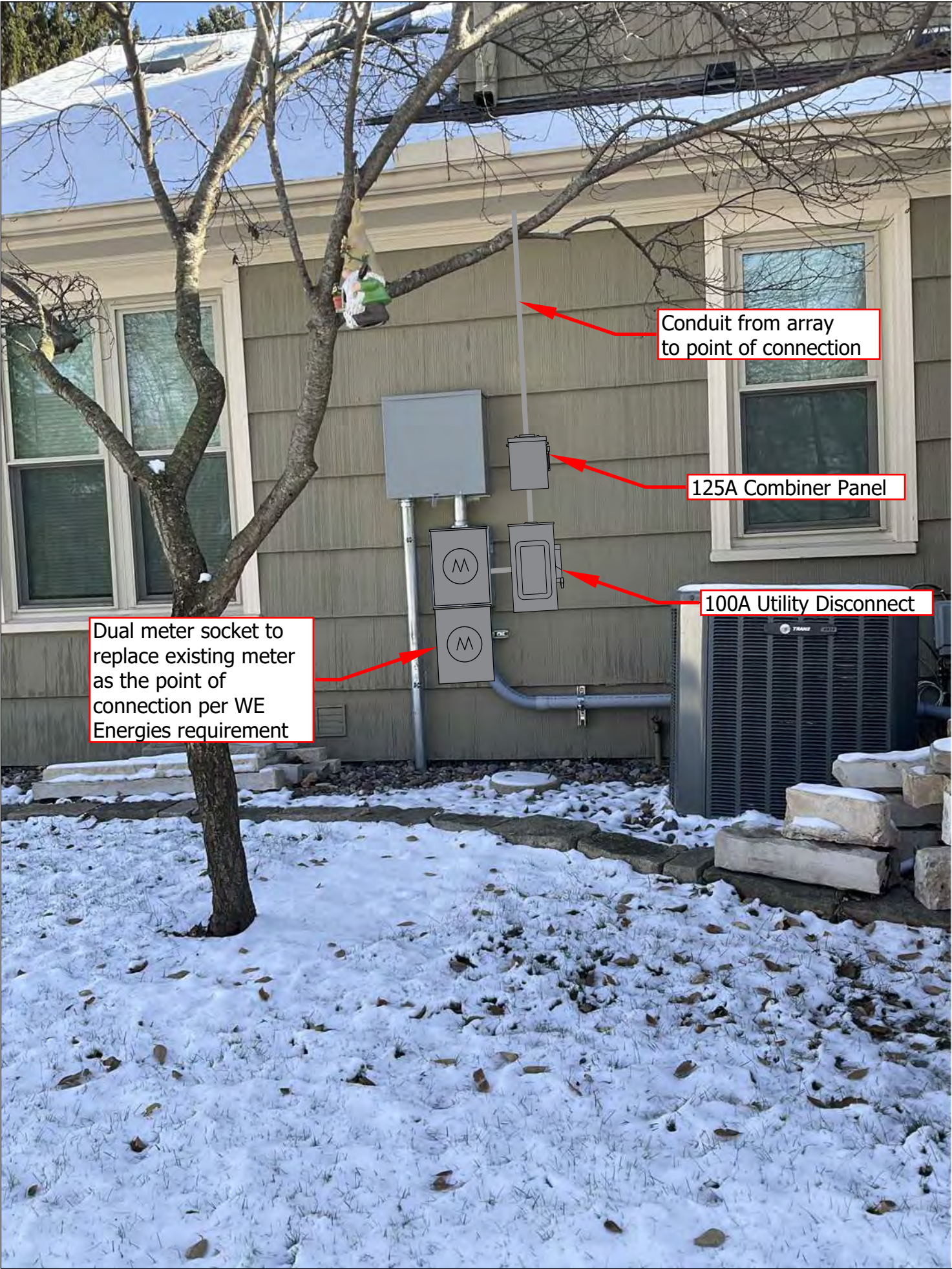
ELECTRICAL ESTIMATOR
Paul Hundrieser

UTILITY
WE Energies

EDITION DATE
February 14, 2024

04

REVISION
1.0



SIGNED BY: _____



Eagle Point Solar
2400 Kerper Blvd
Ste A-20
Dubuque, IA 52001
(536)-582-4044

PROJECT
Scott Silverson
(Residence)

CLIENT / SITE
Scott Silverson
8305 N Links Way,
Fox Point, WI, 53217
(414) 234-0340

Solar Energy Consultant
Cory Wernimont
563-552-9576

DATE					
DESCRIPTION	Plot plan and one line done				
REV	1.0	2.0	3.0	4.0	5.0

SHEET TITLE
Equipment Plan

DESIGNER

Photovoltaic
Justin Williams
PVA-080323-015392

DRAWN BY (If Applicable)

SITE ASSESSOR
Rory Mulgrew

ELECTRICAL ESTIMATOR
Paul Hundrieser

UTILITY
WE Energies

EDITION DATE
February 14, 2024

05	REVISION 1.0
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Eagle Point Solar
2400 Kerper Blvd
Ste A-20
Dubuque, IA 52001
(536)-582-4044

PROJECT
Scott Silverson
(Residence)

CLIENT / SITE
Scott Silverson
8305 N Links Way,
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(414) 234-0340

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Cory Wernimont
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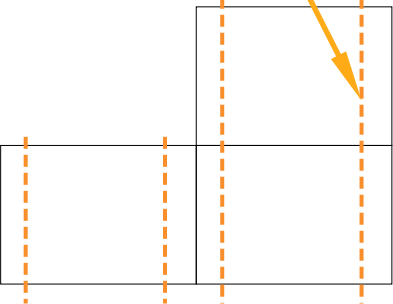
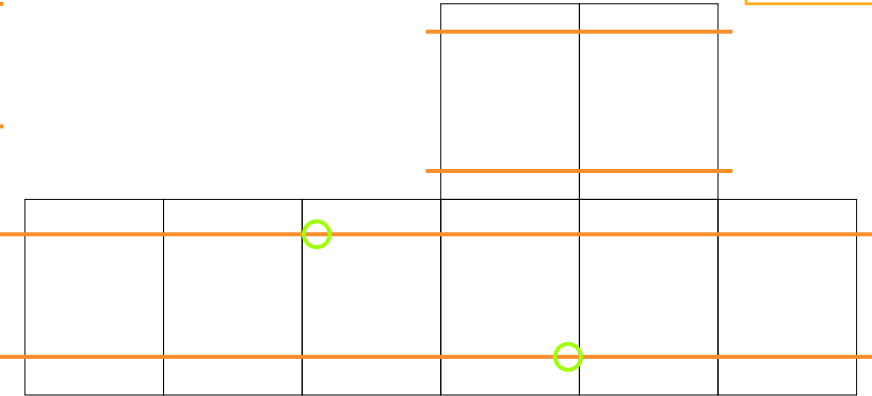
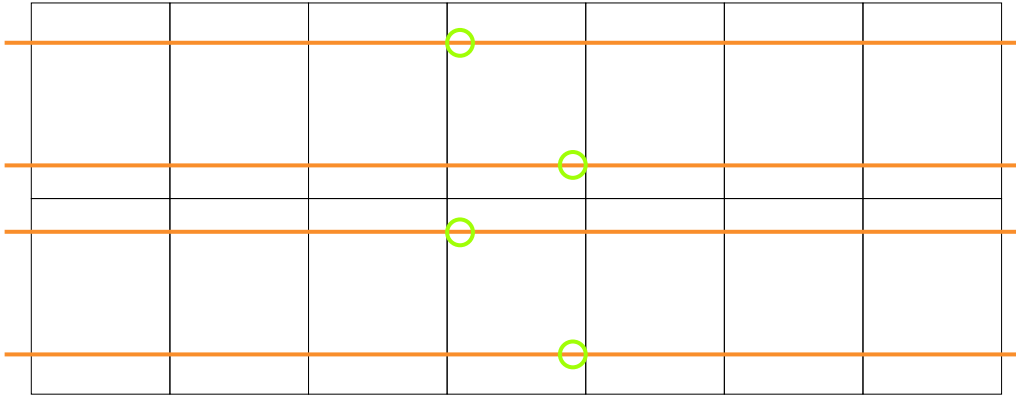
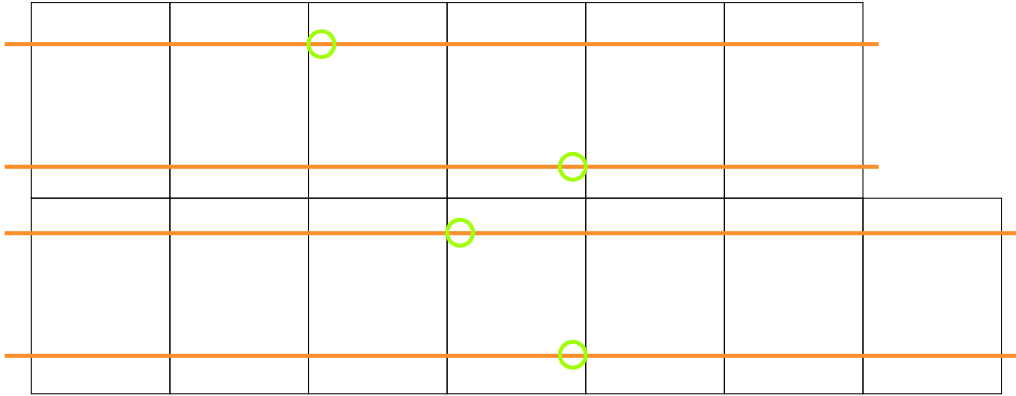
SHEET TITLE
Racking

DESIGNER

Photovoltaic
Justin Williams
PVA-080323-015392

DRAWN BY (If Applicable)

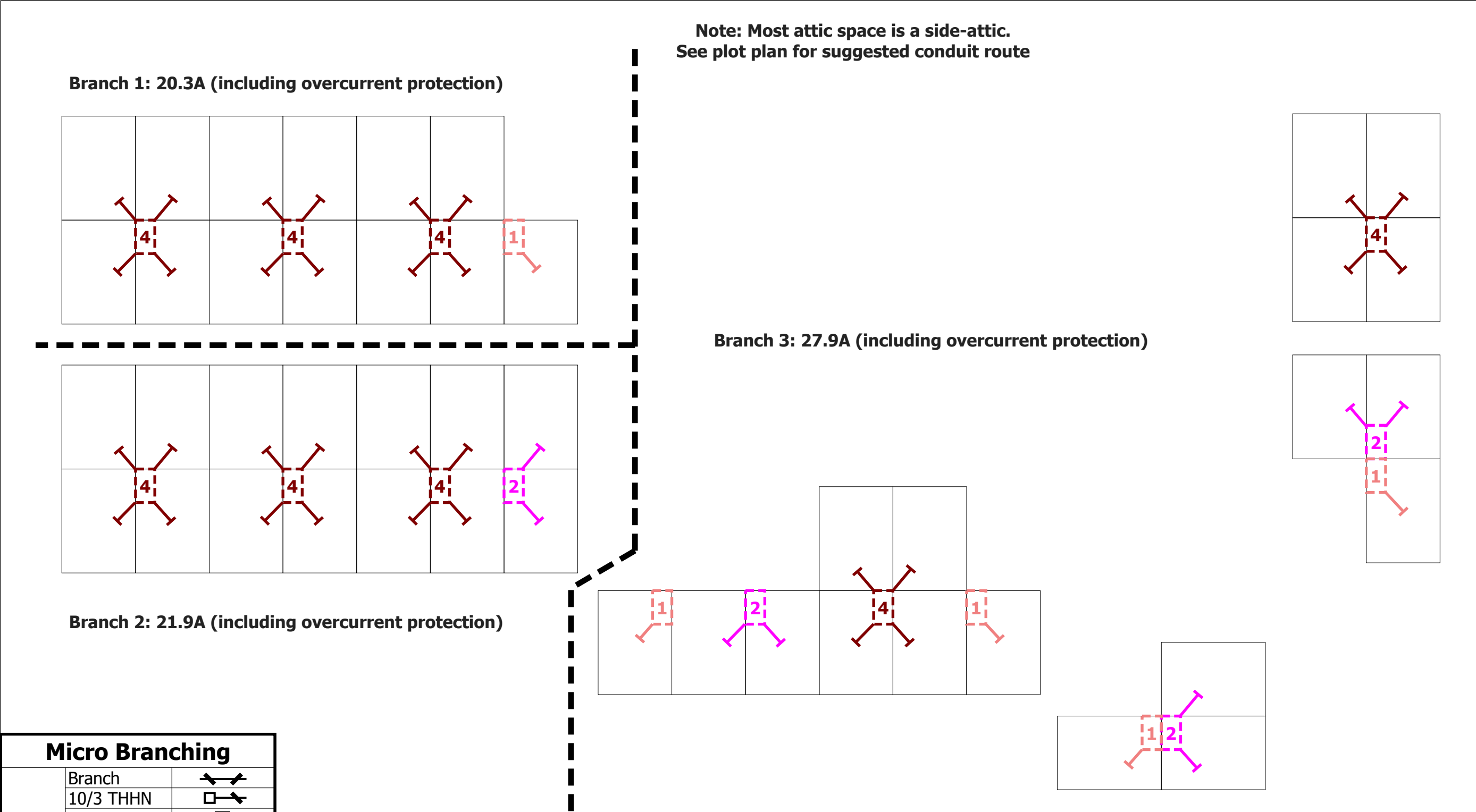
SITE ASSESSOR Rory Mulgrew	
ELECTRICAL ESTIMATOR Paul Hundrieser	
UTILITY WE Energies	
EDITION DATE February 14, 2024	
06	REVISION 1.0



Use leftover rail from the 2
modules to span the 1 module
(2) rails each per these roof faces
(2) VSUN400-108: 93.8"
78.2" leftover from 172" rail

Note: Only 172" Rail available at this time

K2 Systems Racking			K2 Systems Torque Specs		Layout Design Specs	Max Span (Feet)	7' 11"	VSUN400-108B-BB				
KEY	141" Rail		Part	Torque ft.-lbs				Module Dimensions	Length (Inches)	67.8"or 67 - 13/16"		
	172" Rail		K2 Cross Clamp Hex Head: M8	12						Width (Inches)	44.65" or 44 11/16"	
	186" Rail		Yeti Clamps: M8 Hex Bolts	12							Thickness (mm)	30 mm
	231" Rail		T-Bolts: M10	25.8								
	Splice		K2 Grnd Lug: M8 Hex Bolts/Screw	10.3 / 3-5								
	Flashing		CR Micro & Opti Mounting Kit: M8 T-Bolt	10-15								
	S5		MLPE Kit	15								
	Truss/Purlin		Lag Screw: Flatten Washer	8.3 - 11.6		Calculated Span for BOM	32"					



Micro Branching		
KEY	Branch	
	10/3 THHN	
	SolaDeck	
	1 to 1 Micros	
	2 to 1 Micros	
	3 to 1 Micros	
	4 to 1 Micros	
Ex:	3 - 10	Branch 3 10 Modules

VSUN400-108B-BB		
Module Dimensions	Length (Inches)	67.8" or 67 - 13/16"
	Width (Inches)	44.65" or 44 11/16"
	Thickness (mm)	30 mm

Eagle Point Solar
2400 Kerper Blvd
Ste A-20
Dubuque, IA 52001
(536)-582-4044

PROJECT
Scott Silverson (Residence)

CLIENT / SITE
Scott Silverson
8305 N Links Way,
Fox Point, WI, 53217
(414) 234-0340

Solar Energy Consultant
Cory Wernimont
563-552-9576

DATE					
DESCRIPTION	Plot plan and one line done				
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SHEET TITLE
Stringing

DESIGNER

Photovoltaic
Justin Williams
PVA-080323-015392

DRAWN BY (If Applicable)

SITE ASSESSOR
Rory Mulgrew

ELECTRICAL ESTIMATOR
Paul Hundrieser

UTILITY
WE Energies

EDITION DATE
February 14, 2024

07	REVISION 1.0
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No Utility Grid Settings to Input

					
Eagle Point Solar 2400 Kerper Blvd Ste A-20 Dubuque, IA 52001 (536)-582-4044					
PROJECT Scott Silverson (Residence)					
CLIENT / SITE Scott Silverson 8305 N Links Way, Fox Point, WI, 53217 (414) 234-0340					
Solar Energy Consultant Cory Wernimont 563-552-9576					
DATE					
DESCRIPTION	Plot plan and one line done				
REV	1.0	2.0	3.0	4.0	5.0
SHEET TITLE Utility Grid Settings					
DESIGNER  Photovoltaic Justin Williams PVA-080323-015392					
DRAWN BY (If Applicable)					
SITE ASSESSOR Rory Mulgrew					
ELECTRICAL ESTIMATOR Paul Hundrieser					
UTILITY WE Energies					
EDITION DATE February 14, 2024					
09					REVISION 1.0

VSUN405-108BMH

405W

Highest power output

20.74%

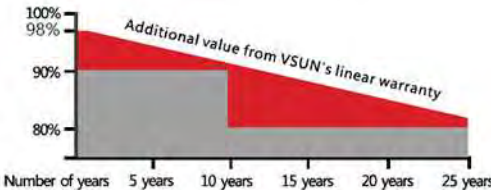
Module efficiency

12years

Material & Workmanship warranty

30years

Linear power output warranty



■ VSUN

■ Standard Warranty

Munich RE



MBB technology with Circular Ribbon



Higher output power



Half-cell Technology



Positive tolerance offer

VSUN405-108BMH

VSUN400-108BMH

VSUN395-108BMH

VSUN390-108BMH



Bifacial cells, converting more sunlight into electricity



CSA 61730 & UL 61730
IEC 61215 & IEC 61730



Certified for salt/ammonia corrosion resistance



Load certificates: wind to 2400Pa and snow to 5400Pa



Lower LCOE

VSUN, a BNEF Tier-1 PV module manufacturer invested by Fuji Solar, has been committed to providing greener, cleaner and more intelligent renewable energy solutions. VSUN is dedicated to bringing reliable, customized and high-efficient products into various markets and customers worldwide



Products have been certified according to CSA 61730/UL61730 under CSA's ISO/IEC 17065 accreditation with the Standards Council of Canada (SCC).

Engineered in Japan
www.vsun-solar.com

最も信頼出来る再エネパートナー

Electrical Characteristics at Standard Test Conditions(STC)

Module Type	VSUN405-108BMH	VSUN400-108BMH	VSUN395-108BMH	VSUN390-108BMH
Maximum Power - Pmax (W)	405	400	395	390
Open Circuit Voltage - Voc (V)	37.36	37.2	37.03	36.84
Short Circuit Current - Isc (A)	13.78	13.68	13.59	13.5
Maximum Power Voltage - Vmpp (V)	31.36	31.17	31	30.82
Maximum Power Current - Impp (A)	12.92	12.84	12.75	12.66
Module Efficiency	20.74%	20.48%	20.23%	19.97%
Standard Test Conditions (STC): irradiance 1,000 W/m ² ; AM 1.5; module temperature 25°C. Pmax Sorting : 0~5W. Measuring Tolerance: ±3%. Remark: Electrical data do not refer to a single module and they are not part of the offer. They only serve for comparison among different module types.				

Electrical Characteristics with different rear side power gain(reference to 400 front)

Pmax (W)	Voc (V)	Isc (A)	Vmpp (V)	Impp (A)	Pmax gain
420	37.1	14.36	31.17	13.48	5%
440	37.1	15.05	31.17	14.12	10%
479	37.2	16.42	31.12	15.41	20%
499	37.2	17.10	31.12	16.05	25%

Material Characteristics

Dimensions	1722×1134×30mm (L×W×H)
Weight	21.4kg
Frame	Black anodized aluminum profile
Front Glass	White toughened safety glass, 3.2 mm
Cell Encapsulation	EVA (Ethylene-Vinyl-Acetate) or POE
Back Glass	Transparent black-mesh backsheet
Cells	12×9 pieces monocrystalline solar cells series strings
Junction Box	IP68, 3 diodes
Cable&Connector	Potrait: 1300 mm (cable length can be customized), 1×4 mm ² , compatible with MC4

Packaging

Dimensions(L×W×H)	1760×1125×1253mm
Container 20'	210
Container 40'	455
Container 40'HC	828 for US

System Design

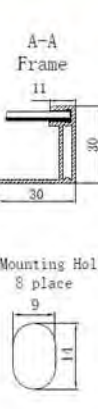
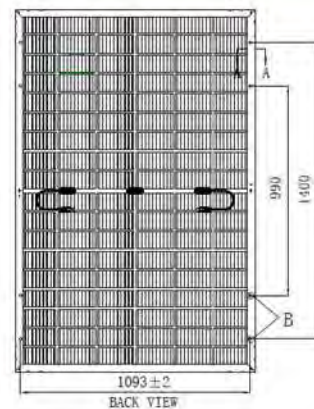
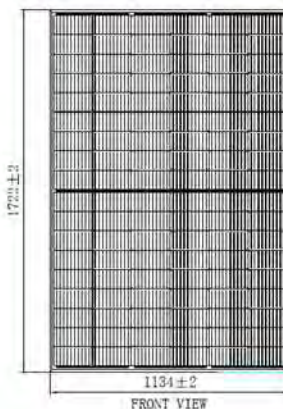
Maximum System Voltage [V]	1500
Series Fuse Rating [A]	30
Bifaciality	70%±10%
Fire Rating	Class C for IEC and TYPE 1 for US
PV module classification	Class II
Temperature Range	-40 °C to + 85 °C
Maximum Surface Load	5,400 Pa
Application class	class A
Withstanding Hail	Maximum diameter of 25 mm with impact speed of 23 m/s

Temperature Characteristics

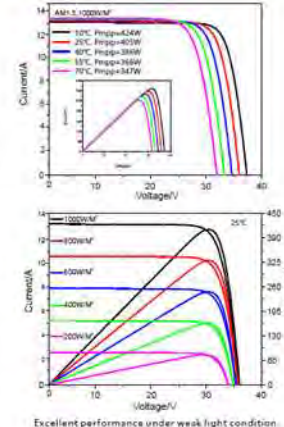
NOCT	45°C(±2°C)
Voltage Temperature Coefficient	-0.27%/°C
Current Temperature Coefficient	+0.054%/°C
Power Temperature Coefficient	-0.32%/°C

Dimensions

Note:mm



IV-Curves



Eagle Point Solar
2400 Kerper Blvd
Ste A-20
Dubuque, IA 52001
(536)-582-4044

PROJECT
Scott Silversen
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DATE					
DESCRIPTION	Plot plan and one line done				
REV	1.0	2.0	3.0	4.0	5.0

SHEET TITLE Module Datasheet

DESIGNER



Photovoltaic
Justin Williams
PVA-080323-015392

DRAWN BY (If Applicable)

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EDITION DATE
February 14, 2024

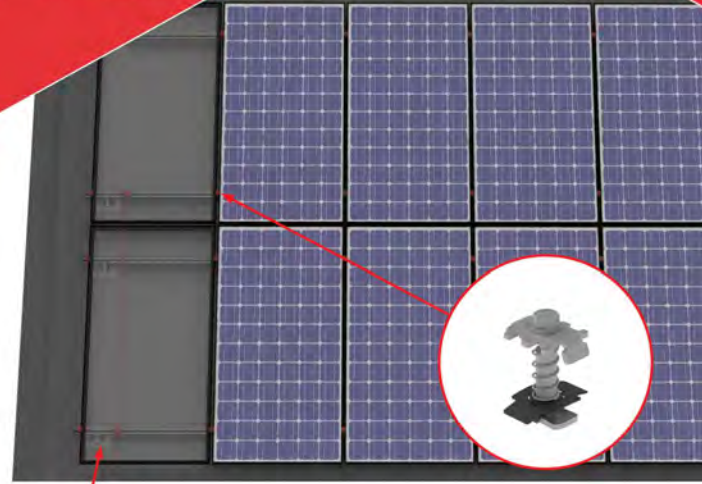
10

REVISION
1.0

CrossRail System



DATA SHEET



In-Rail Wire Management
/ 4 open channel rail types available
/ Wires help with clamps and wire management clips
/ 3 clip types available



K2 Flash Comp Kit Waterproofing
/ Water Shield redirects water away from penetration
/ K2 EverSeal preassembled on L-Foot
/ EPDM backed sealing washing on lag screw

PRODUCT FEATURES



- / High quality, German-engineered system for residential and commercial installations
- / 4 rail sizes available to suit all structural conditions
- / Universal components for all rail types
- / Use 2 innovative components to turn this system into Shared Rail or Tilt Up
- / MK3 technology provides highest rail engagement
- / Roof attachments for all roof types
- / 100% code compliant, structural validation for all solar states
- / Fast installation with minimal component count result in low total installed cost



TECHNICAL DATA

	CrossRail System
Roof Type	Composition shingle, tile, standing seam, corrugated metal, trapezoidal metal
Material	High corrosion resistance stainless steel and high grade aluminum
Flexibility	Modular construction, suitable for any system size, height adjustable
PV Modules	For all common module types
Module Orientation	Portrait and landscape
Roof Connection	Rafter or deck connection depending on selected roof attachment
Structural Validity	IBC compliant, stamped engineering letters available for all solar states
Certifications	UL 2703, ASCE 7-16, Class A Fire Rating
Warranty	25 years

Components



CrossRail 44-X

Part Number	Description
4000019	CrossRail 44-X, 160", MB
4000020	CrossRail 44-X, 160", Dark
4000021	CrossRail 44-X, 160", MB
4000022	CrossRail 44-X, 160", Dark

CrossRail 48-X

Part Number	Description
4000062	CrossRail 48-X, 160", MB
4000063	CrossRail 48-X, 160", Dark

CrossRail 48-XL

Part Number	Description
4000065	CrossRail 48-XL, 160", MB
4000705	CrossRail 48-XL, 160", Dark

CrossRail 80

Part Number	Description
4000009	CrossRail 80 160" Rail MB

L-Foot & T-Foot

Part Number	Description
4000030	L-Foot Standard Set, MB
4000031	L-Foot Standard Set, Dark
4000040	T-Foot 8 1/2" Kit, MB
4000216	Big Foot 6" w/ 1" x 1/8" x 1/8" Chisel Link Clip Kit

K2 Metal Flashings

Part Number	Description
4000106	K2 Flash Comp Kit, MB
4000107	K2 Flash Comp Kit, Dark

Splice Foot X & XL

Part Number	Description
4000181	Splice Foot X, Set, MB
4000182	Splice Foot XL, Set, MB
4000116	Splice Foot Screws, 40-40

EverSeal Tile Hooks

Part Number	Description
4000140-B	US9, 9", Bulk Kit, w/Butyl
4000141-B	Flat Tile Hook X Kit, w/Butyl
4000142-B	US9 +2, 5.5" Bulk Kit, w/Butyl

Standard Tile Hooks

Part Number	Description
4000024	Flat Tile Hook Set, w/Lugs
4000294	Tile Hook 35 Wide Base w/NoSeal
4000140	Universal Standard Hook 9" Base Kit
4000141	Flat Tile Hook X, Kit
4000142	Universal Standard Hook +2, 5.5" Base, Kit

Standing Seam PowerClamps

Part Number	Description
4000016	Standing Seam PowerClamp, Mini, Set
4000017	Standing Seam PowerClamp, Standard, Set

Corrugated Power Clamp, Kit

Part Number	Description
4000007	Corrugated PowerClamp, Kit

Trapezoidal Power Clamp, Kit

Part Number	Description
4000008	Trapezoidal PowerClamp, Kit

Yeti Clamp

Part Number	Description
4000050-H	Yeti Hidden EC for CR, 15mm Hex Set

K2 Mid Clamp

Part Number	Description
4000047-H	CR MC 55wec, 33-47mm, 15mm Hex
4000048-H	CR MC Dark, 33-47mm, 15mm Hex
4000049-H	CR MC 55wec, 40-50mm, 15mm Hex
4000050-H	CR MC Dark, 40-50mm, 15mm Hex

K2 End Clamp

Part Number	Description
4000050	CR EC 55wec, 33-45mm
4000051	CR EC Dark, 33-45mm
4000052	CR EC 55wec, 40-47mm
4000053	CR EC Dark, 40-47mm

Bonding & Grounding

Part Number	Description
4000025-H	CR Microsurfer & Opt, 15mm Hex Kit
4000006-H	EverSeal Ground Lag, 15mm Hex
4000083	MLPE, Module Frame Mount, Kit

CrossRail Rail Connector

Part Number	Description
4000051	Rail Connector CR 44-X, Set, MB
4000052	Rail Connector CR 44-X, Set, Dark
4000085	RailConnector CR48-XL 160" Street Set, MB
4000086	RailConnector CR48-XL 160" Street Set, Dark
4000196	Rail Connector US, 2703 Set, CR80, MB

End Caps

Part Number	Description
4000076	EndCap 44-X, K2
4000431	CrossRail Flat EndCap, CR 48-X, 48-XL
4000221	EndCap, Black, CR80

Wire Management

Part Number	Description
4000068	Wire Management CR80, TC
4000182	WETOP Buckleless Cable Slip Kit, 5000N
4000294	Wire Management Clip, Omega, Black

CR 48-X/48-XL Sleeve

Part Number	Description
4000077	Sleeve CR 48-X
4000083	CrossRail 3" Black Sleeve 68-X, 48-XL



Eagle Point Solar
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DESCRIPTION	Plot plan and one line done				
REV	1.0	2.0	3.0	4.0	5.0

SHEET TITLE
Racking Datasheet

DESIGNER



Photovoltaic
Justin Williams
PVA-080323-015392

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WE Energies

EDITION DATE
February 14, 2024

11

REVISION
1.0



HM-1000NT/1200NT/1500NT

The Best in Its Class! The Microinverter
with reactive power control for 4 solar panels

Highlights

- Easy installation, just plug and play
- External antenna for stronger communication with DTU
- Power factor (adjustable) 0.85 leading.....0.85 lagging
- The highest power density microinverter on the market
- Compliant with CA Rule 21 & U.S. NEC 2014/2017 690.12 rapid shutdown
- High reliability; NEMA (IP67) enclosure; 6000V surge protection



Safer



Smarter



More Powerful



More Reliable

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[+86-571-28056101](tel:+86-571-28056101)

www.hoymiles.com



The World's Safest
solar solution for you and your family

Model

HM-1000NT

HM-1200NT

HM-1500NT

Input Data (DC)

Commonly used module power (W)	200~310	240~380	300~470
Module compatibility	60-cell or 72-cell PV modules	60-cell or 72-cell PV modules	60-cell or 72-cell PV modules
Peak power MPPT voltage range (V)	27~48	29~48	36~48
Start-up voltage (V)	22	22	22
Operating voltage range (V)	16~60	16~60	16~60
Maximum input voltage (V)	60	60	60
Maximum input current (A)	4*10.5	4*11.5	4*11.5

Output Data (AC)

Peak output power (VA)	1000		1260	1200	1500	1350
Maximum continuous output power (VA)	958		1200	1109	1438	1246
Maximum continuous output current (A)	3.99	4.61	5	5.33	5.99	5.99
Nominal output voltage/range (V)	240/211-264	208V/183-228	240/211-264	208V/183-228	240/211-264	208V/183-228
Nominal frequency/range (Hz)	60/55-65 ¹		60/55-65 ¹		60/55-65 ¹	
Power factor (adjustable)	>0.99 default		>0.99 default		>0.99 default	
	0.85 leading...0.85 lagging		0.85 leading...0.85 lagging		0.85 leading...0.85 lagging	
Total harmonic distortion	<3%		<3%		<3%	
Maximum units per 20A branch ²	4	3	3	3	2	2
Maximum units per 30A branch ²	6	5	4	4	4	4

Efficiency

CEC peak efficiency	96.70%	96.70%	96.70%
CEC weighted efficiency	96.50%	96.50%	96.50%
Nominal MPPT efficiency	99.80%	99.80%	99.80%
Nighttime power consumption (mW)	<50	<50	<50

Mechanical Data

Ambient temperature range (°C)	-40~+65
Dimensions (W×H×D mm)	280 x 176 x 33
Weight (kg)	3.35
Enclosure rating	Outdoor-NEMA (IP67)
Cooling	Natural convection – No fans

Features

Communication	2.4GHz Proprietary RF(Nordic)
Monitoring	Hoymiles Monitoring System
Warranty	Up to 25 years
Compliance	UL1741, IEEE1547, UL1741 SA (240Vac), CA Rule21 (240Vac), CSA C22.2 No. 107.1-16, FCC 15B, FCC 15C
PV Rapid Shutdown	Conforms with NEC-2014 and NEC-2017 Article 690.12 and CEC-2018 Sec 64-218 Rapid Shutdown of PV Systems

¹ Nominal voltage/frequency range can be changed due to the requirements of local power department.

² Refer to local requirements for exact number of microinverters per branch.



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Ste A-20
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Cory Wernimont
563-552-9576

DATE					
DESCRIPTION	Plot plan and one line done				
REV	1.0	2.0	3.0	4.0	5.0

SHEET TITLE
Inverter Datasheet

DESIGNER



Photovoltaic
Justin Williams
PVA-080323-015392

DRAWN BY (If Applicable)

SITE ASSESSOR
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Paul Hundrieser

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WE Energies

EDITION DATE
February 14, 2024

12

REVISION
1.0



HM-600NT/700NT/800NT

The best daisy-chain microinverter with reactive power control for 2 solar panels

Highlights

- Easy installation, just plug and play
- External antenna for stronger communication with DTU
- Power factor (adjustable) 0.85 leading.....0.85 lagging
- Compliant with CA Rule 21 & U.S. NEC 2014/2017 690.12 rapid shutdown
- High reliability; NEMA (IP67) enclosure; 6000V surge protection

Safer | Smarter | More Powerful | More Reliable

sales@hoymiles.com | +86-571-28056101 | www.hoymiles.com



The World's Safest
solar solution for you and your family

Model	HM-600NT		HM-700NT		HM-800NT	
Input Data (DC)						
Commonly used module power (W)	240~380		280~440		320~500	
Module compatibility	60-cell or 72-cell PV modules		60-cell or 72-cell PV modules		60-cell or 72-cell PV modules	
Peak power MPPT voltage range (V)	29~48		33~48		34~48	
Start-up voltage (V)	22		22		22	
Operating voltage range (V)	16~60		16~60		16~60	
Maximum input voltage (V)	60		60		60	
Maximum input current (A)	2*11.5		2*11.5		2*12.5	
Output Data (AC)						
Peak output power (VA)	600		700		800	
Maximum continuous output power (VA)	590		696		766	
Maximum continuous output current (A)	2.46	2.84	2.9	3.35	3.19	3.68
Nominal output voltage/range (V)	240/211-264	208V/183-228	240/211-264	208V/183-228	240/211-264	208V/183-228
Nominal frequency/range (Hz)	60/55-65 ¹		60/55-65 ¹		60/55-65 ¹	
Power factor (adjustable)	>0.99 default 0.85 leading...0.85 lagging		>0.99 default 0.85 leading...0.85 lagging		>0.99 default 0.85 leading...0.85 lagging	
Total harmonic distortion	<3%		<3%		<3%	
Maximum units per 20A branch ²	6	5	5	4	5	4
Maximum units per 30A branch ²	9	8	8	7	7	6
Efficiency						
CEC peak efficiency	96.70%		96.70%		96.70%	
CEC weighted efficiency	96.50%		96.50%		96.50%	
Nominal MPPT efficiency	99.80%		99.80%		99.80%	
Nighttime power consumption (mW)	<50		<50		<50	
Mechanical Data						
Ambient temperature range (°C)			-40~+65			
Dimensions (W×H×D mm)			250 x 170 x 28			
Weight (kg)			2.6			
Enclosure rating			Outdoor-NEMA (IP67)			
Cooling			Natural convection – No fans			
Features						
Communication			2.4GHz Proprietary RF(Nordic)			
Monitoring			Hoymiles Monitoring System			
Warranty			Up to 25 years			
Compliance			UL1741, IEEE1547, UL1741 SA (240Vac), CA Rule21 (240Vac), CSA C22.2 No. 107.1-16, FCC 15B, FCC 15C			
PV Rapid Shutdown			Conforms with NEC-2014 and NEC-2017 Article 690.12 and CEC-2018 Sec 64-218 Rapid Shutdown of PV Systems			

^{*1} Nominal voltage/frequency range can be changed due to the requirements of local power department.

^{*2} Refer to local requirements for exact number of microinverters per branch.



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DATE					
DESCRIPTION	Plot plan and one line done				
REV	1.0	2.0	3.0	4.0	5.0

SHEET TITLE
Inverter Datasheet

DESIGNER



Photovoltaic
Justin Williams
PVA-080323-015392

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ELECTRICAL ESTIMATOR
Paul Hundrieser

UTILITY
WE Energies

EDITION DATE
February 14, 2024

13

REVISION
1.0



HM-300/350/400

The perfect lightweight and compact selection for your PV system

Highlights

- Easy installation, just plug and play
- External antenna for stronger communication with DTU
- Power factor (adjustable) 0.8leading.....0.8 lagging
- High reliability; NEMA (IP67) enclosure; 6000V surge protection

Safer

Smarter

More Powerful

More Reliable

sales@hoymiles.com

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www.hoymiles.com



The World's Safest solar solution for you and your family

Model	HM-300	HM-350	HM-400
Input Data (DC)			
Commonly used module power (W)	240~380	280~440	320~500
Module compatibility	60-cell or 72-cell PV modules	60-cell or 72-cell PV modules	60-cell or 72-cell PV modules
Peak power MPPT voltage range (V)	29~48	33~48	34~48
Start-up voltage (V)	22	22	22
Operating voltage range (V)	16~60	16-60	16~60
Maximum input voltage (V)	60	60	60
Maximum input current (A)	11.5	11.5	12.5
Output Data (AC)			
Rated output power (VA)	300	350	400
Rated output current(A)	1.36 / 1.30 / 1.25	1.59 / 1.52 / 1.46	1.82 / 1.74 / 1.67
Nominal output voltage (V)	220 / 230 / 240	220 / 230 / 240	220 / 230 / 240
Nominal output voltage range (V)	180-275 ¹	180-275 ¹	180-275 ¹
Nominal frequency/range (Hz)	60/55-65 ¹	60/55-65 ¹	60/55-65 ¹
Power factor (adjustable)	>0.99 default 0.8 leading...0.8 lagging	>0.99 default 0.8 leading...0.8 lagging	>0.99 default 0.8 leading...0.8 lagging
Total harmonic distortion	<3%	<3%	<3%
Maximum units per branch ²	16 / 16 / 16	14 / 14 / 14	12 / 12 / 12
Efficiency			
CEC peak efficiency	96.70%	96.70%	96.70%
CEC weighted efficiency	96.50%	96.50%	96.50%
Nominal MPPT efficiency	99.80%	99.80%	99.80%
Nighttime power consumption (mW)	<50	<50	<50
Mechanical Data			
Ambient temperature range (°C)	-40~+65		
Dimensions (W×H×D mm)	182 x 164 x 29.5		
Weight (kg)	1.98		
Enclosure rating	Outdoor-NEMA (IP67)		
Cooling	Natural convection – No fans		
Features			
Communication	2.4GHz Proprietary RF(Nordic)		
Monitoring	Hoymiles Monitoring System		
Warranty	Up to 25 years		
Compliance	UL1741, IEEE1547, CSA C22.2 No. 107.1-16, NOM-001-SCFI-1993, FCC Part15, ANSI C63.4, ICES-003		

^{*1} Nominal voltage/frequency range can be changed due to the requirements of local power department.
^{*2} Refer to local requirements for exact number of microinverters per branch.



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SHEET TITLE
Inverter Datasheet

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WE Energies
EDITION DATE
February 14, 2024

CAUTION

MULTIPLE POWER SOURCES
POWER TO THIS SERVICE IS ALSO SUPPLIED
FROM THE FOLLOWING PV SOURCE
WITH DISCONNECT LOCATED AS SHOWN

The diagram illustrates a service panel (represented by a large rectangle) with three power sources connected to it. A compass rose in the upper left corner indicates North (N), South (S), East (E), and West (W). The power sources are:

- Solar Array:** A box labeled "Solar Array" with a line connecting it to the top of the service panel.
- Utility DG Disconnect:** A box labeled "Utility DG Disconnect" with a line connecting it to the top of the service panel.
- Existing Utility Meter:** A box labeled "Existing Utility Meter" with a line connecting it to the bottom of the service panel.

**MAIN SOLAR SYSTEM
AC DISCONNECT**

**DO NOT DISCONNECT
⚡ UNDER LOAD ⚡**

WARNING

ELECTRICAL SHOCK HAZARD

DO NOT TOUCH TERMINALS

TERMINALS ON BOTH LINE AND

LOAD SIDES MAY BE ENERGIZED

IN THE OPEN POSITION

DC VOLTAGE IS ALWAYS PRESENT

WHEN SOLAR MODULES

ARE EXPOSED TO SUNLIGHT

A warning label with an orange header containing a yellow triangle with a black exclamation mark and the word "WARNING" in large black letters. Below the header, the text "ELECTRICAL SHOCK HAZARD" is underlined. The remaining text is in bold black capital letters and describes the hazard of electrical shock from energized terminals and the presence of DC voltage when solar modules are exposed to sunlight.

Dual Power Source Photovoltaic
Operating Voltage: 240V
Maximum Current: 32A
Maximum Power: 7.6kW AC

**RAPID SHUTDOWN
REQUIREMENTS MET**

INTERCONNECTION
DISCONNECT SWITCH

PHOTOVOLTAIC SYSTEM



AC DISCONNECT



Operating Voltage:

VOLTS

Maximum Current:

AMPS

PHOTOVOLTAIC DC DISCONNECT

RAPID SHUTDOWN SWITCH FOR SOLAR PV SYSTEM

A rectangular warning label with an orange top half and a white bottom half. The word "WARNING" is in large, bold, black capital letters on the orange background, preceded by a yellow triangular warning icon with a black exclamation mark. The text "TURN OFF PHOTOVOLTAIC AC DISCONNECT PRIOR TO WORKING INSIDE PANEL" is in bold, black capital letters on the white background.

SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

**TURN RAPID SHUTDOWN
SWITCH TO THE
"OFF" POSITION TO
SHUT DOWN PV SYSTEM
AND REDUCE SHOCK
HAZARD
IN THE ARRAY**

A schematic diagram of a house with a gabled roof. A yellow rectangular box labeled "SOLAR ELECTRIC PV PANELS" is positioned on the roof. A vertical line connects this box to a smaller yellow rectangular box located inside the house, representing the rapid shutdown switch.

⚠ CAUTION
SOLAR ELECTRIC SYSTEM CONNECTED

**WARNING: PHOTOVOLTAIC
POWER SOURCE**

A warning label with an orange background. At the top left is a yellow triangle with a black border and a black exclamation mark inside. To the right of the triangle, the word "WARNING" is written in large, bold, black capital letters. Below this, the text "INVERTER OUTPUT CONNECTION" is written in bold, black capital letters. At the bottom, the text "DO NOT RELOCATE THIS OVERCURRENT DEVICE" is written in bold, black capital letters, arranged in three lines.

	Eagle Point Solar 2400 Kerper Blvd Ste A-20 Dubuque, IA 52001 (536)-582-4044
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SHEET TITLE
Placards/Labels



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15

REVISION
1.0



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B-

OFFICE USE ONLY	
Issued Date	
Zoning	

BUILDING PERMIT

Job Address 7338 N. NAVAJO ROAD	Building Type: Residential ☒ Commercial ☐
Description of Work	
ONE STORY ADDITION TO AN EXISTING SINGLE FAMILY DWELLING	
Estimated Cost of Project \$	

Owner/Occupant DAVID & REBECCA GRASSL	
Business Name	Contact Name
Address 7338 N. NAVAJO ROAD	City/State/Zip FOX POINT, WI 53217
Phone 414-403-7937	Email grassl@msoe.edu

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name BLUE HARMONY HOMES	Contact Name DUSTIN MELZARK
Address	City/State/Zip
Phone 262-363-6200	Email dustin@blueharmonyhome.com
Dwelling Contractor # 032100263	Dwelling Contractor Qualifier # 021400016

Square Footage Under Construction				
1 st Floor 546	2 nd Floor N/A	Basement 0	Addition 770	Garage N/A

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	
Building Board	\$75.00	\$75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld	\$95.00 minimum plus	\$0.13/sqft
Moving buildings	\$250.00 plus	\$0.13/sqft
Fuel tanks - Per 1,000 gallons		\$25.00
Re-inspection		\$100.00
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point		Total Permit Fee \$ 75.00

Applicant Signature David Grassl Digitally signed by David Grassl
DN: C=US, E=grassl@msoe.edu, CN=David Grassl
Date: 2024.02.22 11:32:25-06'00' Date 2/22/2024

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.059988

Feb 22, 2024

7338 N NAVAJO

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	

Total:	75.00
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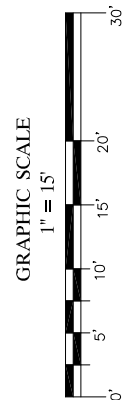
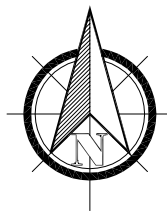
CHECK	Check No: 2120	75.00
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Payor: GRASSL	
Total Applied:	75.00

Change Tendered:	.00
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02/22/2024 12:49 PM



BENCHMARK FOR ELEVATIONS:
Concrete Monument with Brass Cap
Marking the Southeast Corner of the
Southeast 1/4 of Section 17-8-22.
Elevation : 692.01' NAVD 1988 Datum

N. NAVAJO RD.

(60' WIDE PUBLIC R-O-W)

Edge of Pavement

G

LEGAL DESCRIPTION

Lot 5 in Block 10 in Bay Shore Manor, in the
Southeast 1/4 of Section 17, in Township 8 North,
Range 22 East, in the Village of Fox Point,
Milwaukee County, Wisconsin.

SITE ADDRESS: 7338 N. NAVAJO RD.

36422
JOB NUMBER

12/05/2022
FIELD WORK DATE

MWW
FIELD WORK BY

12/08/2022
DATE DRAFTED

MCP
DRAFTED BY

LEGEND

- - Denotes Set 3/4" Rebar
- - Denotes Found Iron Pipe
- × 697.00 - Denotes Existing Spot Elevation
- - Denotes Concrete Surface

The North R-O-W Line of W. Mall Rd.

**EXISTING
DWELLING**

EAST

156.06'

**EXISTING
GARAGE**

Wood Fence
1.3' North of
Property Line

Wood Fence
1.35' East of
Property Line

Found Iron Pipe
1.5' South of
Property Line

60.005'

S00°14'24"W

Wood Fence
1.5' East of
Property Line

MARC C. PASSARELLI P.L.S.
2554 N. 100TH STREET
P.O. BOX 26596
WAUWATOSA, WISCONSIN 53226
(414) 257-2212 FAX: (414) 257-2443
sai@wi.rr.com



MEMBER OF WISCONSIN SOCIETY OF LAND SURVEYORS
& NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS

Building Setback Line

**EXISTING
DWELLING**

First Floor
Elev: 698.46'

First Floor
Elev: 697.95'

Electric Meter

Building Setback Line

WEST

155.93'

**EXISTING
GARAGE**

BUILDING SETBACKS

Front: 60' from the
Centerline of N. Navajo Rd.

Sides : 10' Rear : 20'
(To Be Verified by Village)

SURVEYED FOR:
DAVID & REBECCA GRASSL
AREA OF PROPERTY
9,360 Sq. Ft.



NOTE : THIS IS NOT AN
ORIGINAL SURVEY UNLESS
THIS SEAL IS RED.

Marc Passarelli
WISCONSIN REGISTERED LAND SURVEYOR

"I have surveyed the above described property and the above map
is a true representation thereof and shows the size and location of
the property, its exterior boundaries, the location and dimensions of
all structures thereon, fences, apparent easements and roadways and
visible encroachments, if any.

"This survey is made for the exclusive use of the present owners of the
property, and also those who purchase, mortgage, or guarantee the title
thereto within one (1) year from date hereof; and as to them I warrant
the accuracy of said survey map.

JEREMY HARTLINE ARCHITECT, LLC

324 REGATTA DRIVE
PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

PROJECT: 7338 N. NAVAJO ROAD

EXTERIOR PHOTOS

West



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EXTERIOR PHOTOS

South



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EXTERIOR PHOTOS

North



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PROJECT: 7338 N. NAVAJO ROAD

EXTERIOR PHOTOS

East



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PROJECT: 7338 N. NAVAJO ROAD

EXTERIOR PHOTOS

Garage West



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PROJECT: 7338 N. NAVAJO ROAD

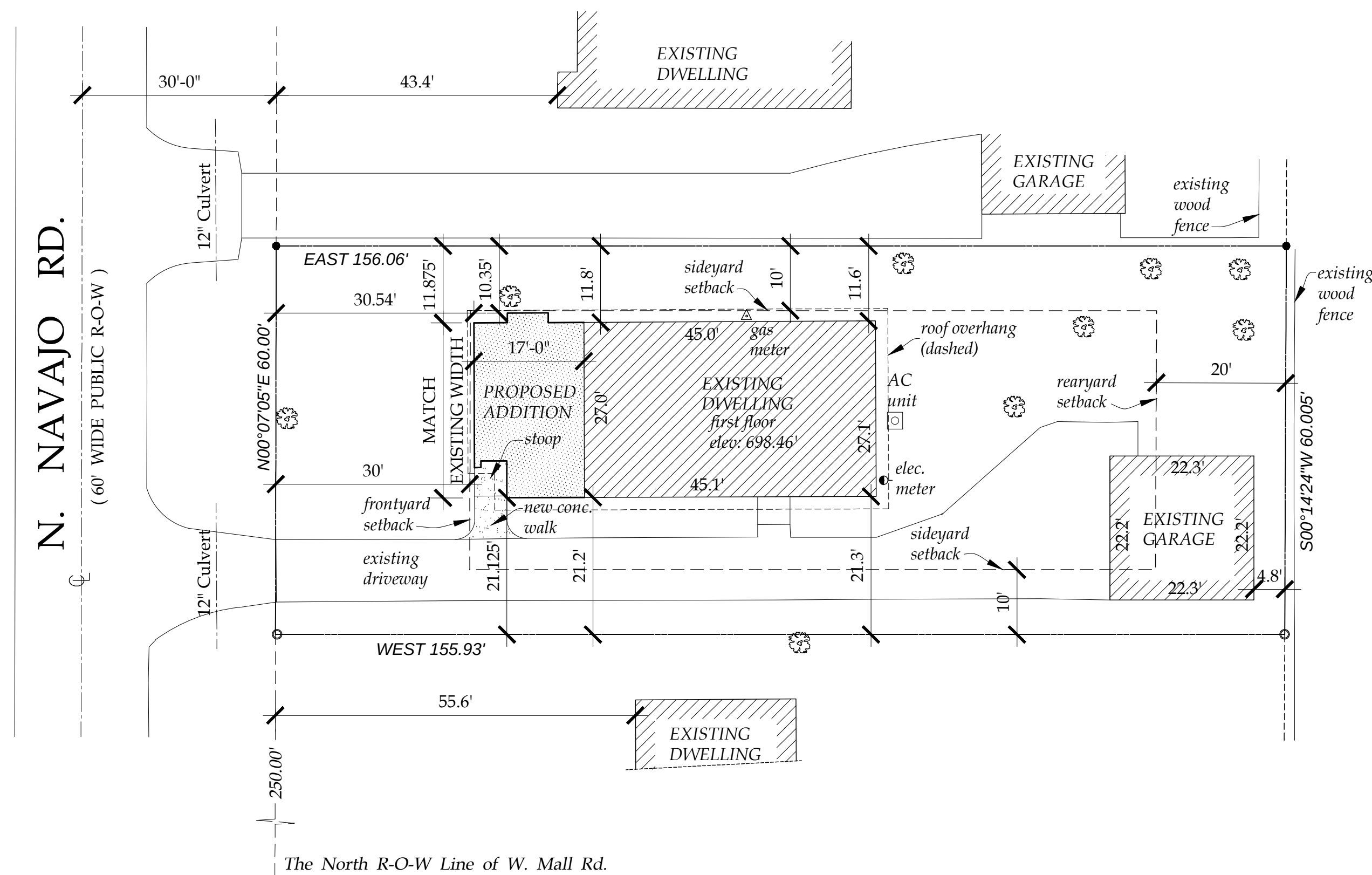
EXTERIOR PHOTOS

Garage North





Grassl Renovation
7338 N. Navajo Road
Fox Point, WI 53217



PROPOSED SITE PLAN

1/16" = 1'-0"

ARCHITECT

JEREMY HARTLINE ARCHITECT, LLC
324 Regatta Drive
Port Washington, WI 53074
(262) 416-8307

GENERAL CONTRACTOR

BLUE HARMONY HOMES
West Bend, WI
(262) 353-6200

STRUCTURAL ENGINEER

AMBROSE ENGINEERING
W66 N215 Commerce Court
Cedarburg, WI 53012
(262) 377-7602

BUILDING & LOT INFORMATION

LOT SIZE: 9,360 sf

EXISTING DWELLING FOOTPRINT = 1,219 sf

ALLOWABLE DWELLING 45% OF LOT = 4,211 sf

EXISTING DETACHED GARAGE = 495 sf

PROPOSED DWELLING FOOTPRINT INCL. ADDITION = 1,660 sf

OPEN AREA CALCULATION:

HOUSE 1,660 sf + GARAGE 495 sf = 2,155 sf
OPEN AREA = 7,205 sf

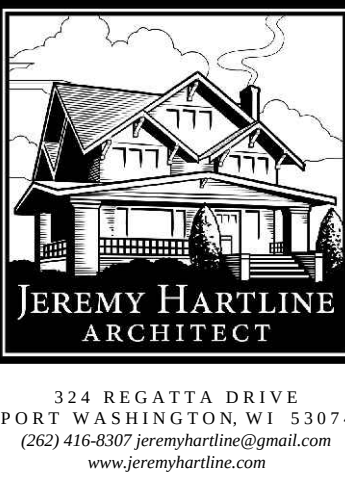
GENERAL CONDITIONS

- All work shall be in accordance with all applicable building codes and comply with all governing laws - Federal, State, and Local jurisdictions except where more restrictive requirements are indicated in the drawings.
- All Contractors and Subcontractors are to verify conditions and dimensions on the job site prior to commencement of constructions. The contractor is required to field verify all areas to receive new casework prior to ordering cabinets to ensure proper fit. The contractor shall be responsible for verifying existing utilities affected by the project. Any and all discrepancies or unusual conditions must be brought to the attention of the Architect. No allowances will be made due to contractor's unfamiliarity with the job conditions.
- Drawings are not to be scaled.
- The Contractor shall be responsible for all cutting, fitting, or patching that may be required to complete the work. All patching required shall be with matching methods and materials.
- All plan dimensions are to the exterior sheathing face.
- Prior to commencing demolition work, the Contractor shall verify items to be saved or reused with the Owner.
- The Contractor shall be responsible for proper shoring and support when removing bearing walls, bracing, and roof framing members.
- HVAC systems and plumbing systems are "design/build" and therefore are the responsibility of the respective contractors and the General Contractor.
- All structural engineering by WI licensed structural engineer. See separate drawings and calculations.

SHEET INDEX

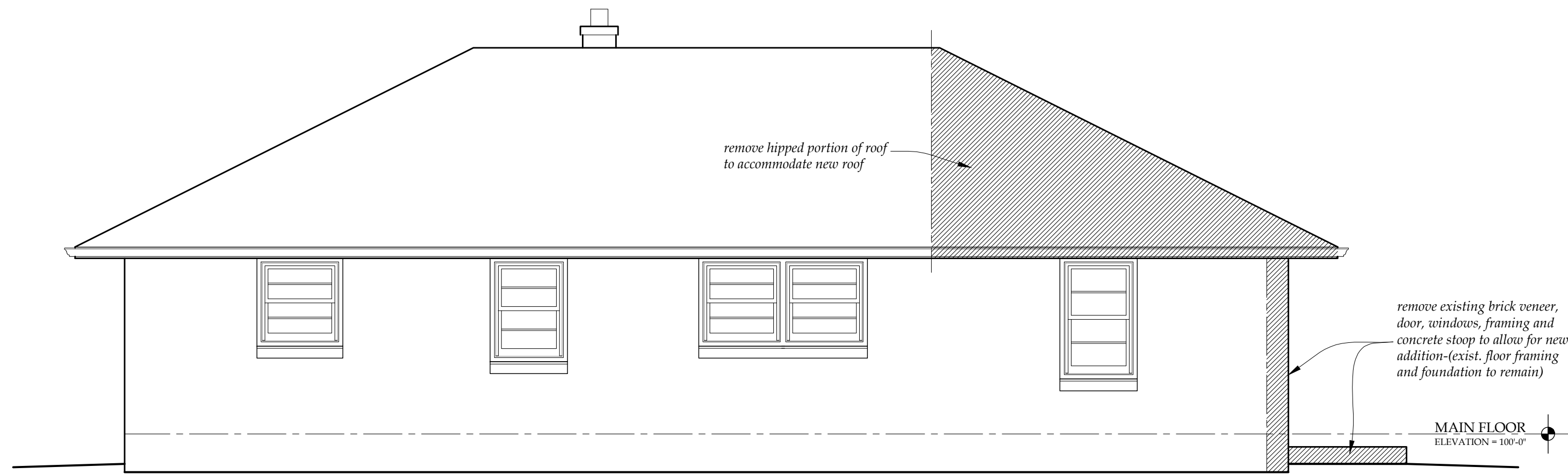
- COVER SHEET & SITE PLAN
- DEMOLITION PLANS & ELEVATIONS
- NEW FLOOR PLANS
- NEW EXTERIOR ELEVATIONS
- BUILDING SECTIONS & DETAILS
- SECTIONS & DETAILS
- INTERIOR ELEVATIONS
- INTERIOR ELEVATIONS
- ELECTRICAL PLANS

REVISIONS	BY

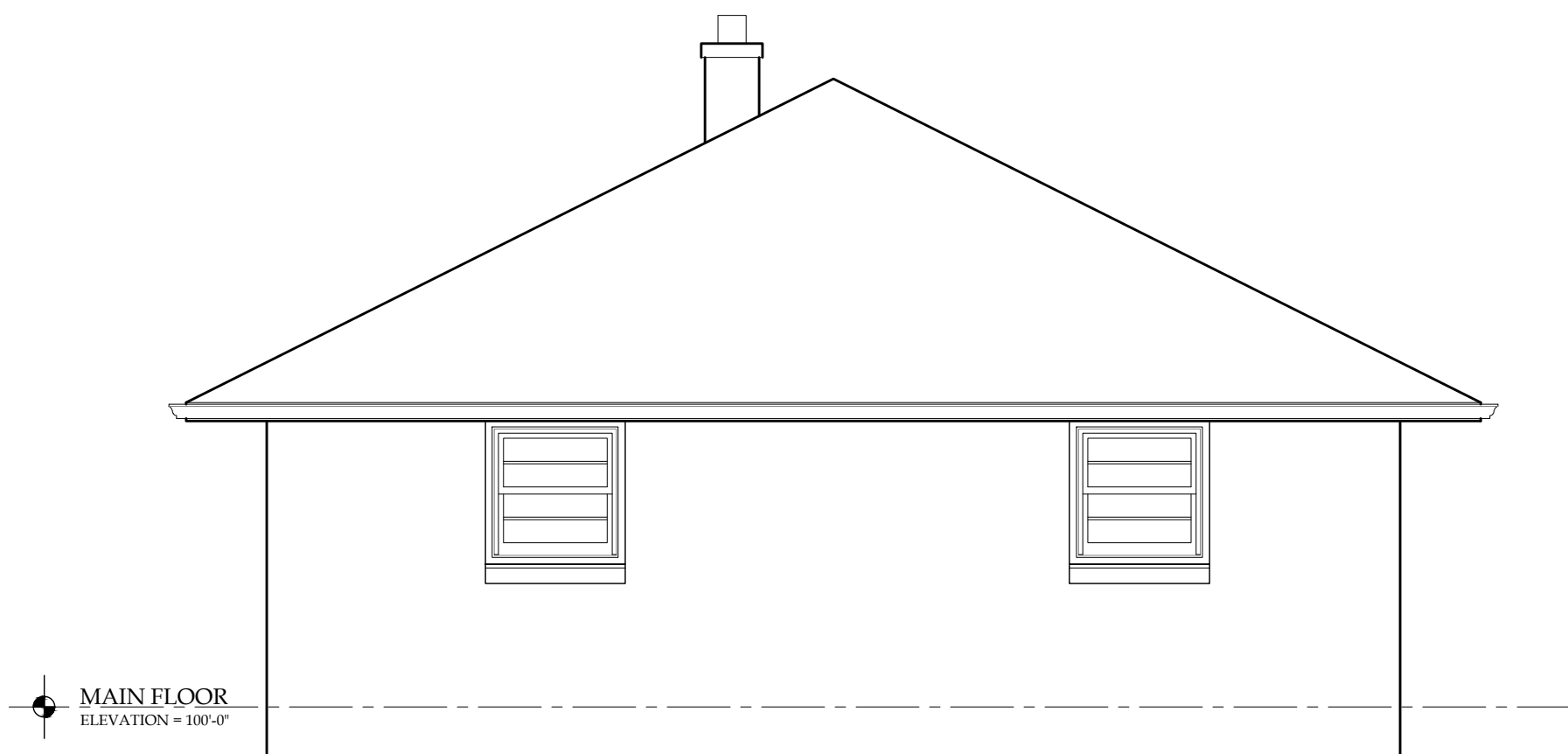


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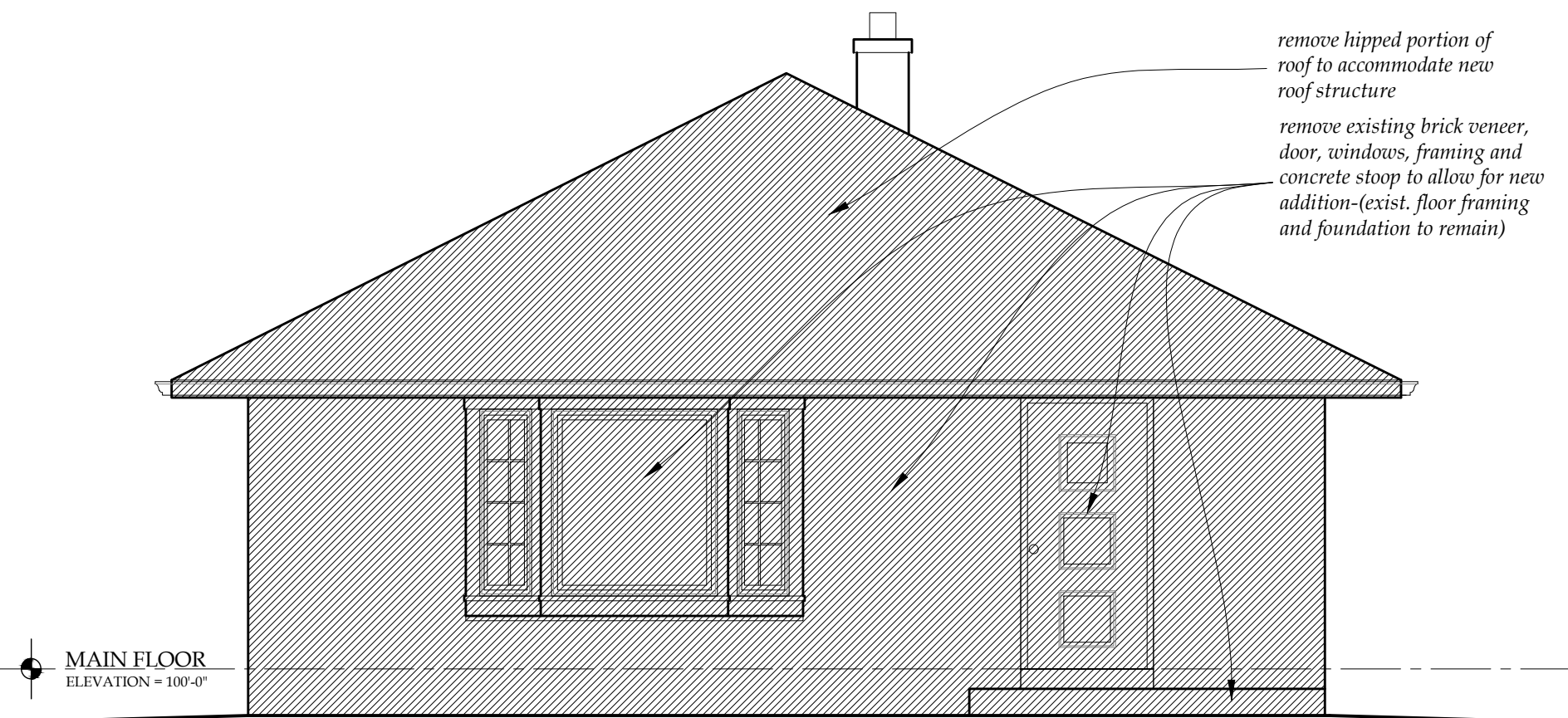
DATE	2-22-2024
DRAWN BY	J. HARTLINE
PROJECT NO.	
SHEET	1
OF	9
SHEETS	



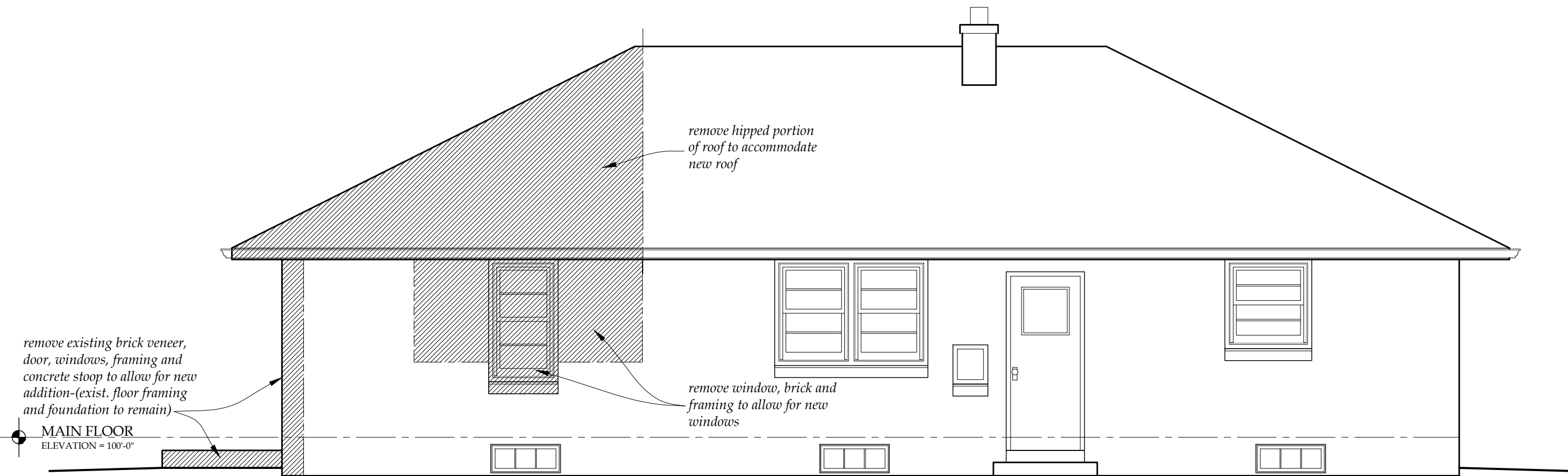
EXISTING ELEVATION NORTH 1/4" = 1'-0"



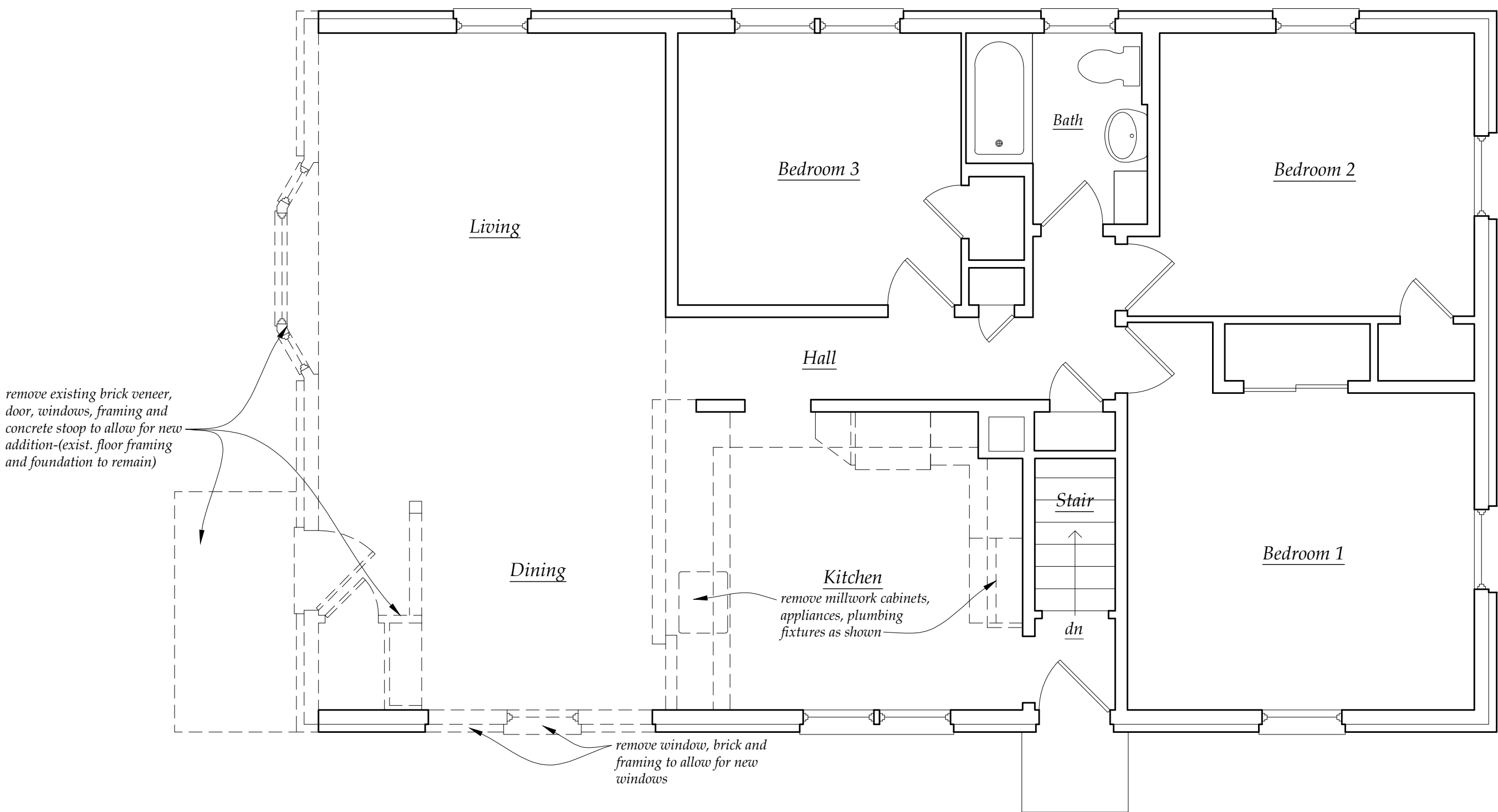
EXISTING ELEVATION EAST 1/4" = 1'-0"



EXISTING ELEVATION WEST 1/4" = 1'-0"



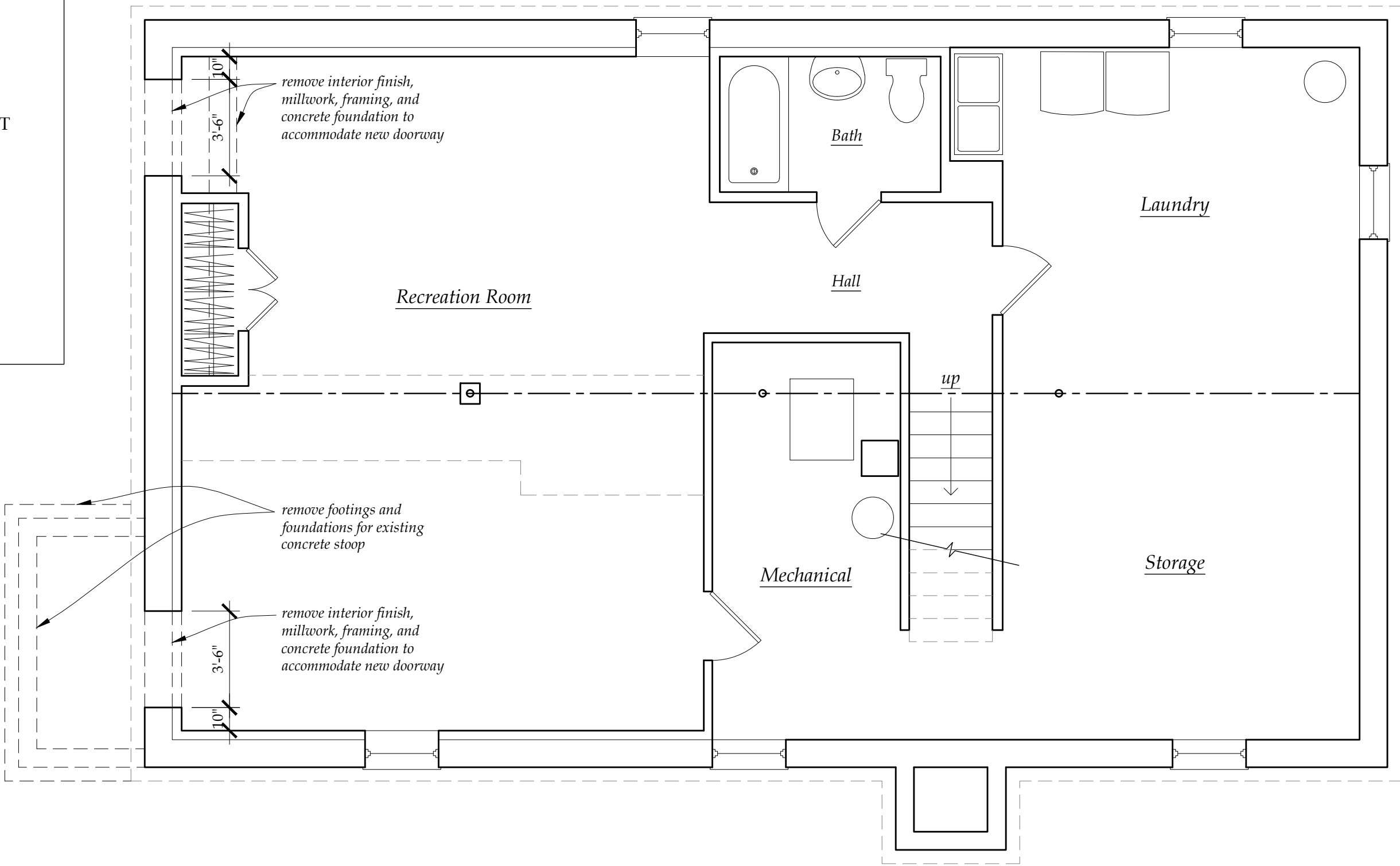
EXISTING ELEVATION SOUTH 1/4" = 1'-0"



MAIN FLOOR DEMOLITION PLAN 1/4" = 1'-0"

DEMOLITION NOTES

- CONTRACTOR TO VERIFY ENTIRE DEMO PLAN w/ OWNER BEFORE PROCEEDING WITH REMOVAL INCL. ITEMS TO BE SAVED FOR REUSE.
- CONTRACTOR TO REVIEW ALL EXISTING MECHANICALS FOR RELOCATION PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROPER SHORING AND SUPPORT WHEN REMOVING BEARING WALLS, BRACING AND ROOF FRAMING MEMBERS.
- WHEN REMOVING INTERIOR FINISH OF EXTERIOR WALLS, ALL INSULATION TO REMAIN IN PLACE TO COMPLY WITH CURRENT ENERGY CODE. CONTACT CONTRACTOR OR ARCHITECT IN CASES WHERE REMOVAL IS REQUIRED.
- WHEREVER FEASIBLE, RECLAIM ALL EXISTING BRICK FROM DEMOLISHED WALLS FOR REUSE.



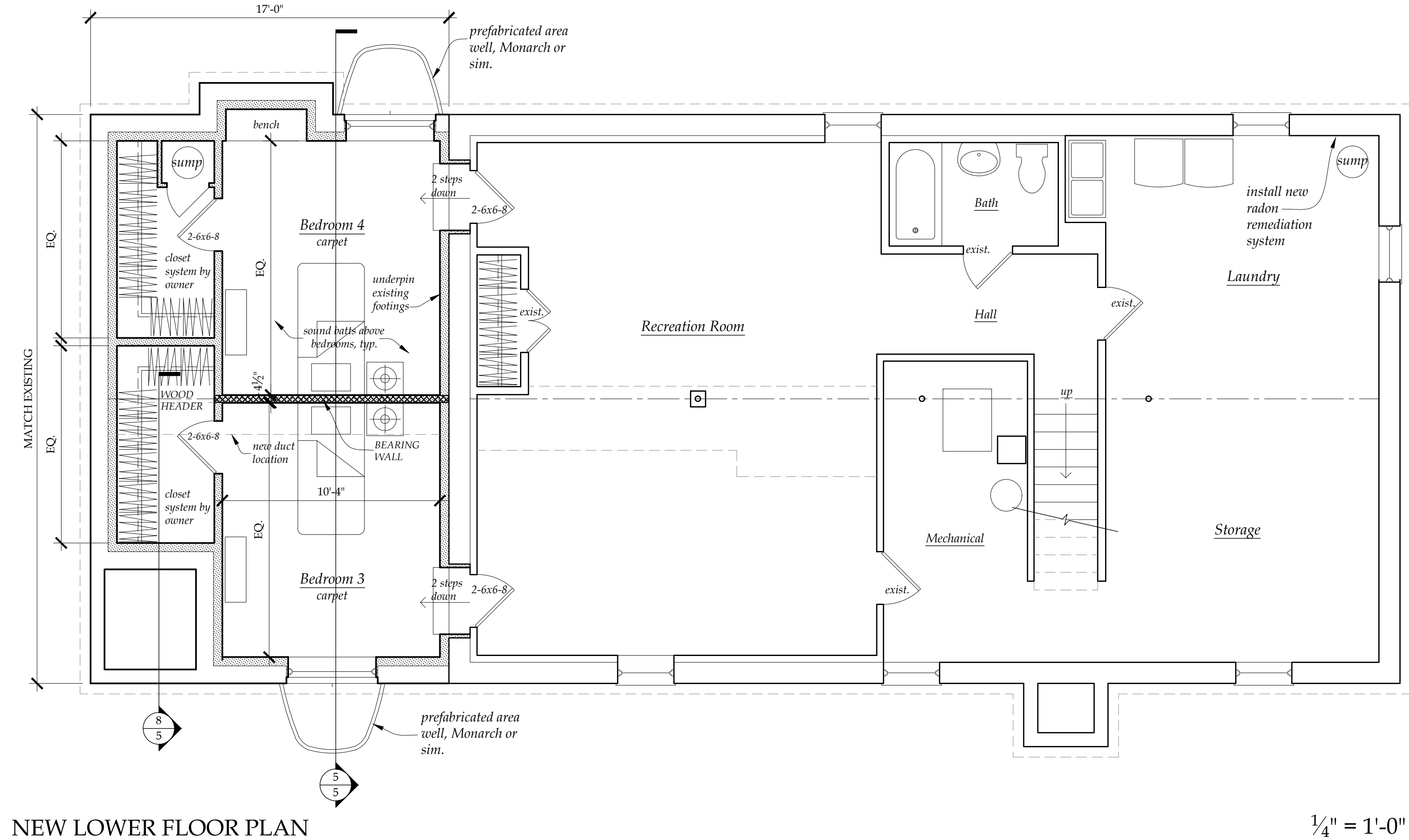
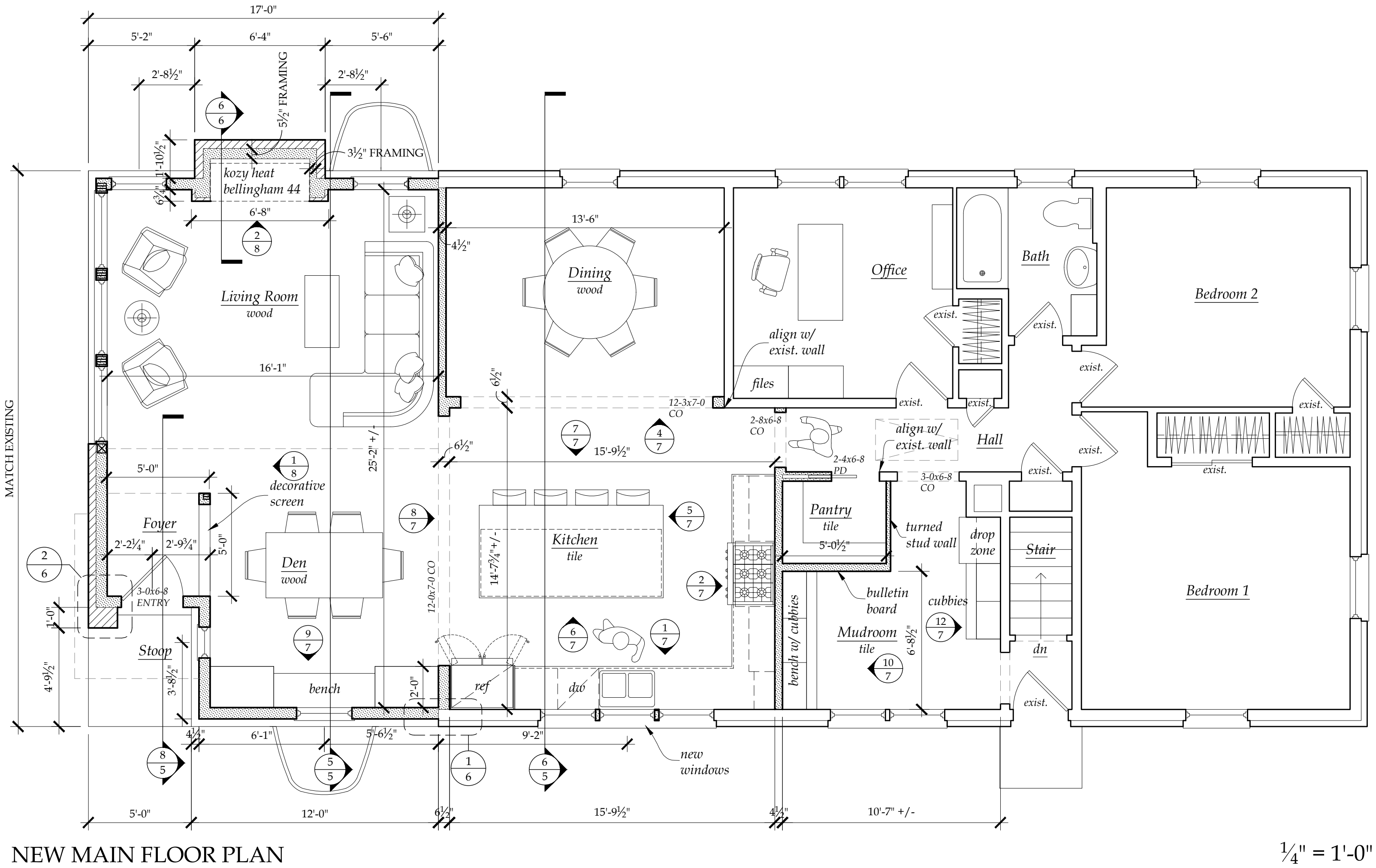
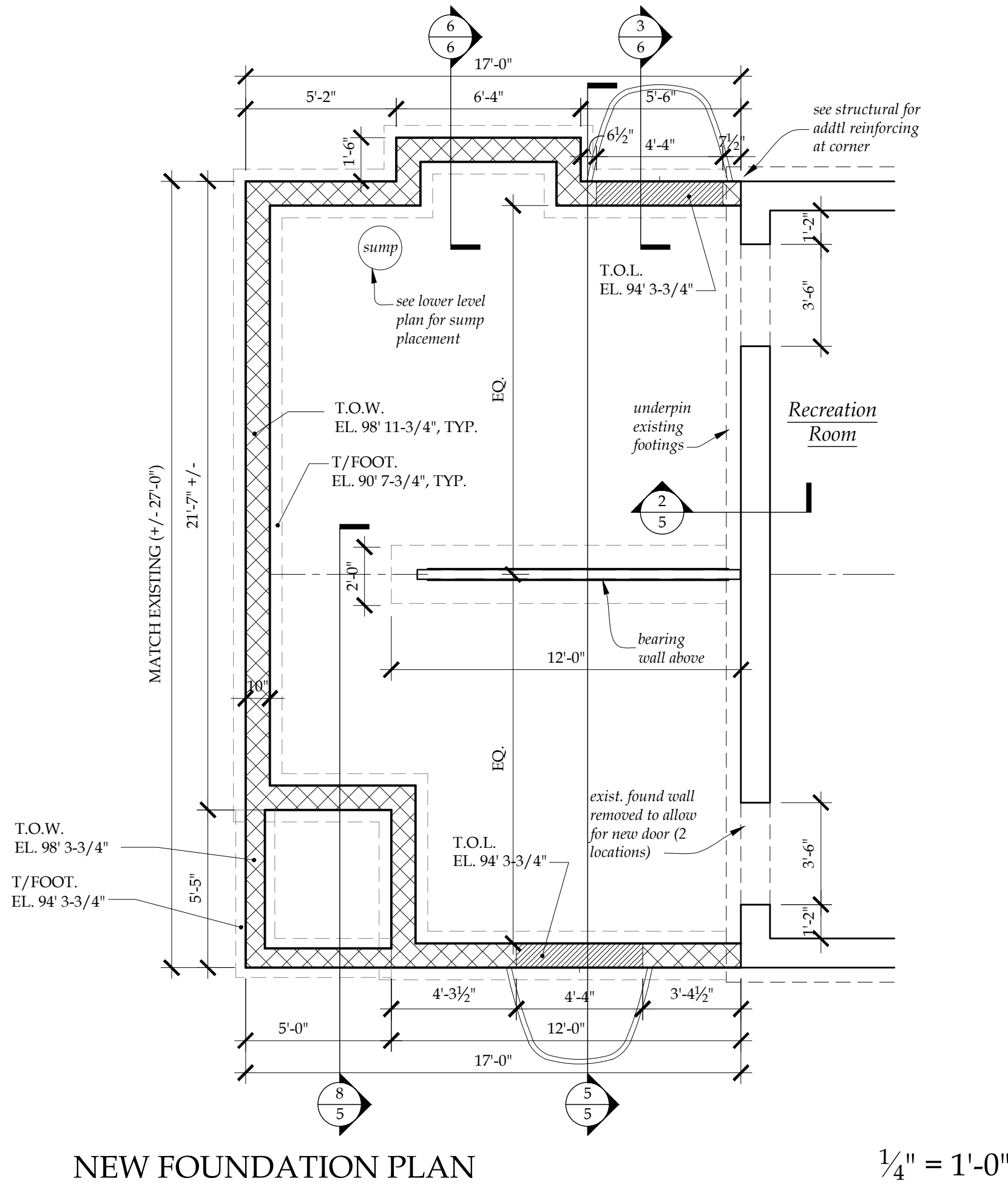
LOWER FLOOR DEMOLITION PLAN 1/4" = 1'-0"

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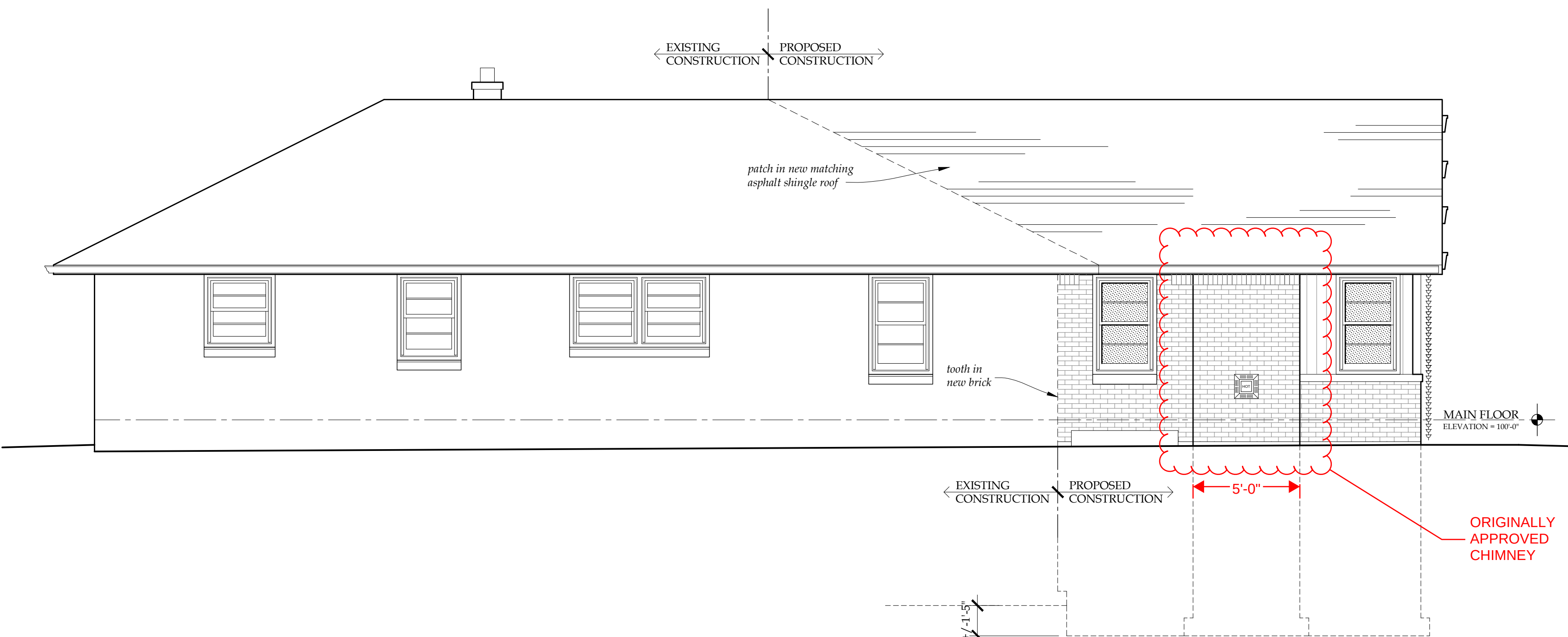


Grassl Renovation
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DATE	2-22-2024
DRAWN BY	J. HARTLINE
PROJECT NO.	
SHEET	2
OF	9
SHEETS	

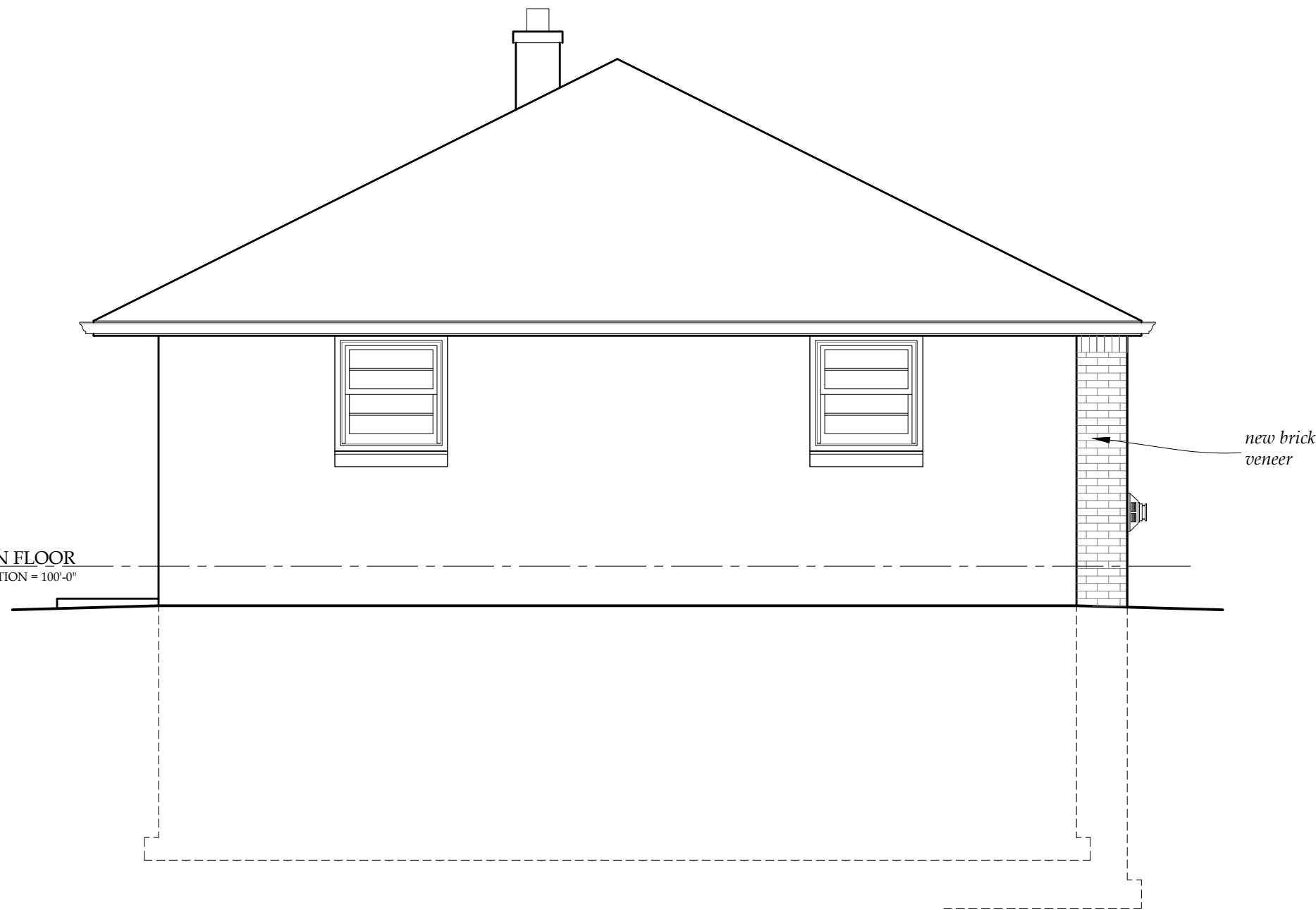


ORIGINAL DRAWINGS APPROVED 8-9-2023



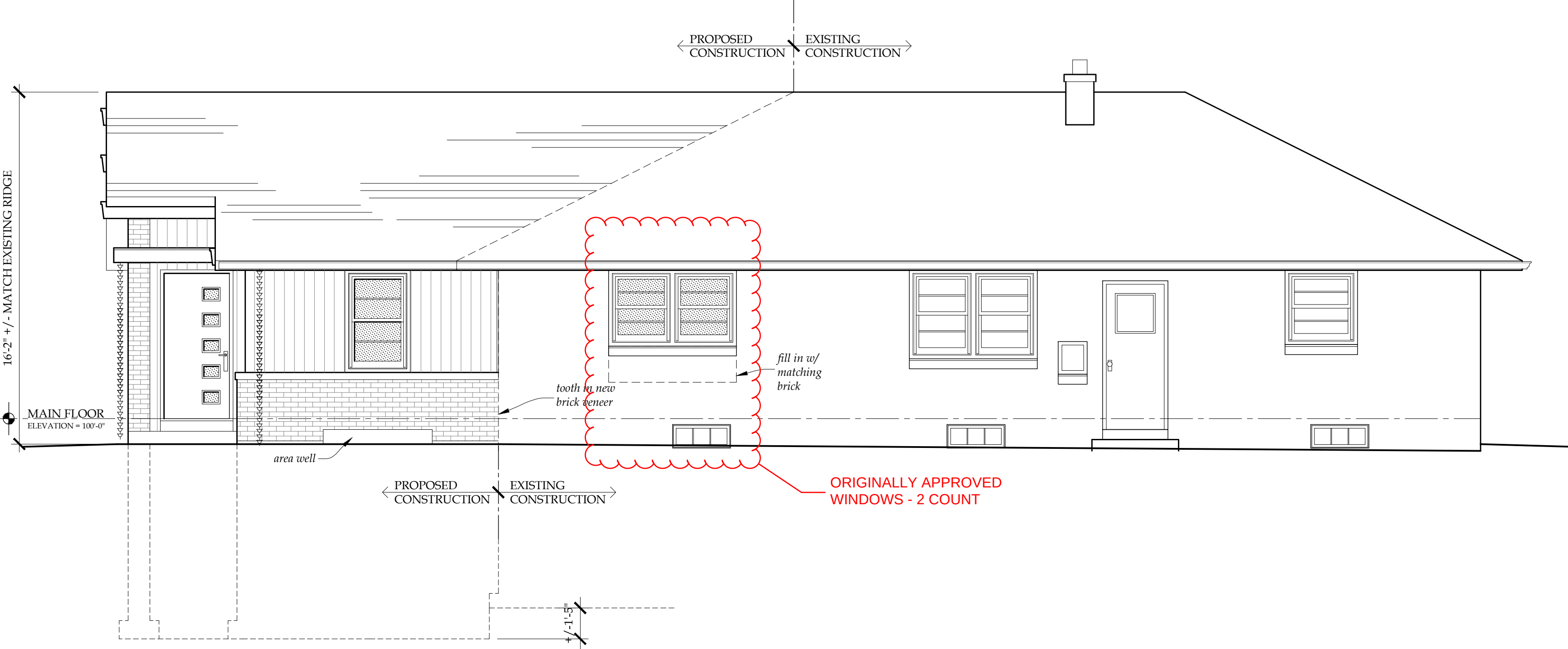
NORTH ELEVATION

1/4" = 1'-0"



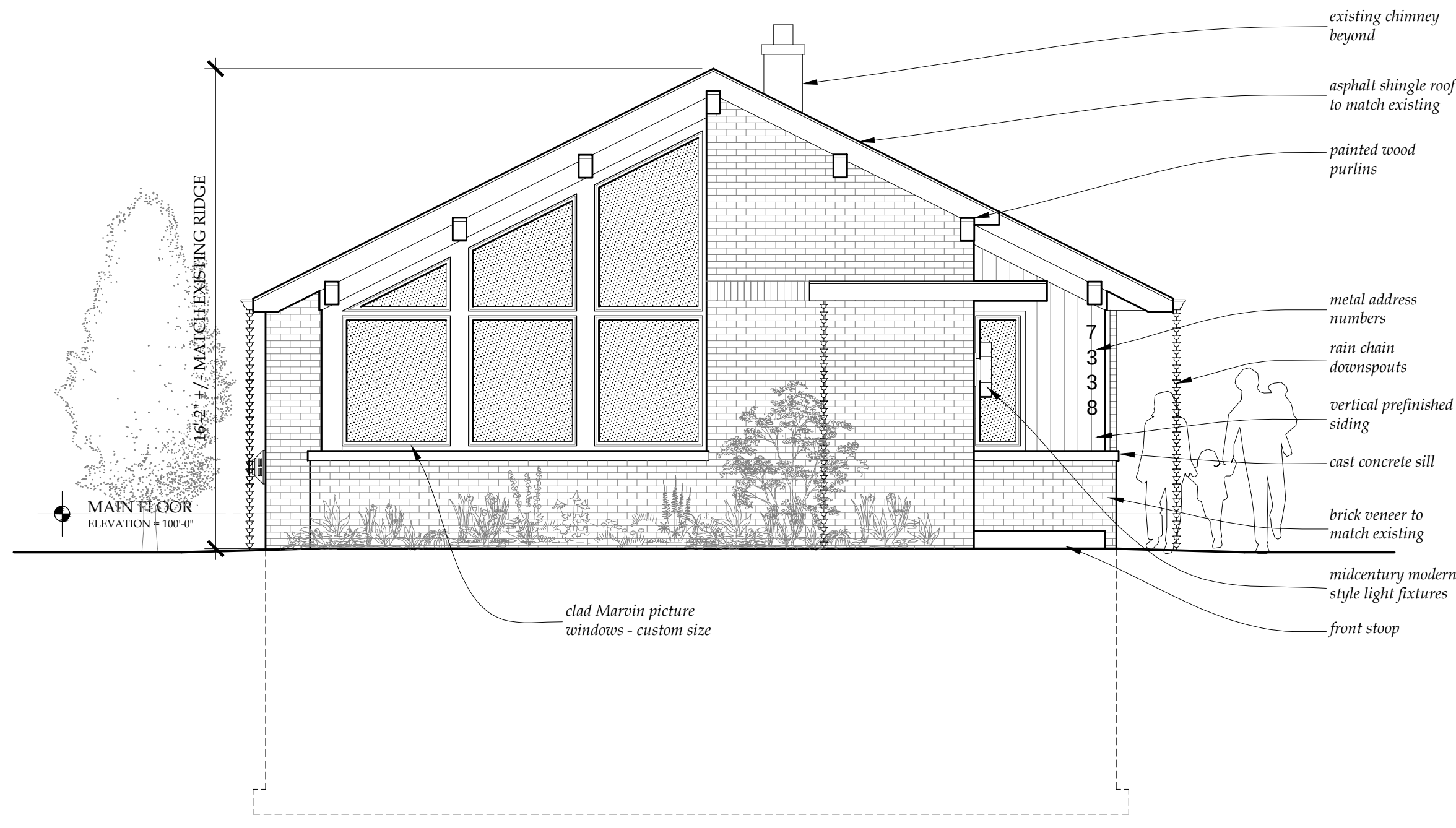
EAST ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"



324 REGATTA DRIVE
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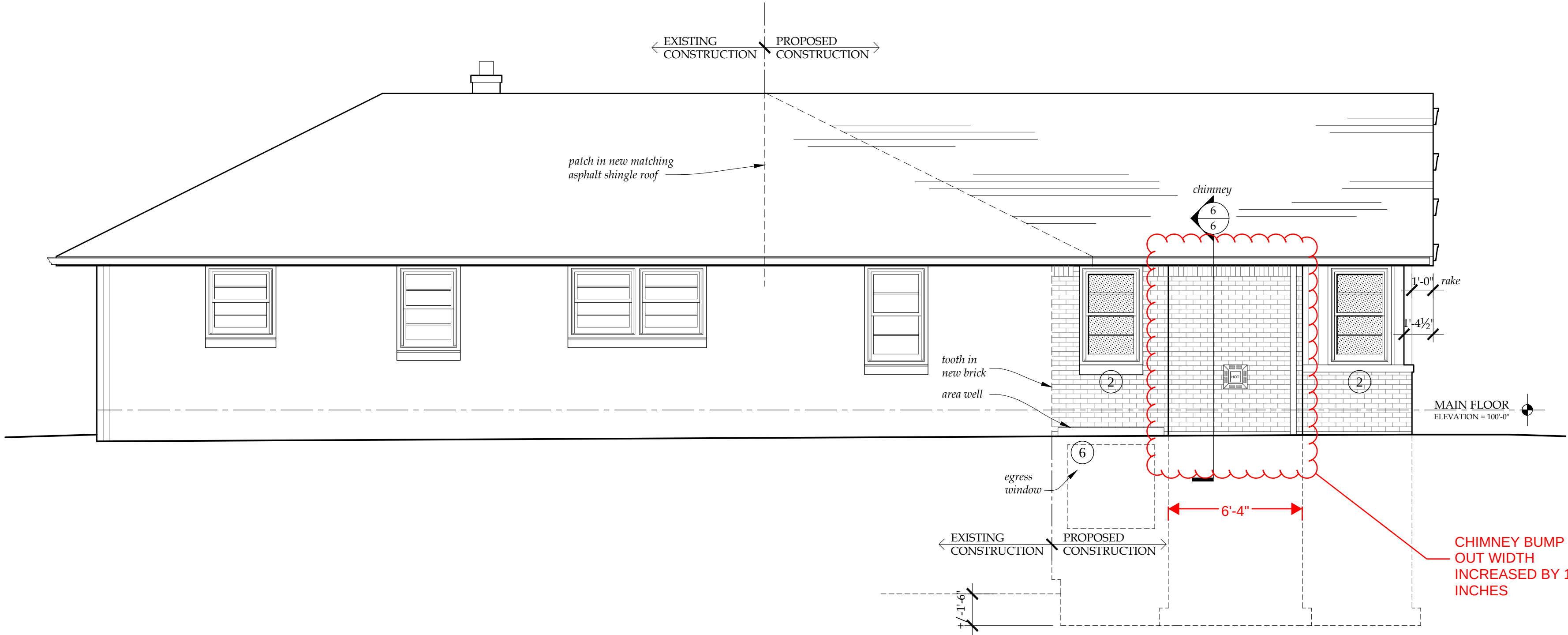
DATE	7-24-2023
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PROJECT NO.	
SHEET	
OF	SHEETS

WINDOW & EXTERIOR FRENCH DOOR SCHEDULE				
KEY	MODEL NO.	TYPE	R.O. (WxH)	NOTES:
①	ELDH 3238	DOUBLE HUNG	2'-6½" x 3'-2¼"	
②	ELDH 3252	DOUBLE HUNG	2'-8½" x 4'-4¼"	
③	ELCA 2152	CASEMENT	1'-9" x 4'-4½"	
④	CUSTOM	PICTURE		SEE DIAGRAM
⑤	CUSTOM-TRAPEZOID	PICTURE		SEE DIAGRAM
⑥	CUSTOM		50" x 48"	EGRESS, SIERRA PACIFIC VINYL

- WINDOW & EXTERIOR DOOR NOTES
- (ALSO SEE ASSOCIATED ARCHITECTURAL & STRUCTURAL DETAILS)
- NOTE: CONTRACTOR TO PROVIDE FINAL WINDOW ORDER FOR ARCHITECT'S REVIEW PRIOR TO ORDERING

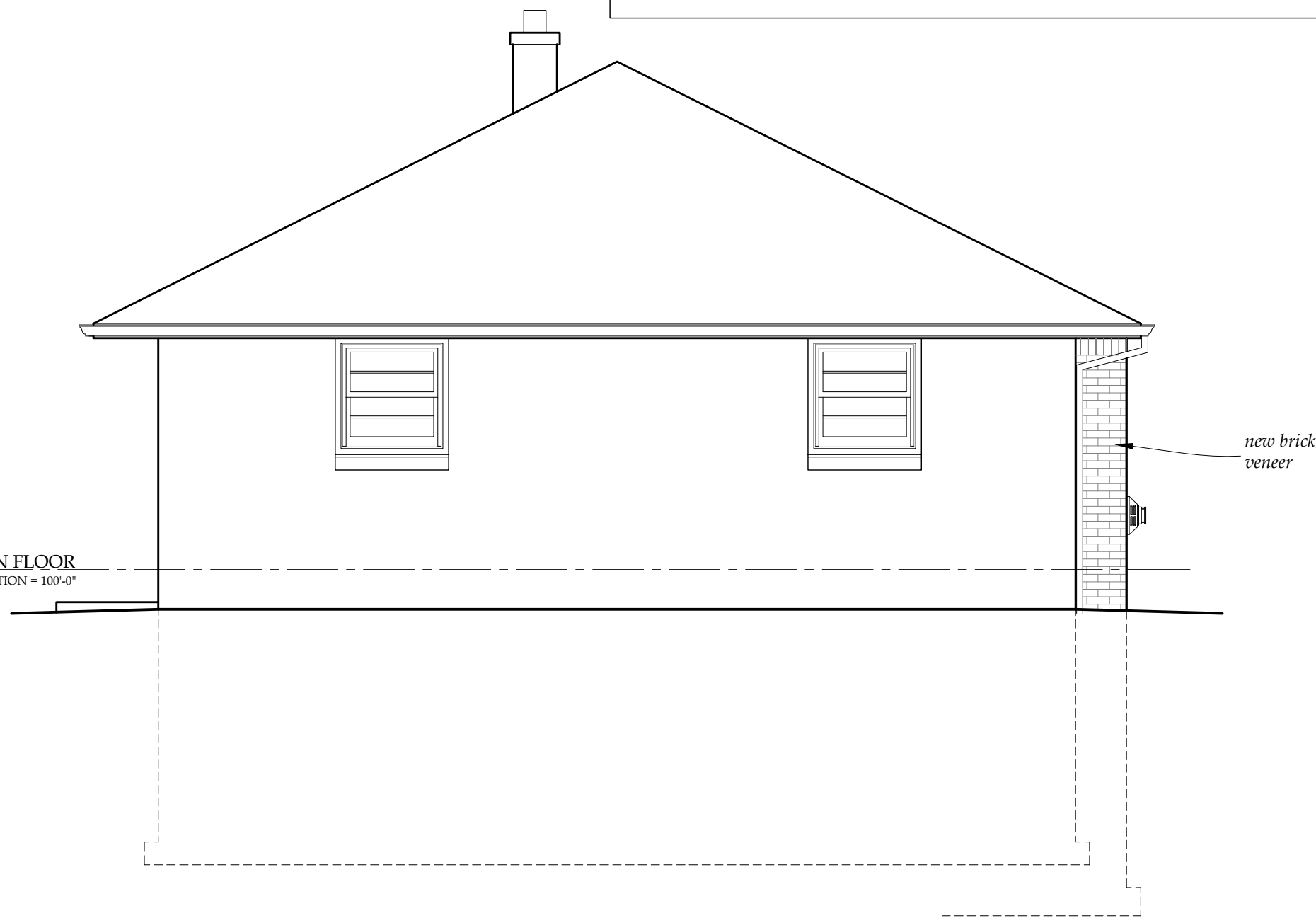
- SEE FLOOR PLANS FOR WINDOW MODEL NUMBERS. SEE EXTERIOR ELEVATIONS FOR FURTHER ILLUSTRATIONS.
 - ALL WINDOWS TO BE MARVIN ELEVATE UNITS WITH PRIMED WOOD INTERIORS, UNLESS NOTED OTHERWISE.
 - INTERIOR & EXTERIOR COLORS TO BE SELECTED BY OWNER.
 - OPERATION AS SHOWN ON ELEVATION DRAWINGS AND AS CONFIRMED BY OWNER.
 - GLAZING TO BE ARGON-FILLED LOW-E II CLEAR INSULATING GLASS (NO TINT).
 - PROVIDE "BRIGHTVIEW" MESH SCREENS FOR ALL OPERABLE UNITS - FRAME COLOR TO MATCH WINDOW EXTERIOR COLOR.
 - HARDWARE STYLE & FINISH TO BE SELECTED BY OWNER.
 - NO EXTERIOR CASINGS. EXTERIOR CASINGS TO BE FIELD APPLIED.
 - TEMPERED SAFETY GLASS TO BE PROVIDED FOR ALL WINDOWS & DOORS REQUIRED TO BE SO BY WISCONSIN UNIFORM DWELLING CODE.
 - ALL WINDOWS TO BE INSTALLED W/ PROPRIETARY SELF ADHESIVE RUBBERIZED PAN FLASHING WITH END DAMS.
 - PROVIDE EGRESS COMPLIANT WINDOWS WHERE REQUIRED

PROPOSED ALTERATIONS TO APPROVED DRAWINGS



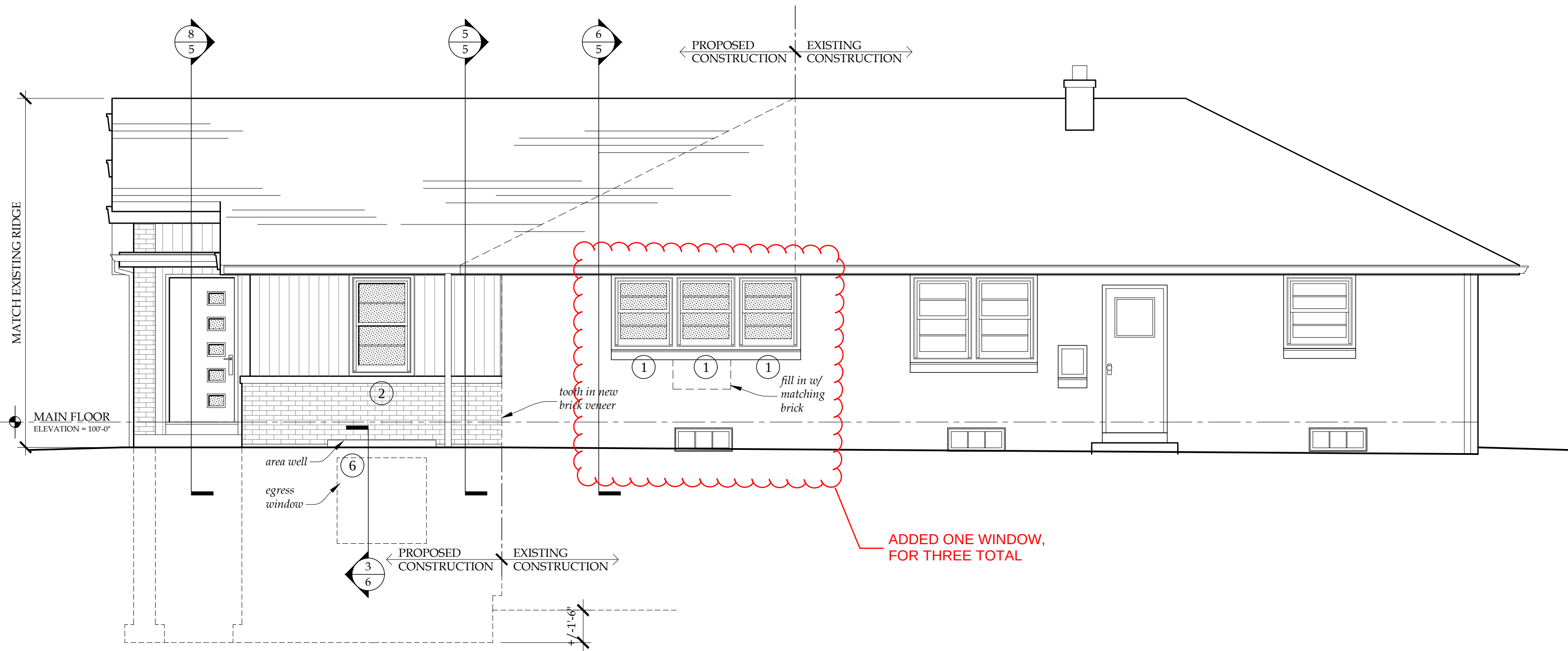
NORTH ELEVATION

1/4" = 1'-0"



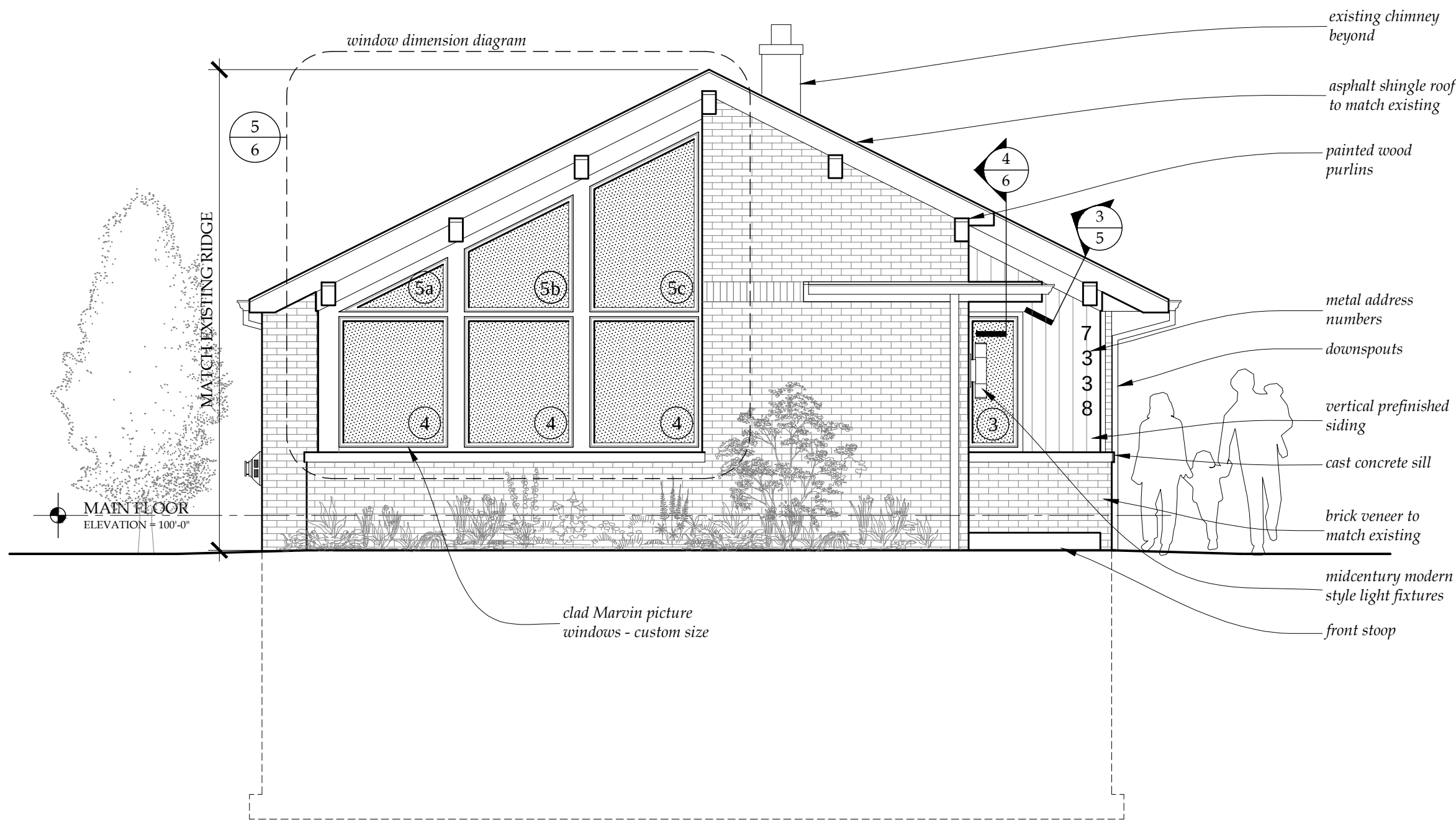
EAST ELEVATION

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SOUTH ELEVATION

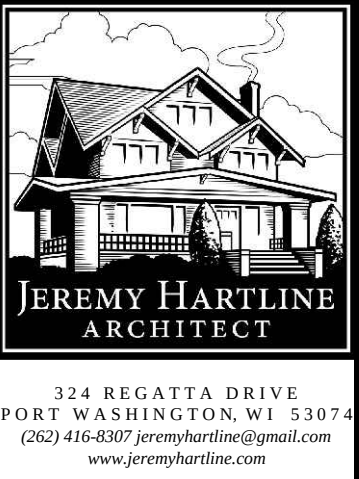
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WEST ELEVATION

1/4" = 1'-0"

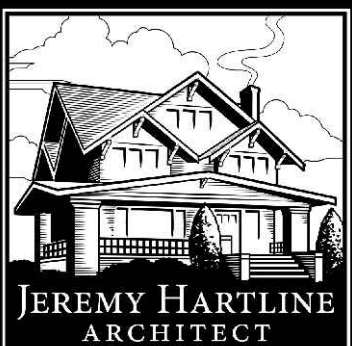
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DATE	2-22-2024
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SHEET	4
OF	9 SHEETS

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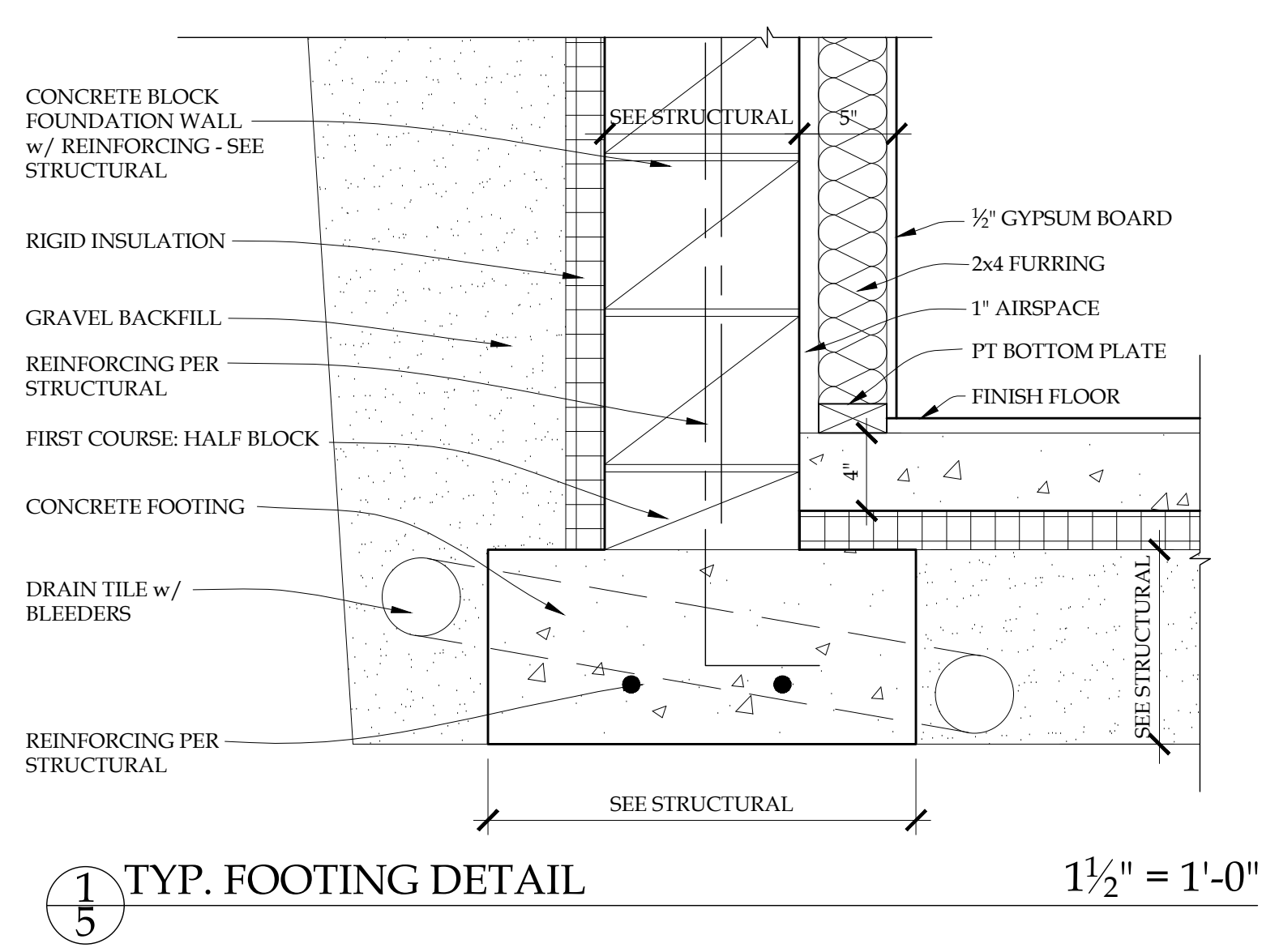
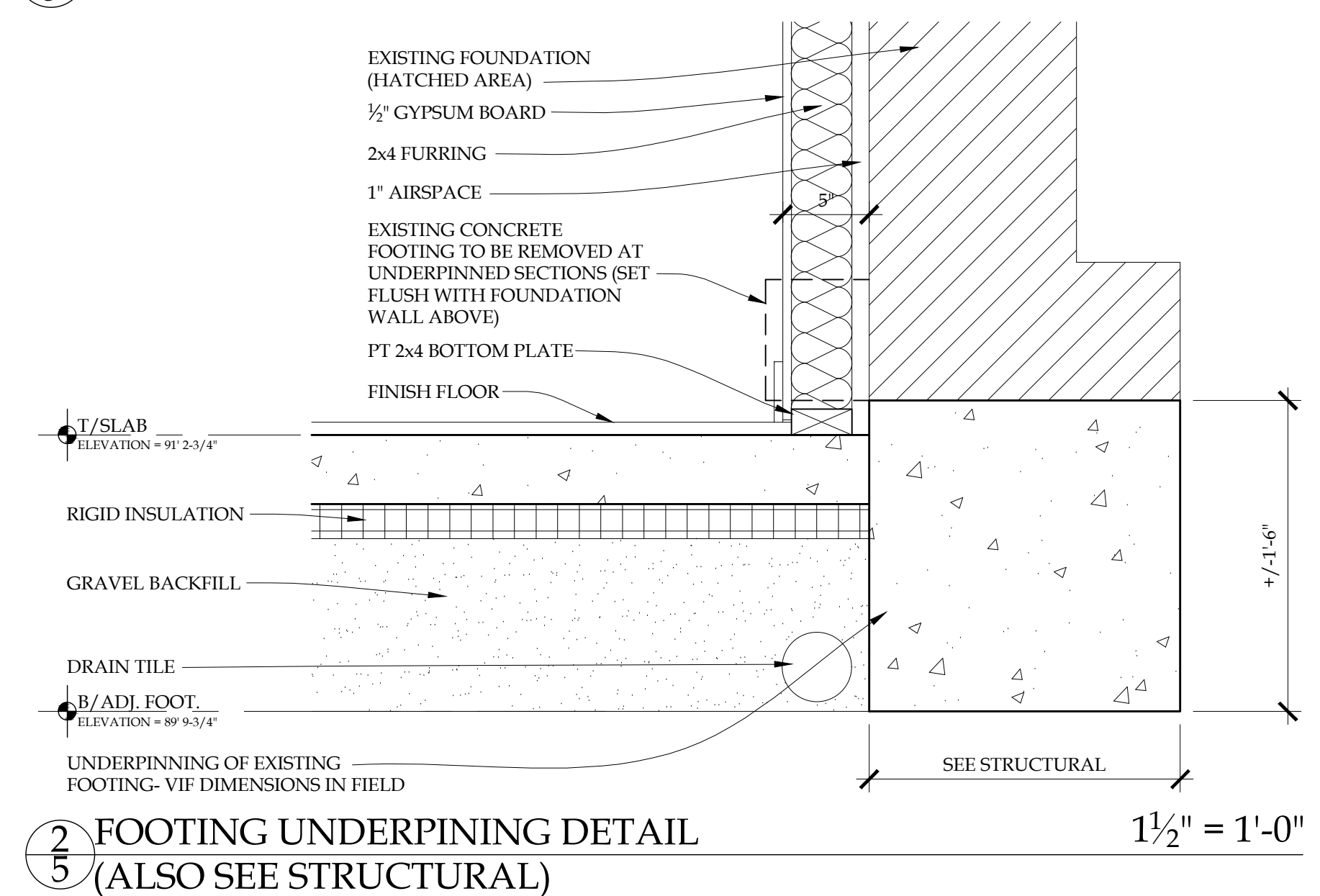
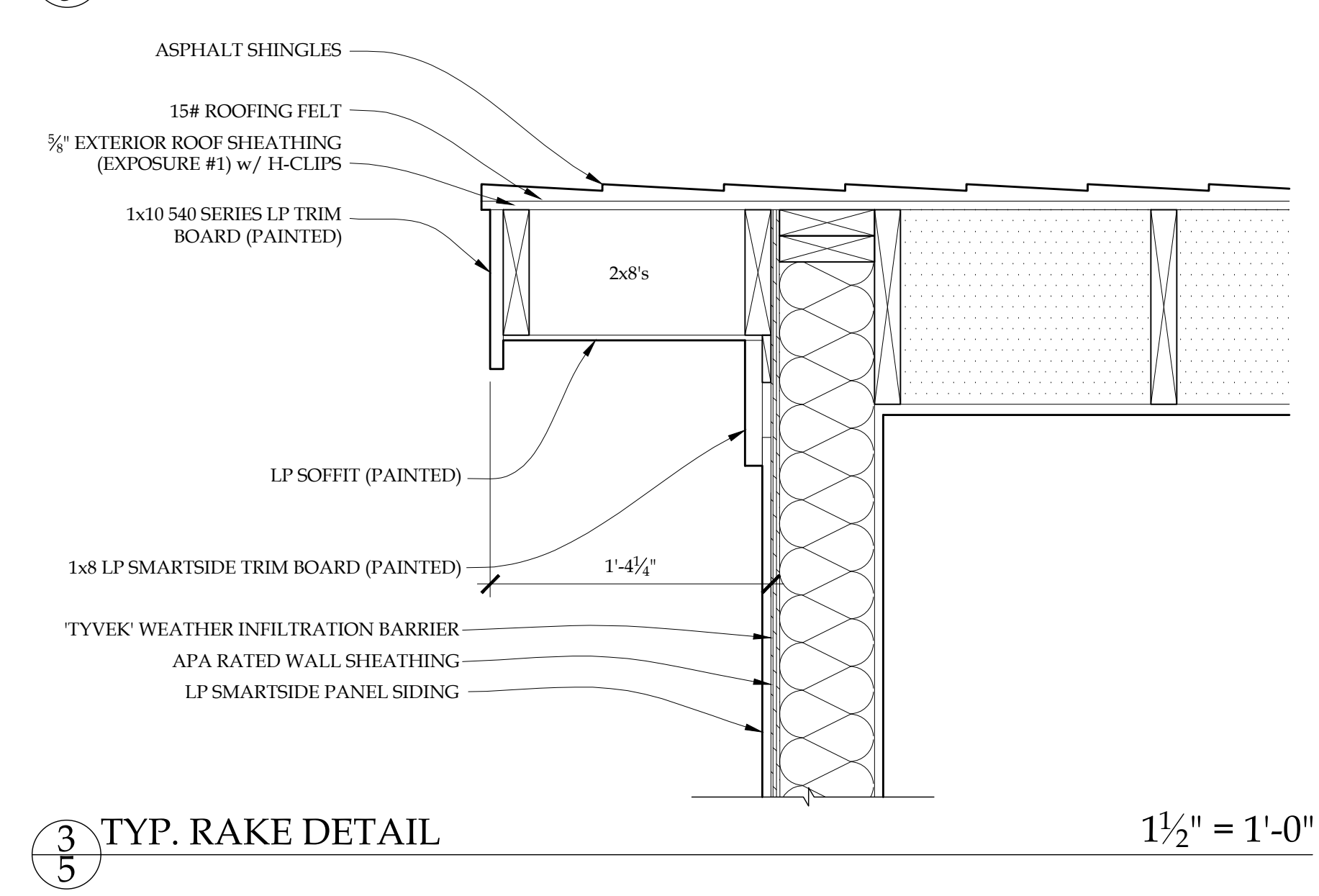
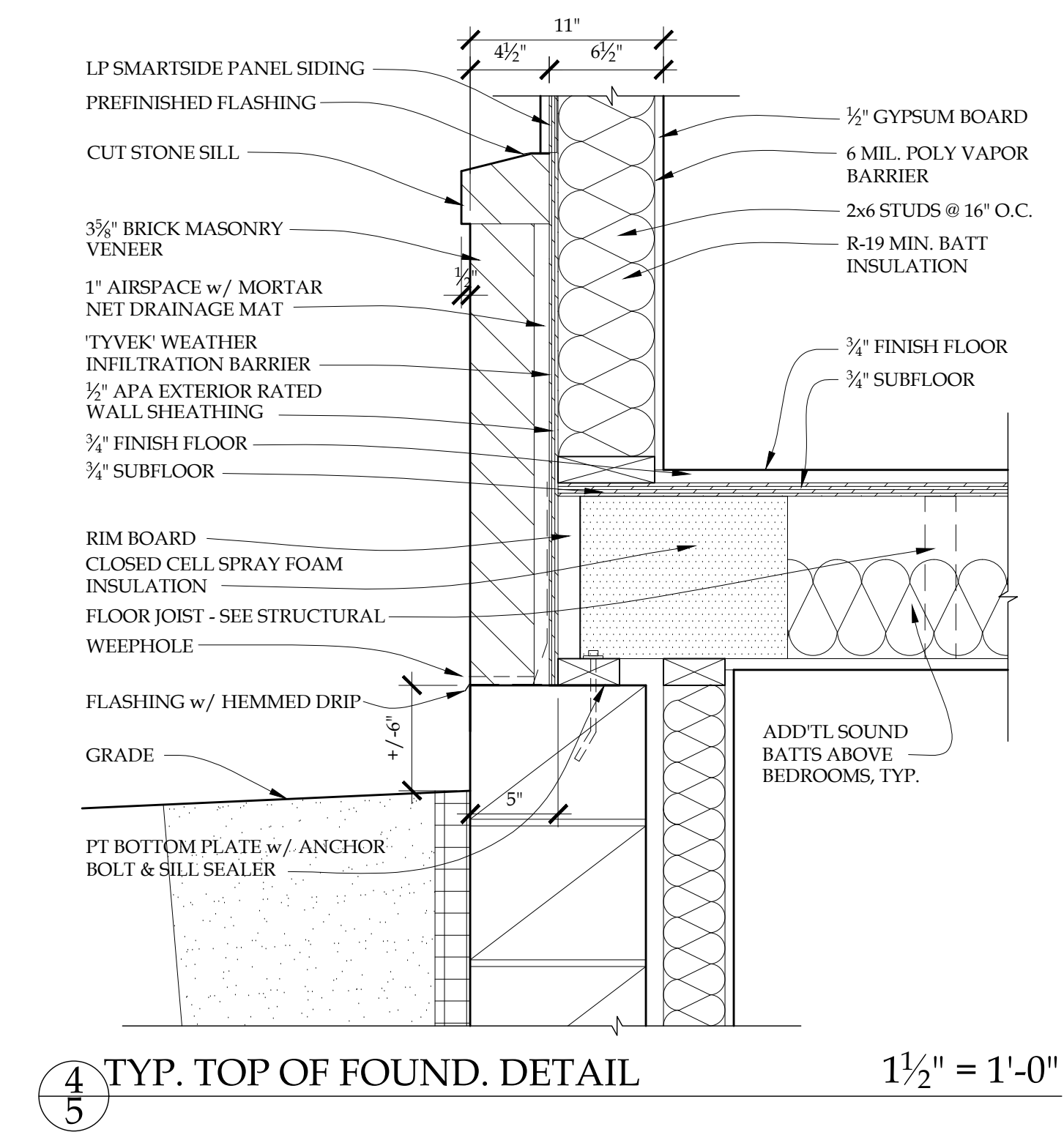
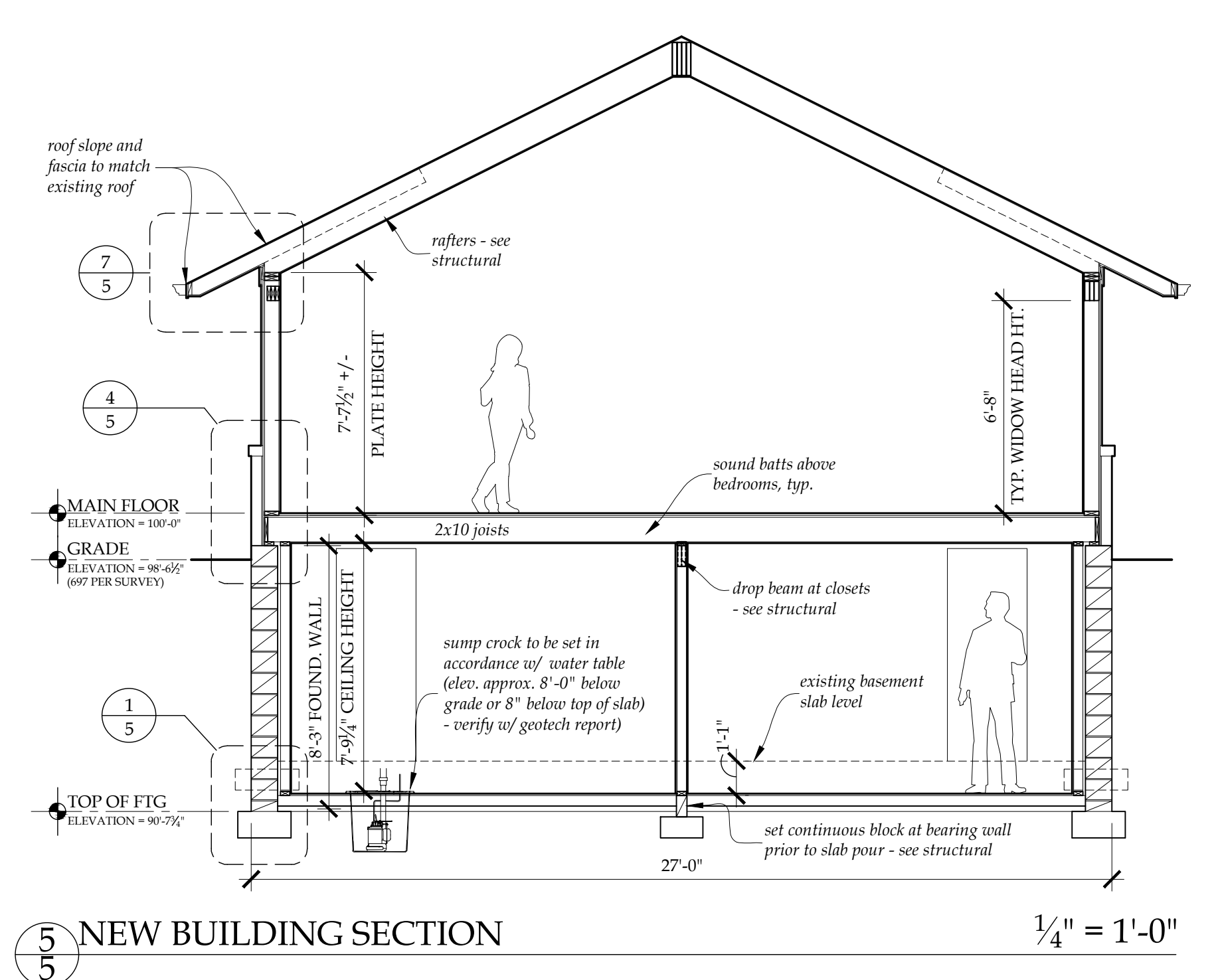
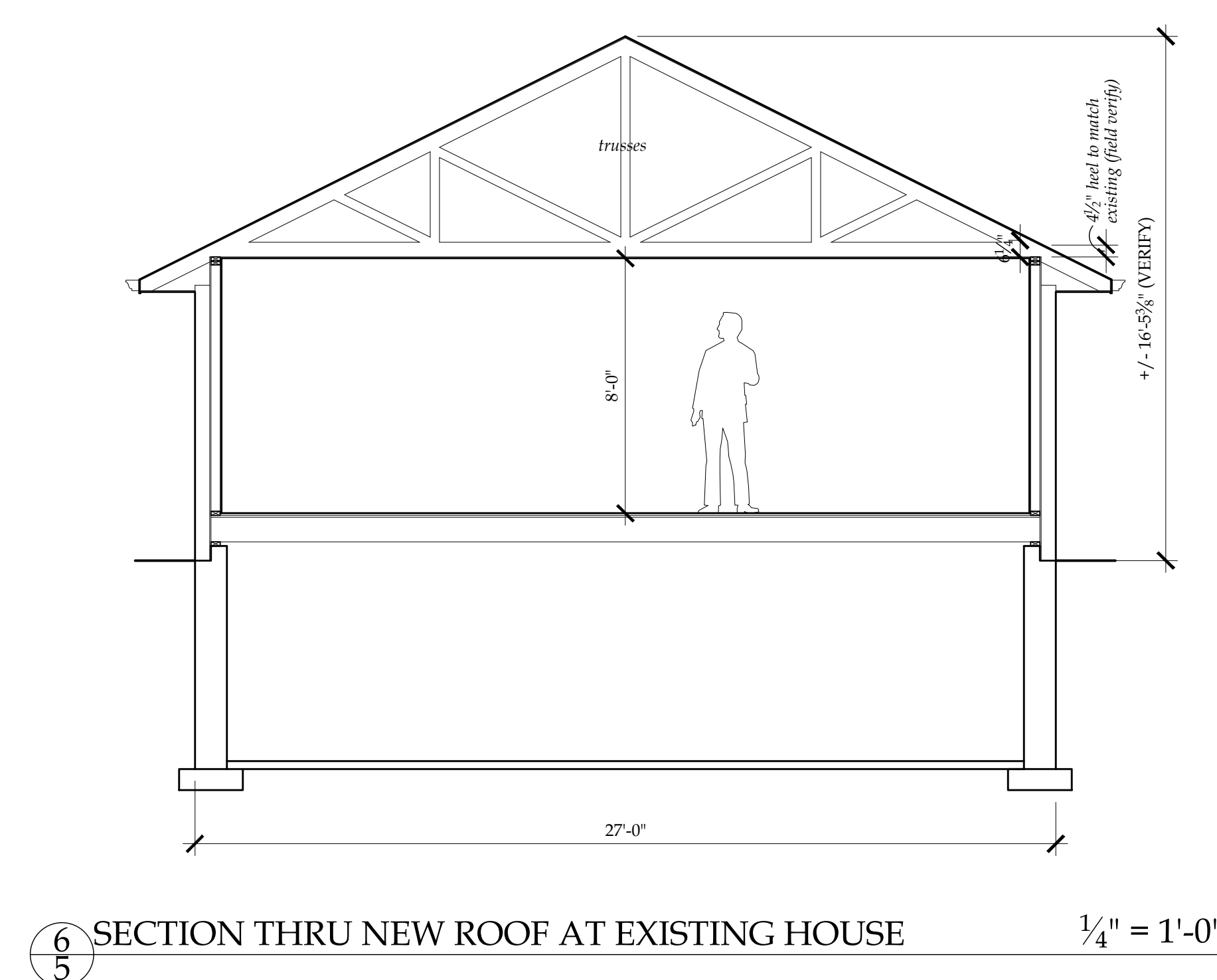
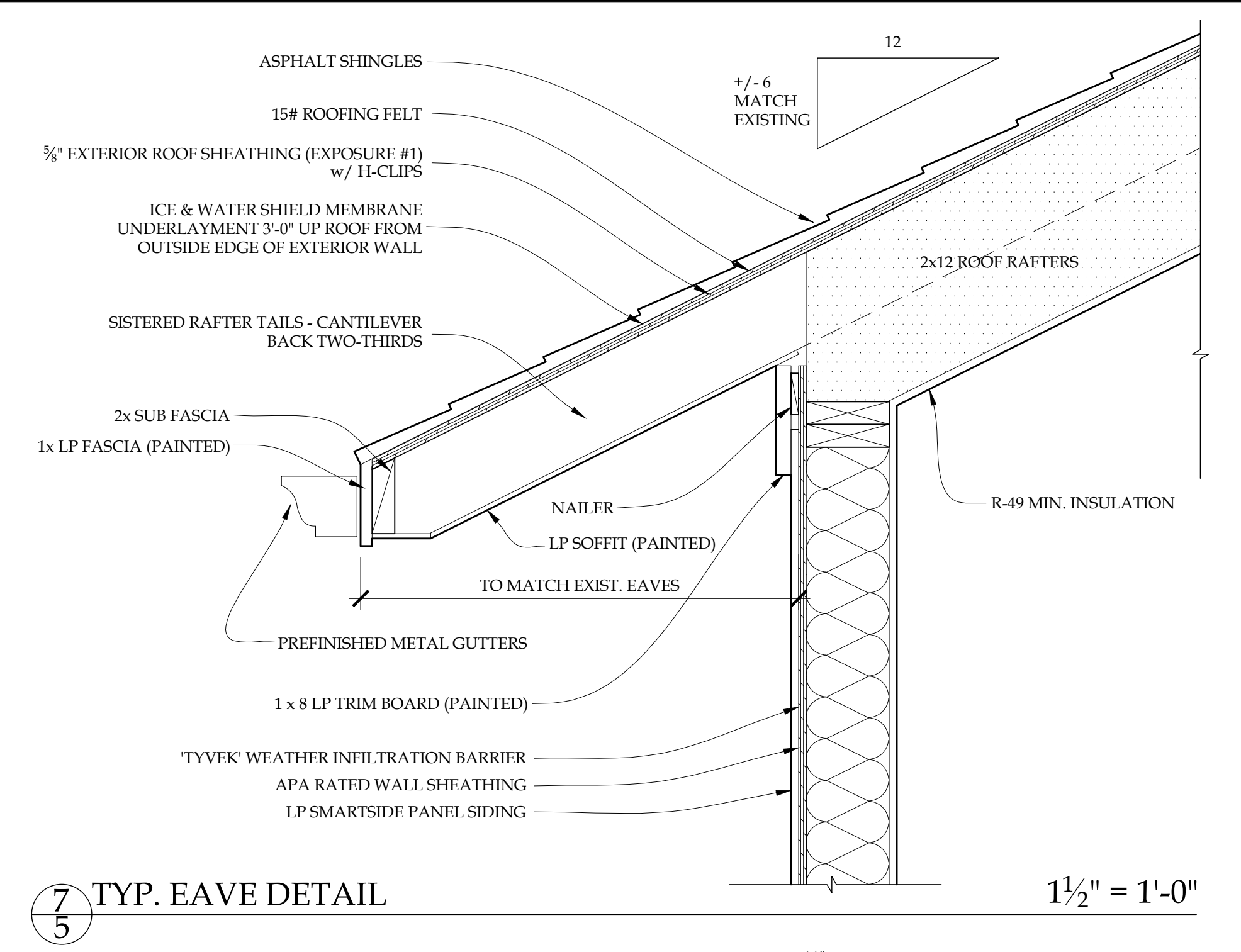
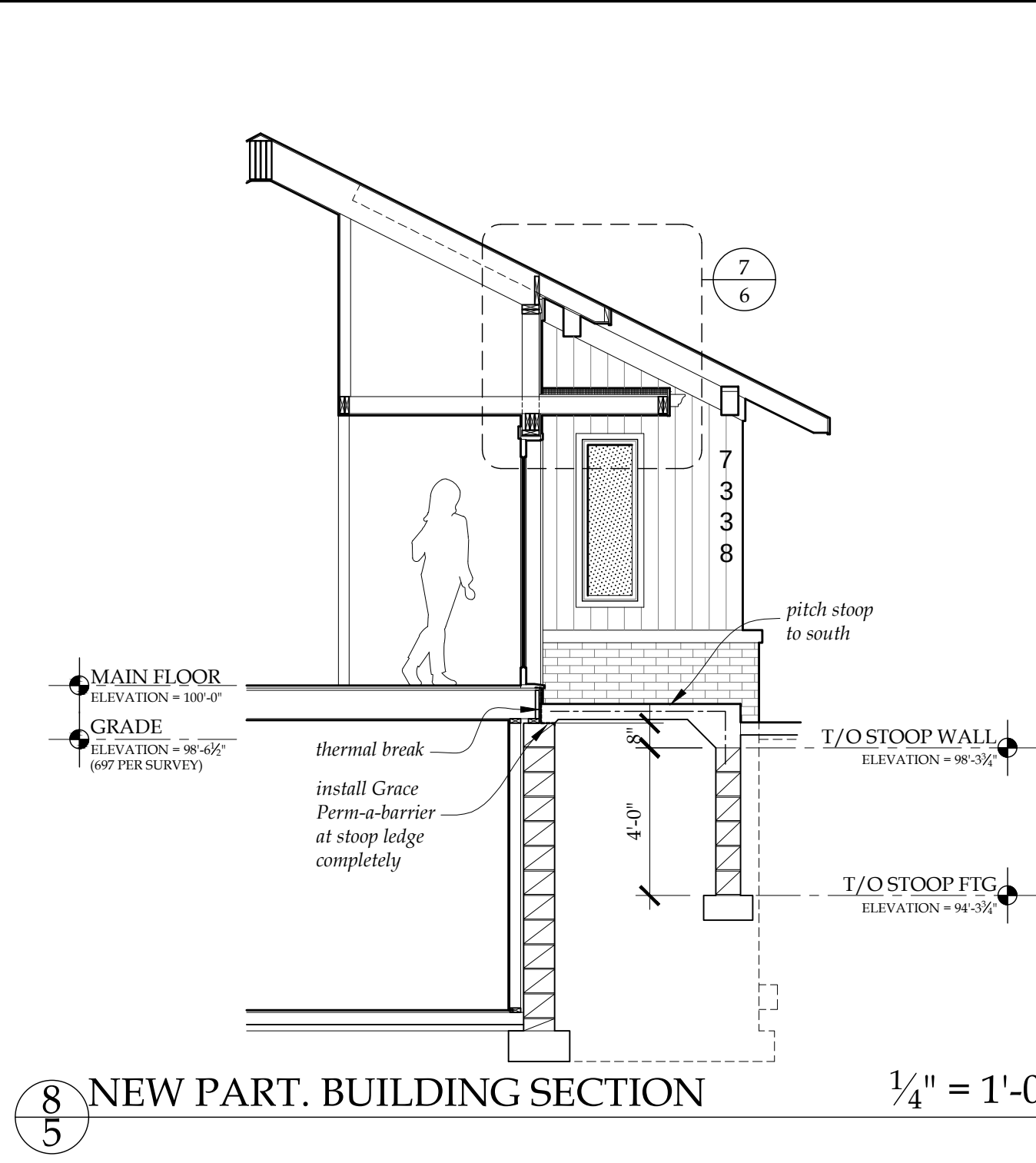


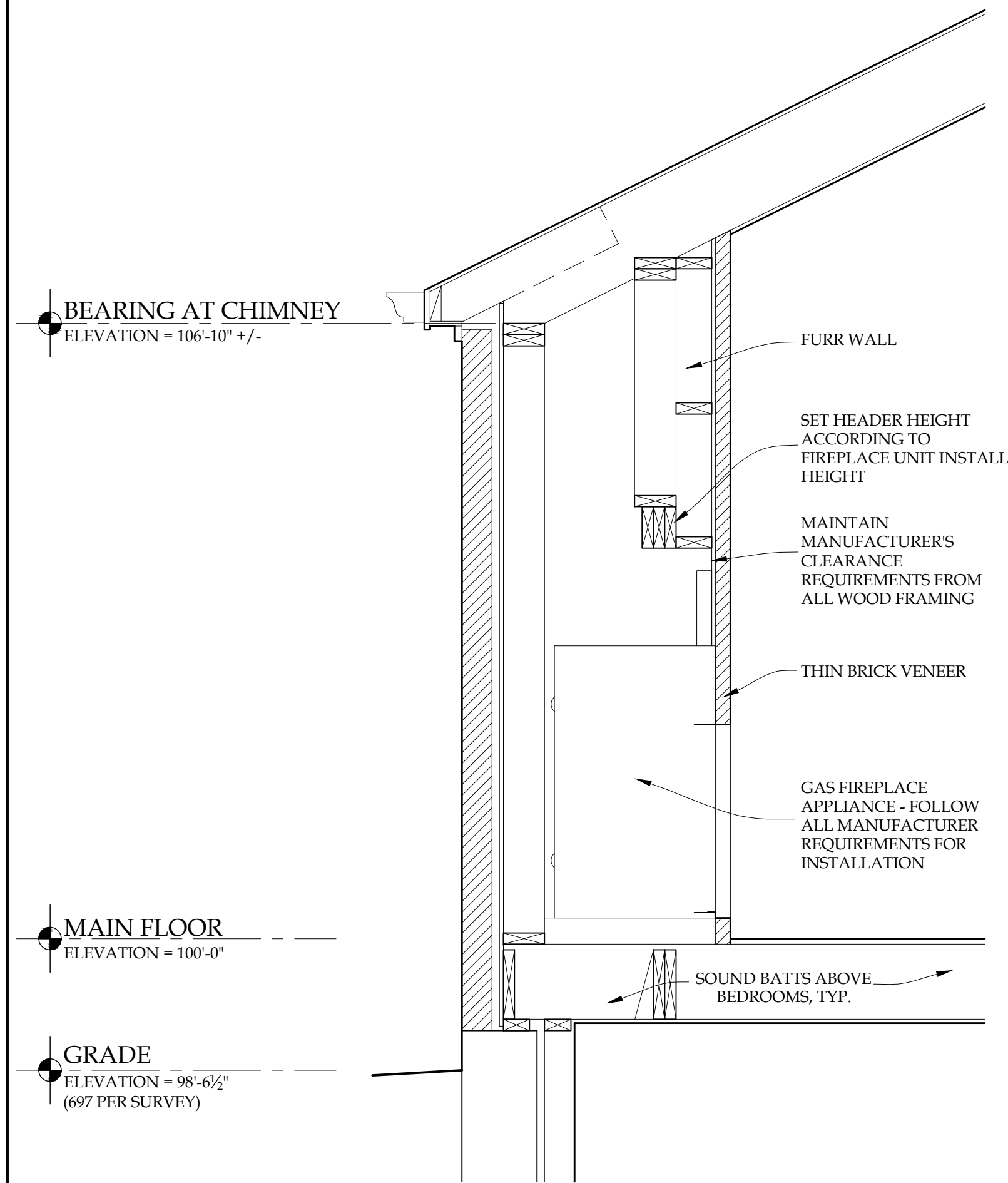
JEREMY HARTLINE
ARCHITECT

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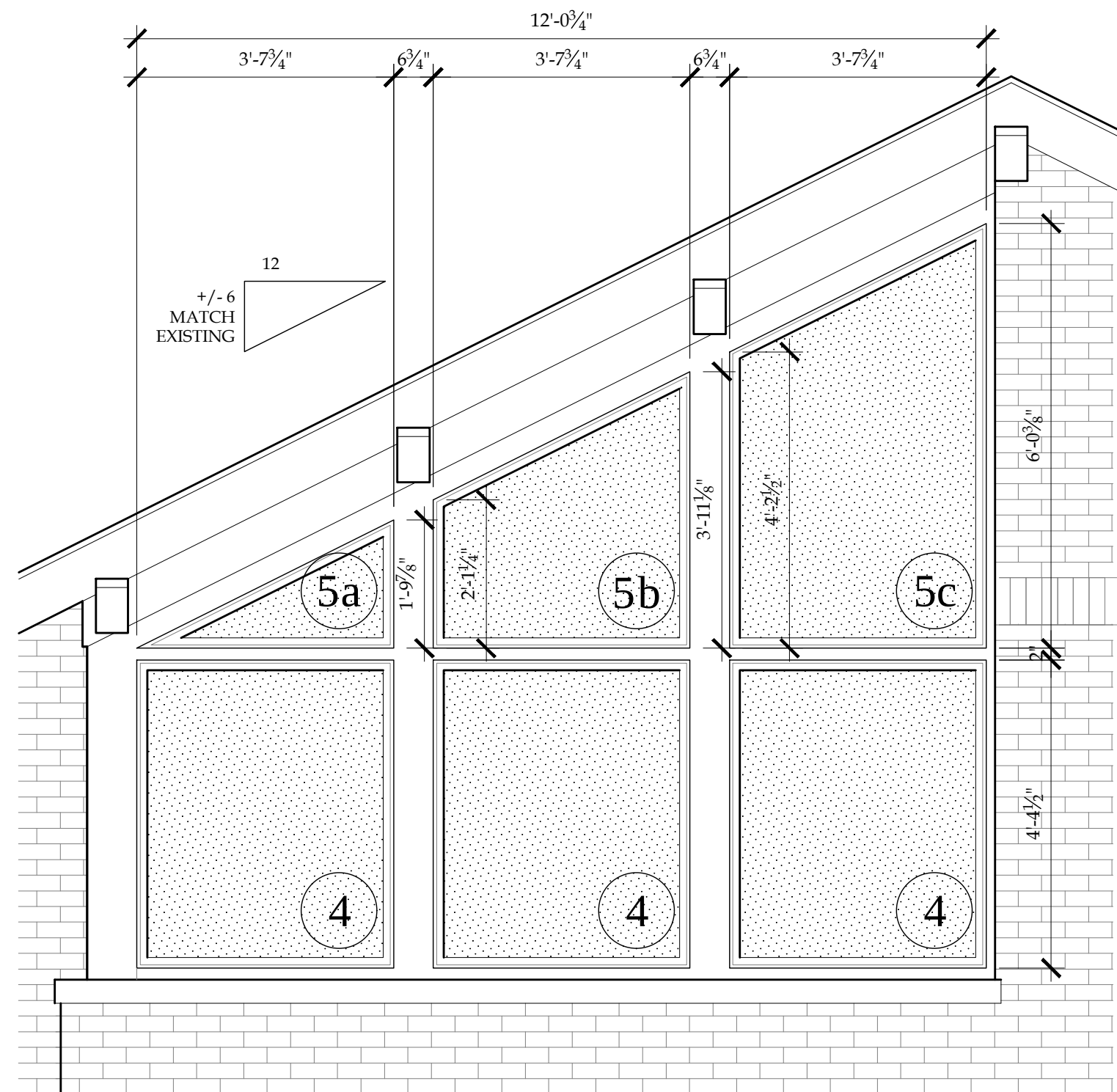
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DATE	2-22-2024
DRAWN BY	J. HARTLINE
PROJECT NO.	
SHEET	5
OF	9
SHEETS	





6 CHIMNEY SECTION DETAIL 3/4" = 1'-0"



5 WINDOW ELEVATION DIAGRAM 1/2" = 1'-0"

Excerpt from SPS 321.03 WISCONSIN ADMINISTRATIVE CODE

WINDOWS USED FOR EXITING. Windows which are installed for exit purposes shall comply with the requirements of this sub-section.

(a) The window shall be openable from the inside without the use of tools or the removal of a sash. If equipped with a storm or screen, it shall be openable from the inside.

(b) 1. The nominal size of the net clear window opening shall be at least 20 inches by 24 inches irrespective of height or width. Nominal dimensions shall be determined by rounding up fractions of inches if they are 1/2-inch or greater or rounding down fractions of inches if they are less than 1/2-inch.

2. No portion of the window, including stops, stools, meeting rails and operator arms, shall infringe on the required opening.

(c) The area and dimension requirements of par. (b) may be infringed on by a storm window.

1. For any window used for exiting, the lowest point of clear opening shall be no more than 60 inches above the floor.

2. If the lowest point of clear opening is more than 46 inches above the floor, a permanent platform or fixture shall be installed such that a flat surface at least 20 inches wide and 9 inches deep is located no more than 46 inches directly below the clear opening.

3. The topmost surface of the platform or fixture shall be no more than 24 inches above the floor.

4. The topmost surface of the platform or fixture shall support a live load of at least 200 pounds.

5. A stair used for the sole purpose of reaching the top of the platform or fixture is exempt from the requirements of s. SPS 321.04.

(e) 1. An egress window with any point of clear opening below adjacent grade shall be provided with an areaway in accordance with this section.

2. The width of the areaway shall be at least equal to the width of the window.

3. The areaway shall be a minimum of 36 inches measured perpendicular from the outer surface of the below-grade wall.

4. If the bottom of the areaway is more than 46 inches below adjacent grade or the top of the areaway enclosure, the areaway shall be provided with a ladder or stair to aid egress. Stairs used to comply with this section are exempt from the requirements of SPS 321.04.

5.

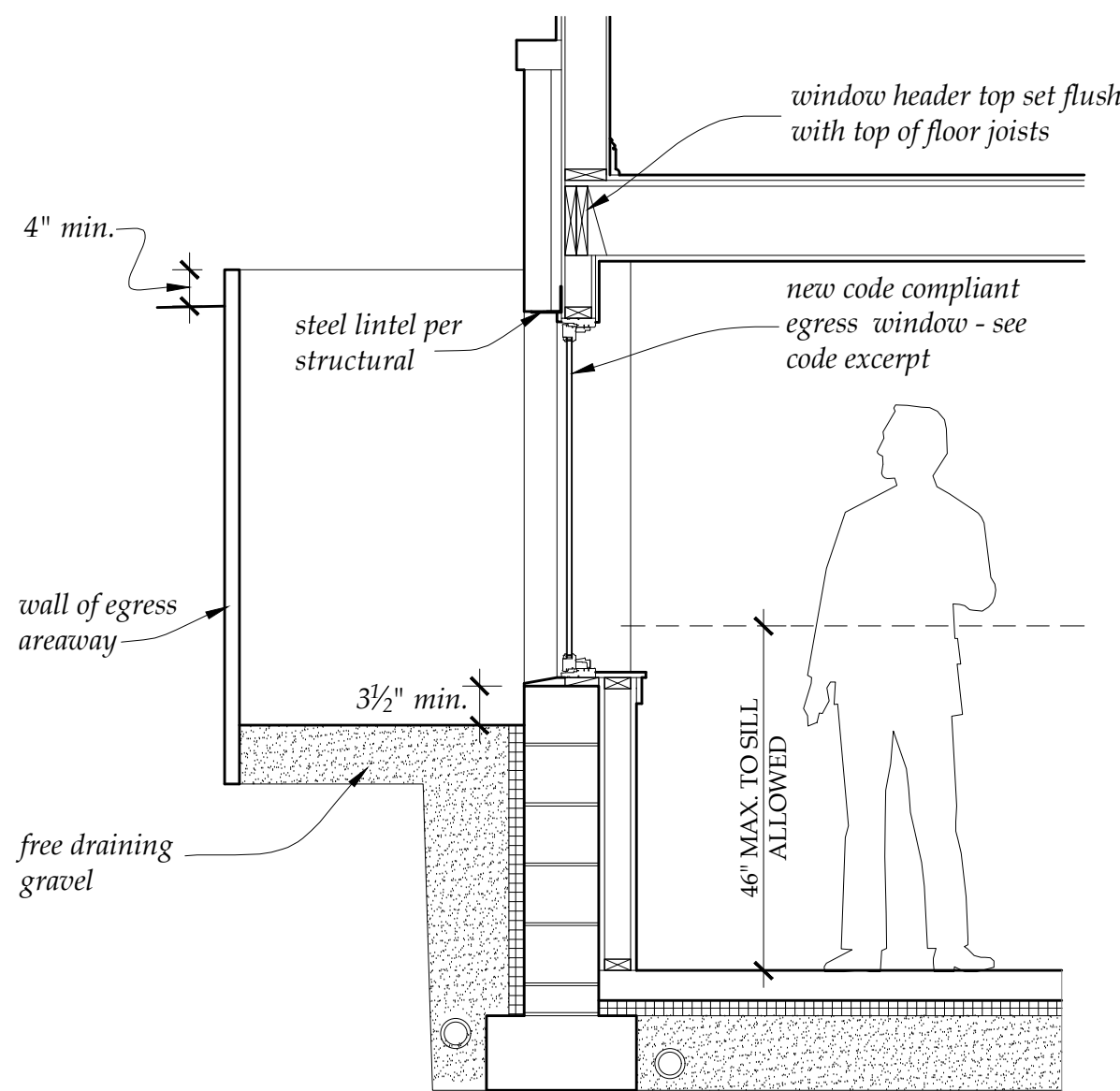
a. Ladders or other stairs used to comply with subd. 4. may infringe on the required area of the areaway by a maximum of 6 inches.

b. Ladder rungs shall have a minimum inside width of at least 12 inches and shall project at least 3 inches from the wall behind the ladder.

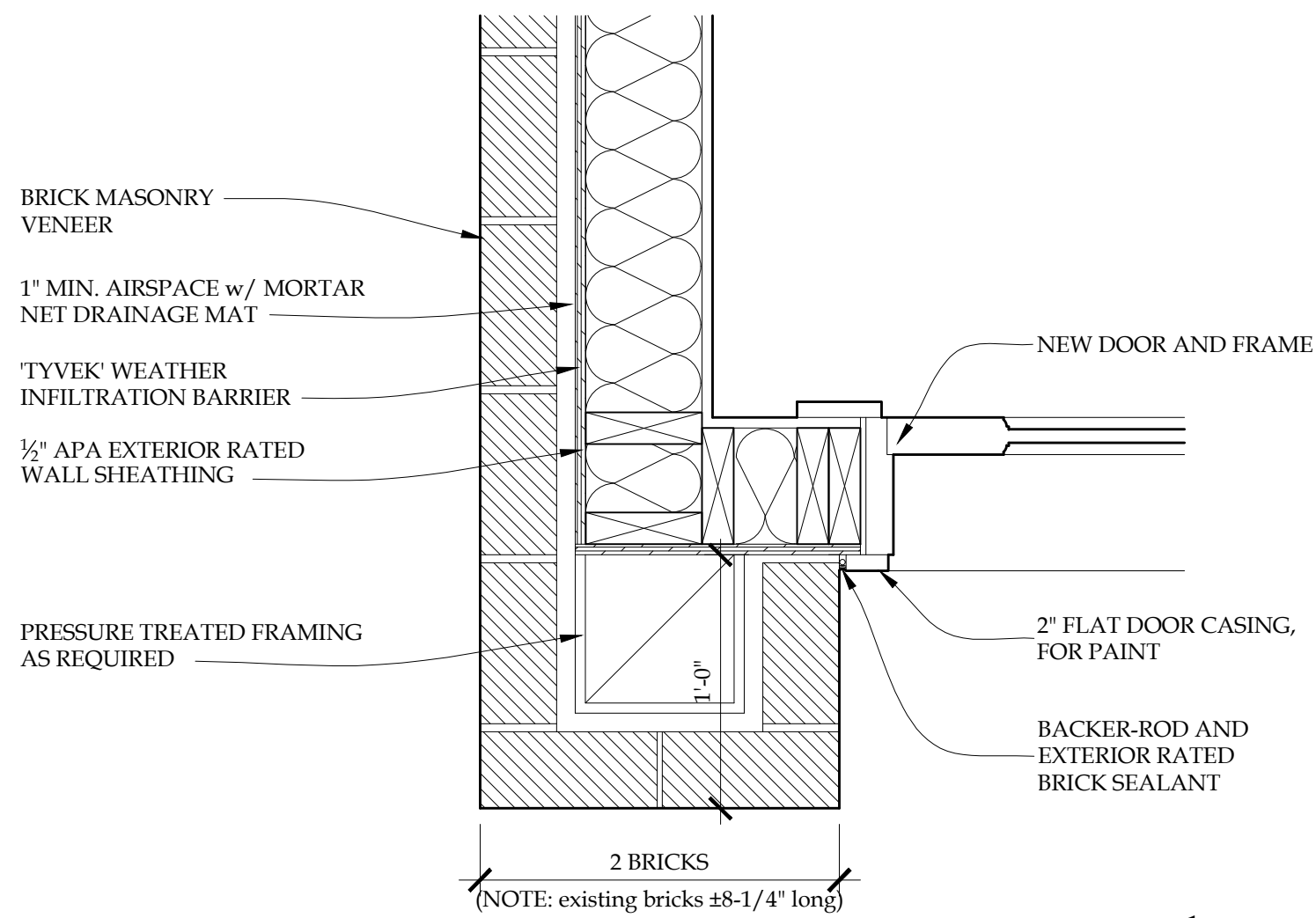
c. Ladder rungs shall be able to support a concentrated load of 200 pounds.

d. Ladder rungs shall have a maximum rise of 12 inches between rungs and shall extend to within 12 inches of exterior grade.

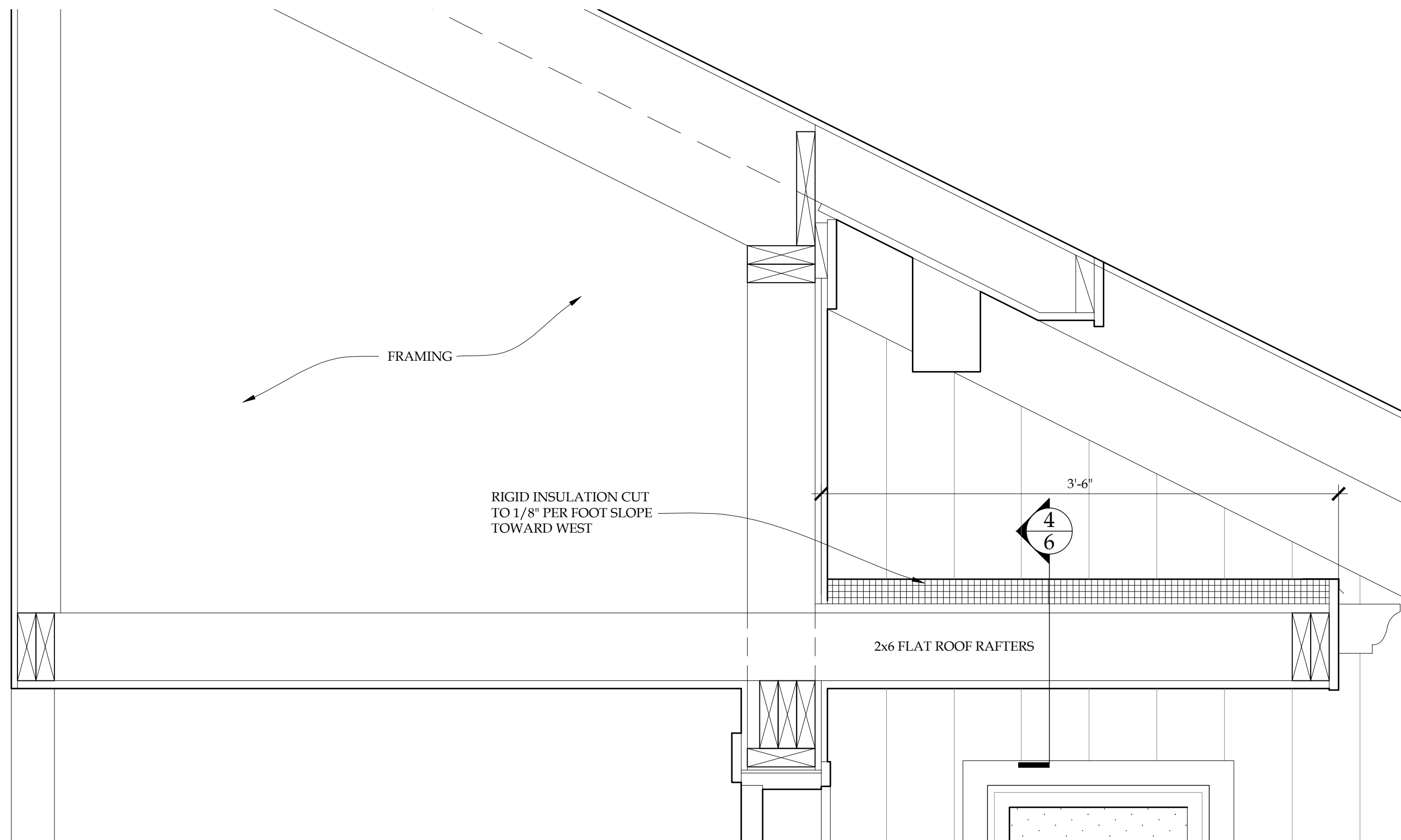
6. The areaway shall be constructed such that water entering the areaway does not enter the dwelling.



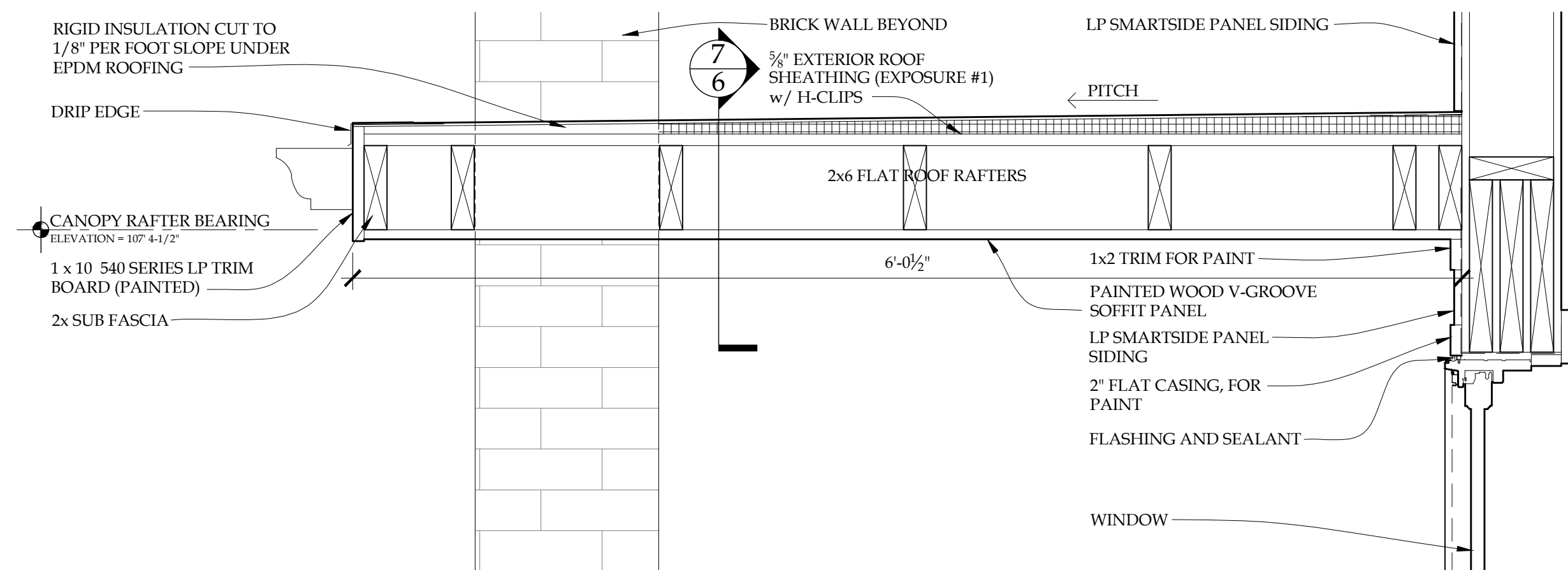
3 TYPICAL EGRESS WINDOW SECTION DETAIL 1/2" = 1'-0"



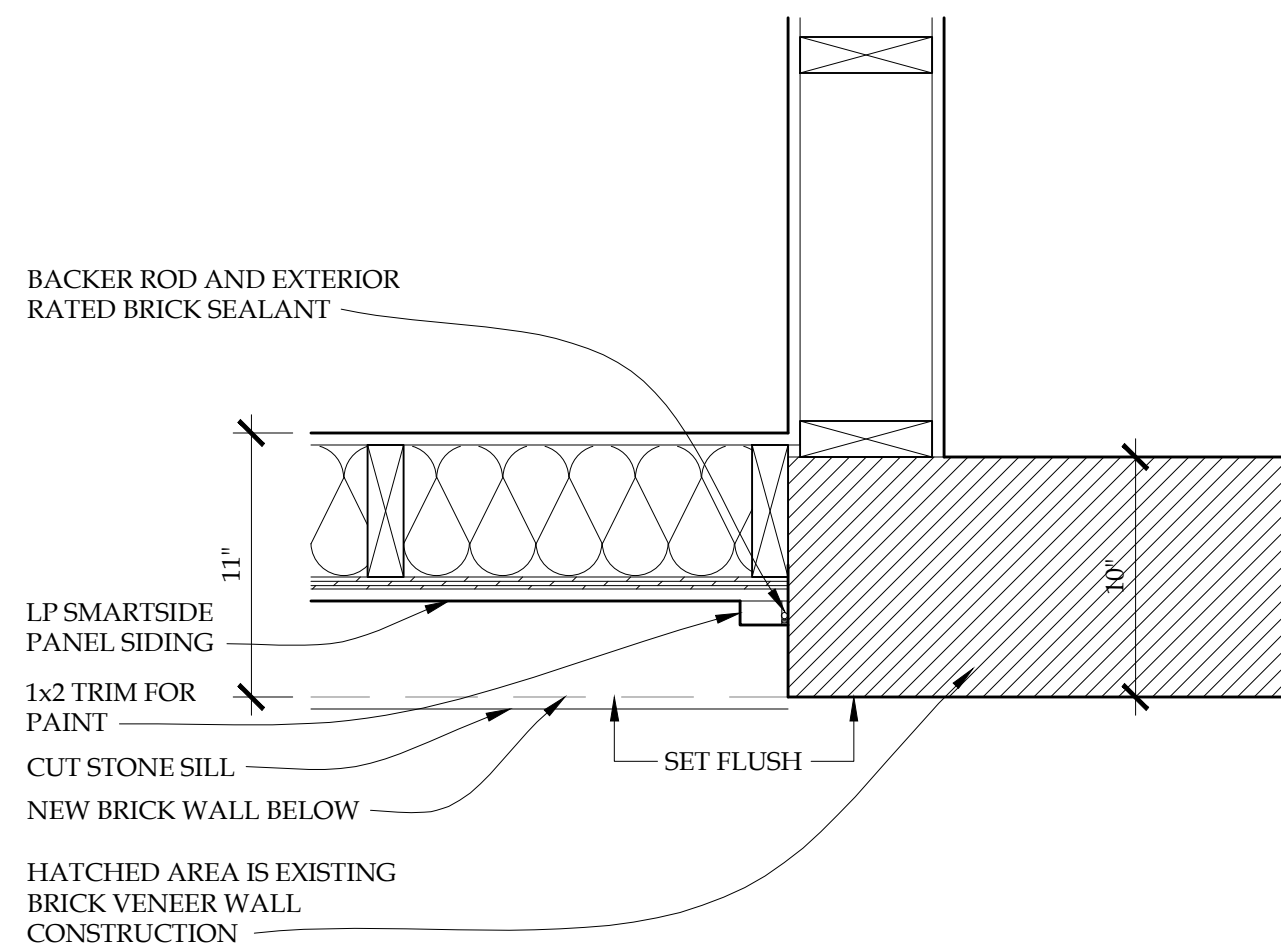
2 PLAN DETAIL 1 1/2" = 1'-0"



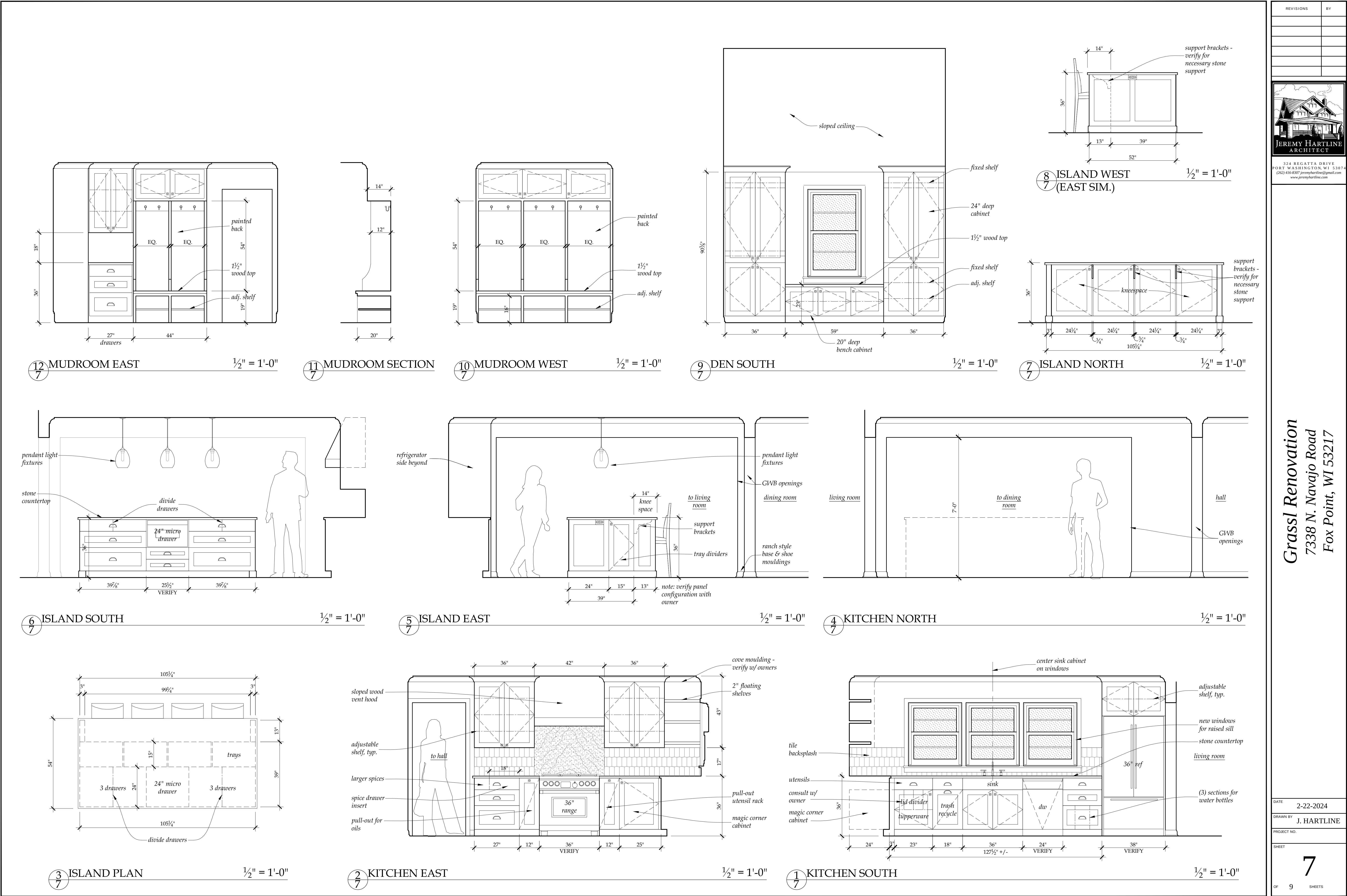
7 CANOPY SECTION DETAIL 1 1/2" = 1'-0"



4 CANOPY SECTION DETAIL 1 1/2" = 1'-0"



1 PLAN DETAIL 1 1/2" = 1'-0"



REVISIONS	BY

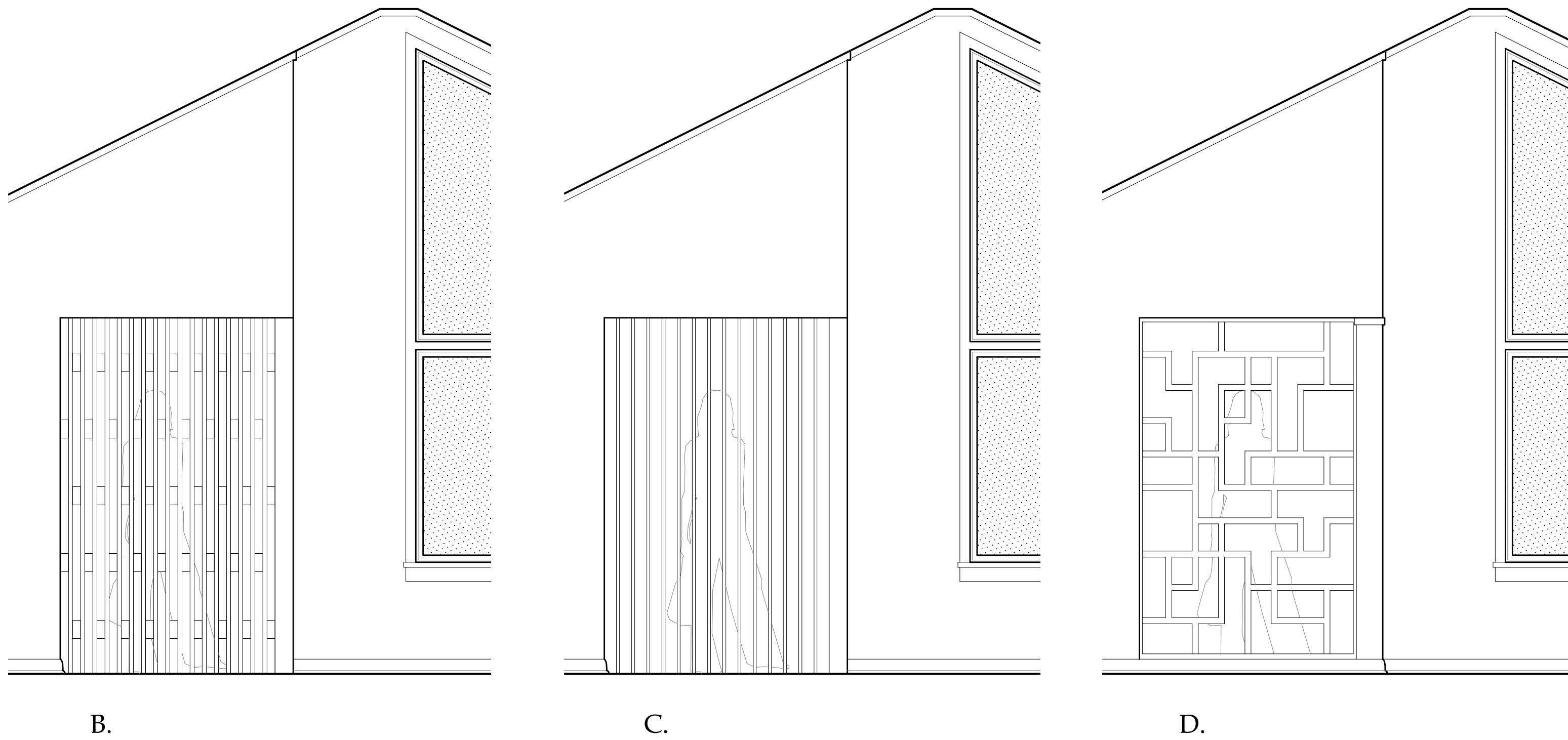


JEREMY HARTLINE
ARCHITECT

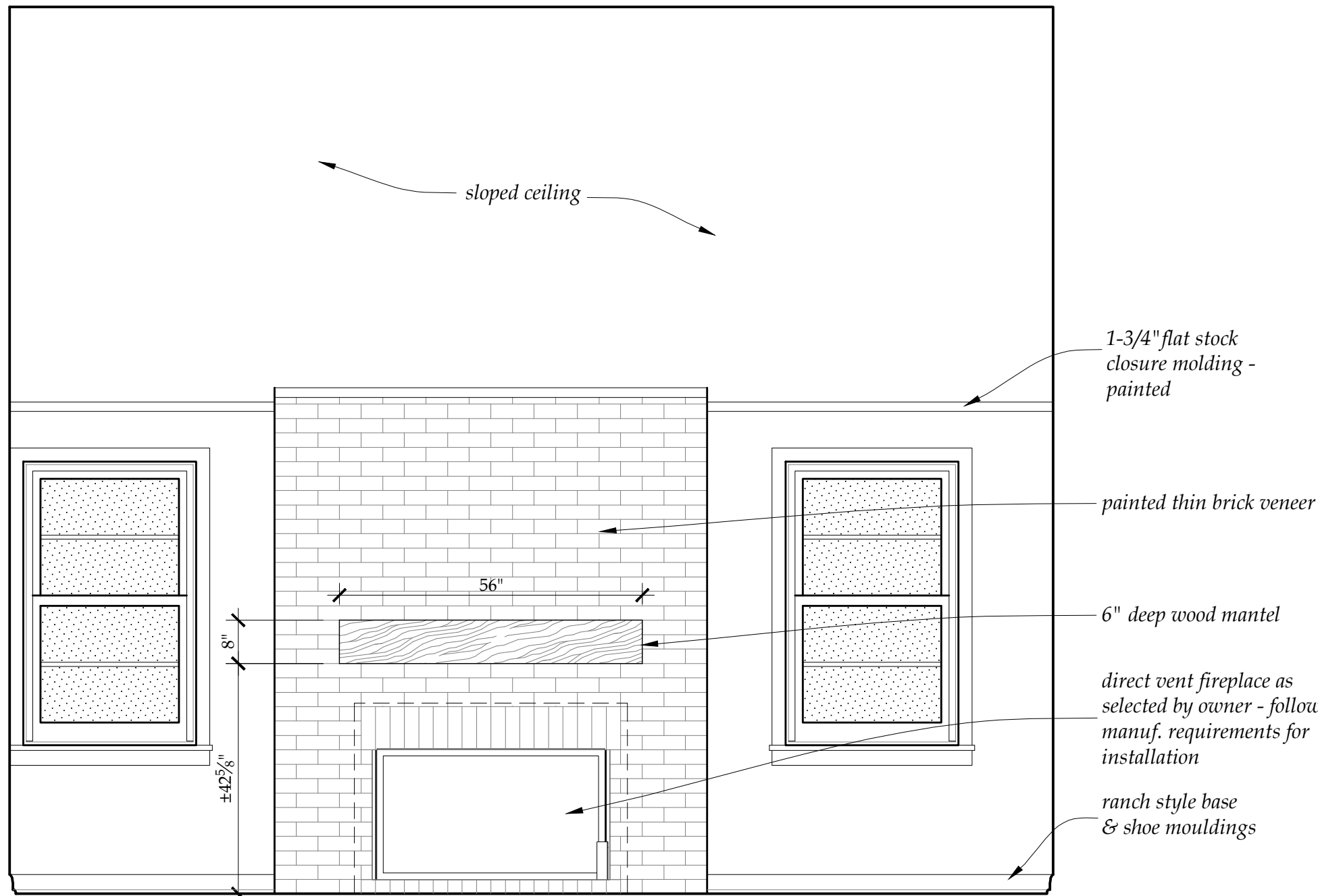
324 REGATTA DRIVE
PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

Grassl Renovation
 7338 N. Navajo Road
 Fox Point, WI 53217

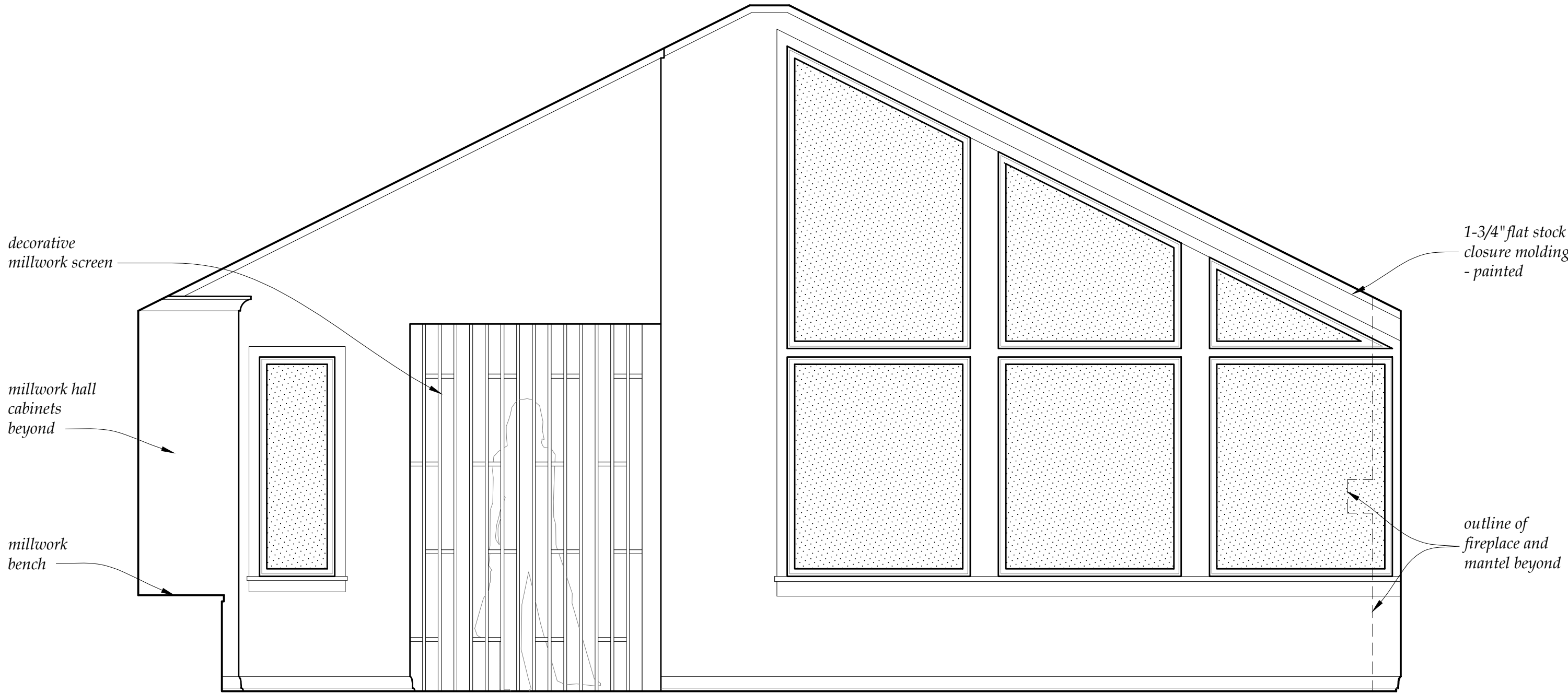
DATE	2-22-2024
DRAWN BY	J. HARTLINE
PROJECT NO.	
SHEET	8
OF 9 SHEETS	



OPTIONAL WOOD SCREEN DESIGNS 1/2" = 1'-0"



2/8 LIVING ROOM NORTH 1/2" = 1'-0"

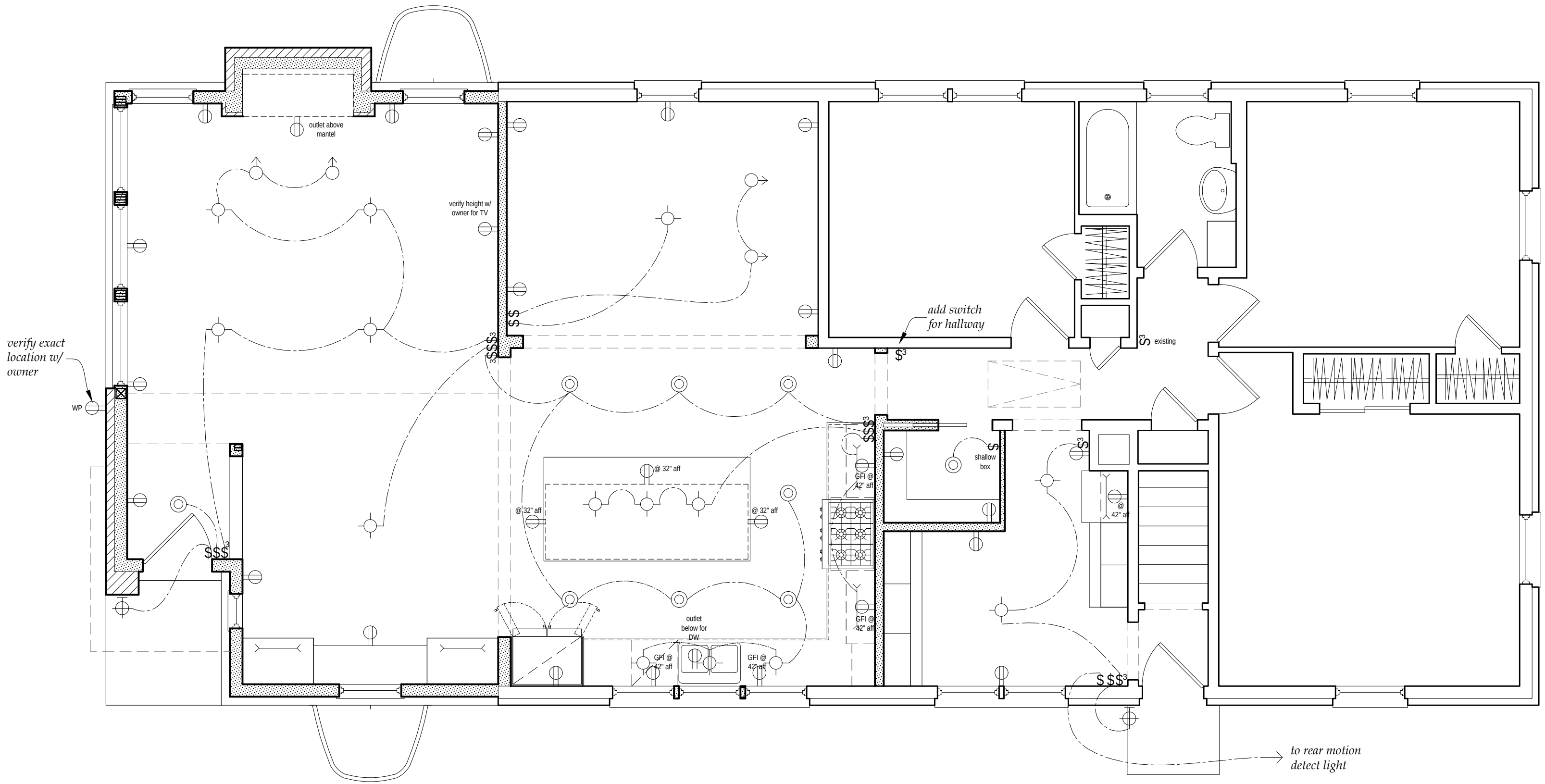


1/8 LIVING ROOM/DEN WEST 1/2" = 1'-0"

ELECTRICAL KEY			
\$	SWITCH	○→	DIRECTIONAL RECESSED DOWNLIGHT
\$ ₃	3-WAY SWITCH	⊙	CEILING MOUNTED FIXTURE
\$ _D	DIMMER SWITCH	⊕	WALL MOUNTED FIXTURE
\$ _{DS}	DOOR SWITCH	⊙	RECESSED DOWNLIGHT
⊕	DUPLEX OUTLET	⊕	RECESSED FAN/DOWNLIGHT
⊕	QUADRUPLUX OUTLET	→	LED STRIP FIXTURE
⊕	HALF SWITCHED DUPLEX OUTLET	↔	UPLIGHT FIXTURE
⊕	NIGHTLIGHT DUPLEX OUTLET	○	UNDER CABINET LOW VOLTAGE LIGHTING
⊕	GROUND FAULT INTERRUPT DUPLEX OUTLET	⊙	CEILING MOUNTED EXHAUST FAN
⊕	DUPLEX FLOOR OUTLET	⊕	HIGH INTENSITY DIRECTIONAL FLOOD LIGHT
⊕	WEATHERPROOF OUTLET	⊕	CEILING FAN
PM	PLUG MOULD	SD	SMOKE DETECTOR
⊕	GARBAGE DISPOSAL	CD	CARBON MONOXIDE DETECTOR

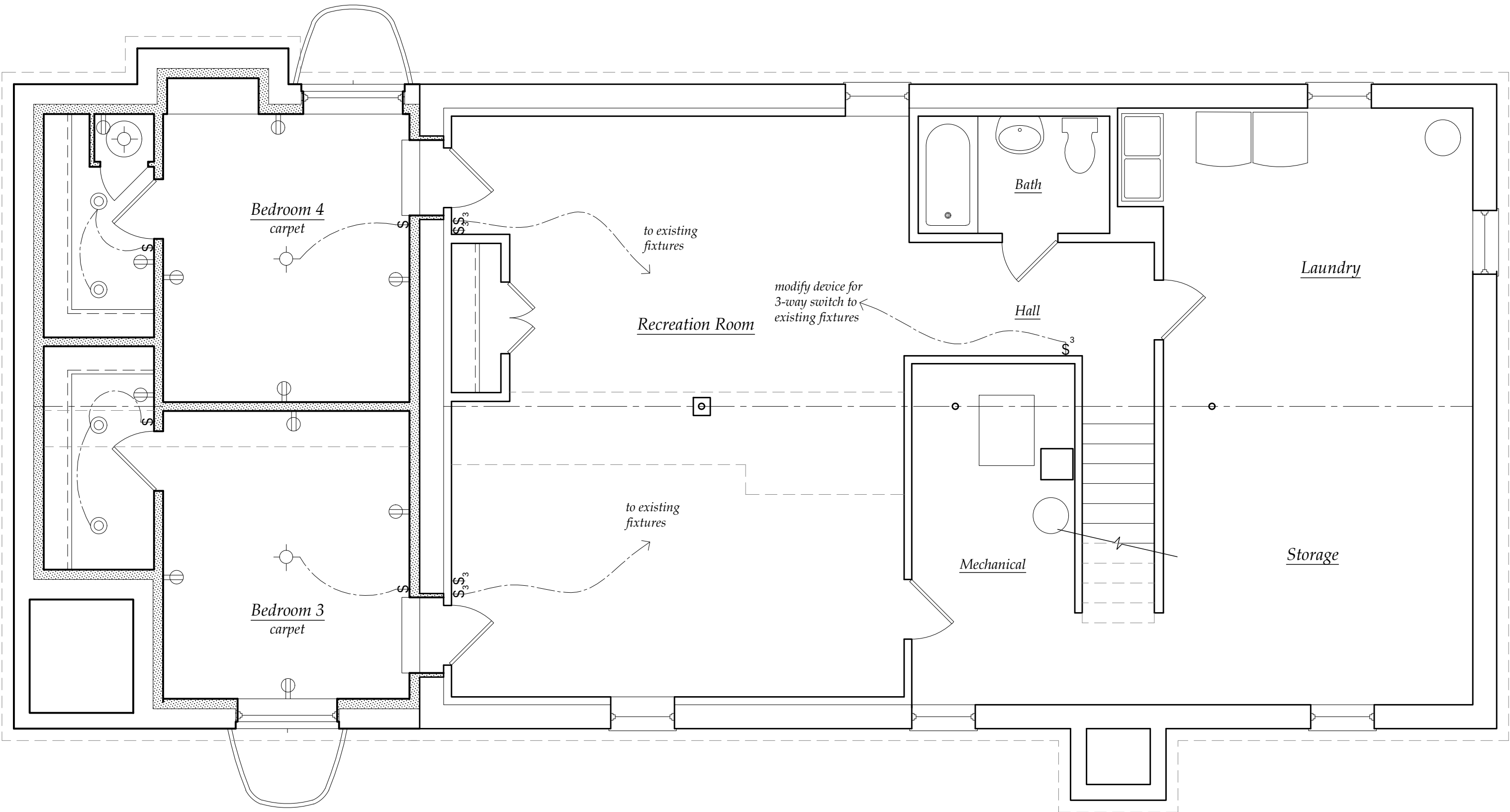
ELECTRICAL NOTES

1. Electrician to verify Owner's electrical requirements. Electrician services are to be performed as a "design/build" contract.
2. Provide dedicated outlets or hard-wired connections to all appliances.
3. Provide convenience outlets as shown on plan and as required by code.
4. Consult owner regarding color and material of all device face plates, switches, and outlets.
5. Provide additional circuits for landscape lighting and driveway lights.
6. Use wet location rated fixtures & devices at exteriors, showers, and where required by code.
7. Discuss options for deck lights w/ Owner
8. Install boxes only and conduct walkthrough w/ Owner and Architect prior to final install to verify all locations



MAIN LEVEL ELECTRICAL PLAN

1/4" = 1'-0"



LOWER LEVEL ELECTRICAL PLAN

1/4" = 1'-0"



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PORT WASHINGTON, WI 53074
(262) 416-8307 jeremyhartline@gmail.com
www.jeremyhartline.com

Grassl Renovation
7338 N. Navajo Road
Fox Point, WI 53217

DATE	2-22-2024
DRAWN BY	J. HARTLINE
PROJECT NO.	
SHEET	9
OF	9 SHEETS



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B-_____

OFFICE USE ONLY

Issued Date

Zoning

BUILDING PERMIT

Job Address 1130 East Dean Road	Building Type: Residential ☒ Commercial ☐
Description of Work	
This is an addendum to permit number B-15321 which was issued on February 21, 2024. The previous permit called for building a 2nd story addition over an existing 1st floor sunroom. The new plan calls for removing the existing 1st floor sun room and rebuilding it in the similar footprint but with a full basement instead of crawl space. An additional bump out will be build on the west side of the house (first floor only)	
Estimated Cost of Project \$ \$70,000.00 additional on top of the previously issued permit number B-15321	

Owner/Occupant Steve and Leah Fouhal	
Business Name	Contact Name
Address 2851 West Fritch Ave	City/State/Zip Chicago IL 60645
Phone 312-874-8148	Email

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Royal Investors LLC	Contact Name Nick Griswold
Address N162W20291 Butternut Lane	City/State/Zip Jackson
Phone 4143033185	Email Nick@royalbuilders.build
Dwelling Contractor # 080200066	Dwelling Contractor Qualifier # 050800029

Square Footage Under Construction				
1st Floor 340	2nd Floor 200	Basement 340	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	700.00
Building Board	\$75.00	
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$

Applicant Signature  Date 2/29/2024

Rev 01/22

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.059991

Feb 29, 2024

1130 E Dean RD

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	

Total:	75.00
--------	-------

CHECK	Check No: 7832	75.00
Payor: Royal Investors LLC		

Total Applied:	75.00
----------------	-------

Change Tendered:	.00
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Duplicate Copy

02/29/2024 1:28 PM

Services Offered

Commercial Site Development
Subdivision Design and Platting
Planning and Plan Review
Streets and Highway Design
Drainage Studies
Water Distribution Systems
Sewer Collection Systems
Construction Surveying and Stake-out
Services
Structures



8417 North 118th Court
(414) 616-4880

**McCLURE
ENGINEERING
ASSOCIATES, INC.**

Milwaukee, Wisconsin 53226
FAX (414) 616-4885

PROJECT NO: 08-13-03-059

DRAWING: 03059S1.DWG

PLAT OF SURVEY

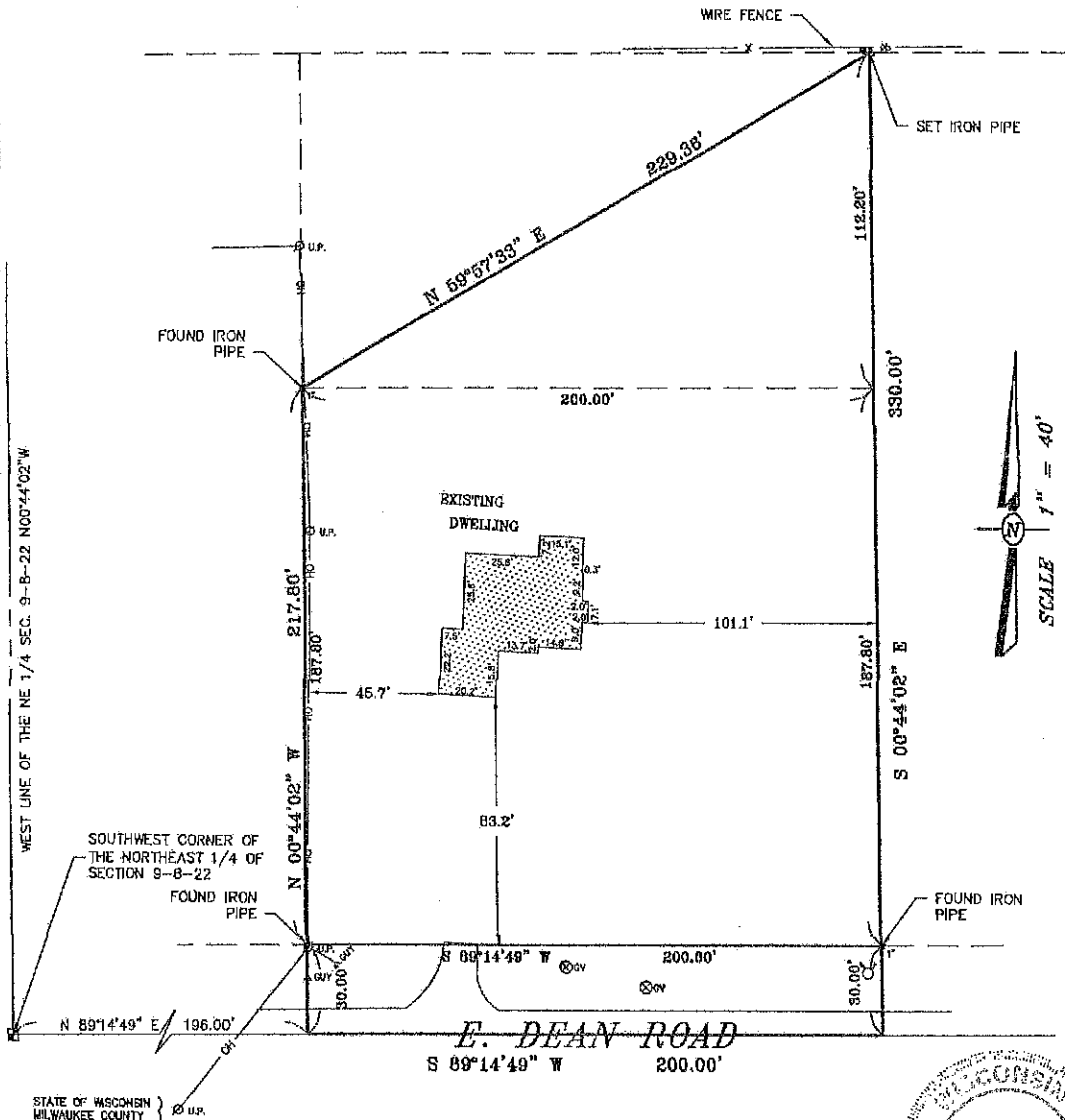
PREPARED FOR: MR. & MRS. KAMPSCHROER

LEGAL DESCRIPTION:

That part of the Northeast 1/4 of Section 9, in Township 8 North, Range 22 East, in the Village of Fox Point bounded and described as follows:

Commencing at a point in the South line of said 1/4 Section, which is 196 feet more or less, East of the Southwest corner of said 1/4 Section, running thence Northerly and parallel to the West line of said 1/4 Section, 217.8 feet to the place of beginning of land to be described; running thence Northeasterly on a line to a point, said point being 330 feet more or less North and 396 feet more or less East of the Southwest corner of said 1/4 Section; thence Southerly and parallel to the West line of said Section, 112.2 feet more or less to a point; thence Westerly and parallel to the South line of said 1/4 Section, 200 feet more or less to the place of beginning. Also, a parcel of land in the Northeast 1/4 of Section 9, Township 8 North, Range 22 East, in the Village of Fox Point, County of Milwaukee, State of Wisconsin, bounded and described as follows:

Commencing at a point in the South line of said 1/4 Section, which is 196 feet East of the Southwest corner of said 1/4 Section; running thence Northerly and parallel to the West line of said 1/4 Section 217.8 feet to a point; thence Easterly and parallel to the South line of said 1/4 Section, 200 feet to a point; thence Southerly and parallel to the West line of said 1/4 Section, 217.8 feet to a point in the South line of said 1/4 Section; thence Westerly along the South line of said 1/4 Section, 200 feet to the place of beginning, reserving therefrom the South 30 feet for street or road purposes.



STATE OF WISCONSIN
MILWAUKEE COUNTY

I hereby certify that I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadway and visible encroachments, if any.

This survey is made for the present owners of the property, and also those who purchase, mortgage, or guarantee, the title thereto within (1) year from date hereof.

Dated at MILWAUKEE, this 13TH day of MAY, 2003

Recertified: *[Signature]*
Surveyor



DRAWN BY: MDN
CHECKED BY:

PLAT OF SURVEY FOR RALPH M. AND MARILYN M. SCHAPIRA

PARCEL 1

THAT PART OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE SOUTH LINE OF SAID 1/4 SECTION, WHICH IS 196 FEET MORE OR LESS, EAST OF THE SOUTHWEST CORNER OF SAID 1/4 SECTION, RUNNING THENCE NORTHERLY AND PARALLEL TO THE WEST LINE OF SAID 1/4 SECTION, 217.80 FEET TO THE PLACE OF BEGINNING OF THE LAND TO BE DESCRIBED; RUNNING THENCE NORTHEASTERLY ON A LINE TO A POINT, SAID POINT BEING 300.00 FEET MORE OR LESS NORTH AND 396.00 FEET MORE OR LESS EAST OF THE SOUTHWEST CORNER OF SAID 1/4 SECTION; THENCE SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID SECTION, 112.20 FEET MORE OR LESS TO A POINT; THENCE WESTERLY AND PARALLEL TO THE SOUTH LINE OF SAID 1/4 SECTION, 200.00 FEET MORE OR LESS TO THE PLACE OF BEGINNING.

PARCEL 2

ALSO, A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT IN THE SOUTH LINE OF SAID 1/4 SECTION, WHICH IS 196 FEET EAST OF THE SOUTHWEST CORNER OF SAID 1/4 SECTION SAID POINT BEING THE POINT OF BEGINNING, RUNNING THENCE NORTHERLY AND PARALLEL TO THE WEST LINE OF SAID 1/4 SECTION, 217.80 FEET TO A POINT; THENCE EASTERLY AND PARALLEL TO THE SOUTH LINE OF SAID 1/4 SECTION, 200.00 FEET TO A POINT; THENCE SOUTHERLY AND PARALLEL TO THE WEST LINE OF SAID 1/4 SECTION, 217.80 FEET TO A POINT IN THE SOUTH LINE OF SAID 1/4 SECTION; THENCE WESTERLY ALONG THE SOUTH LINE OF SAID 1/4 SECTION, 200.00 FEET TO THE PLACE OF BEGINNING, RESERVING THEREFORM THE SOUTH 30.00 FEET FOR STREET OR ROAD PURPOSES.

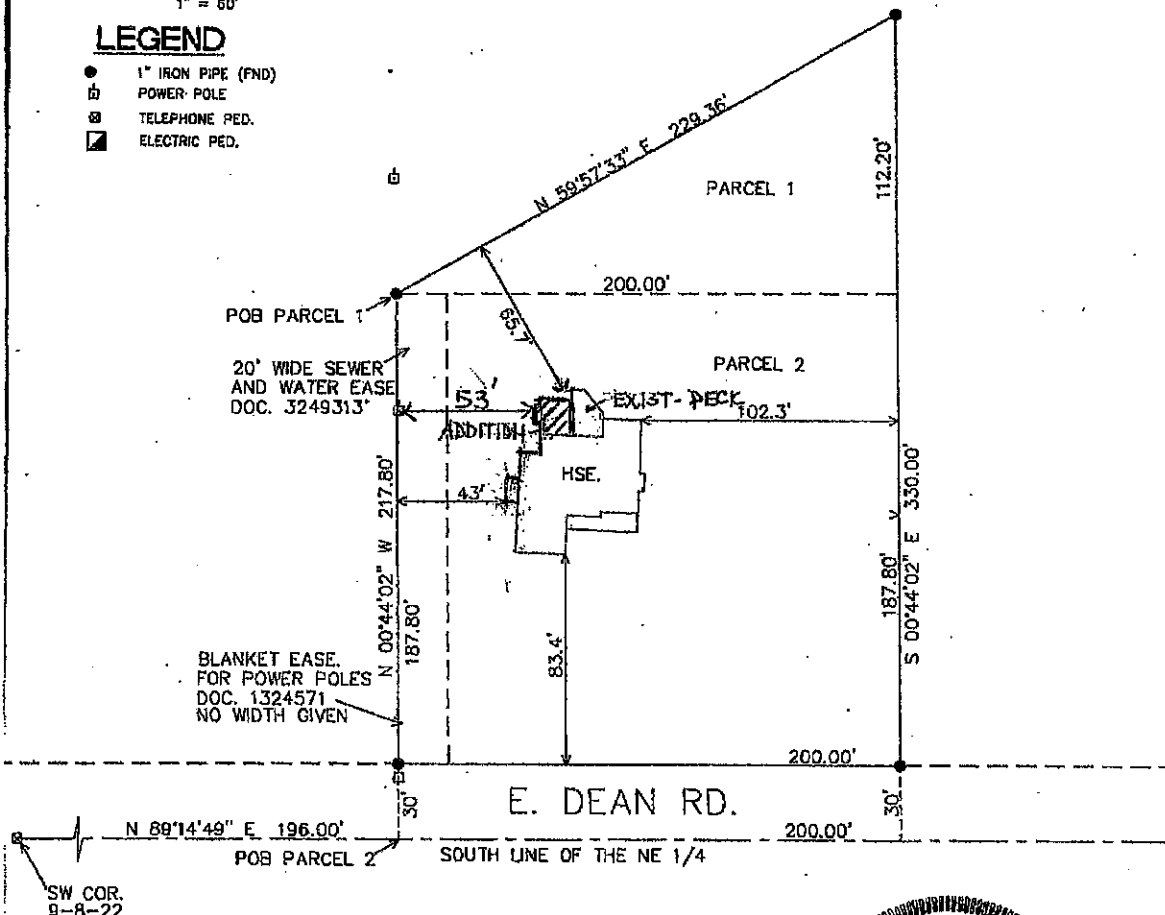
SAID PARCELS CONTAINS 1.258 ACRES. SAID PARCELS CONTAINS 1.120 ACRES WITHOUT RIGHT OF WAY.

BEARINGS BASED ON THE
SOUTH LINE OF THE NE 1/4
N 89°14'49" E

1" = 60'

LEGEND

- 1" IRON PIPE (FND)
- ⊕ POWER POLE
- ⊗ TELEPHONE PED.
- ▣ ELECTRIC PED.

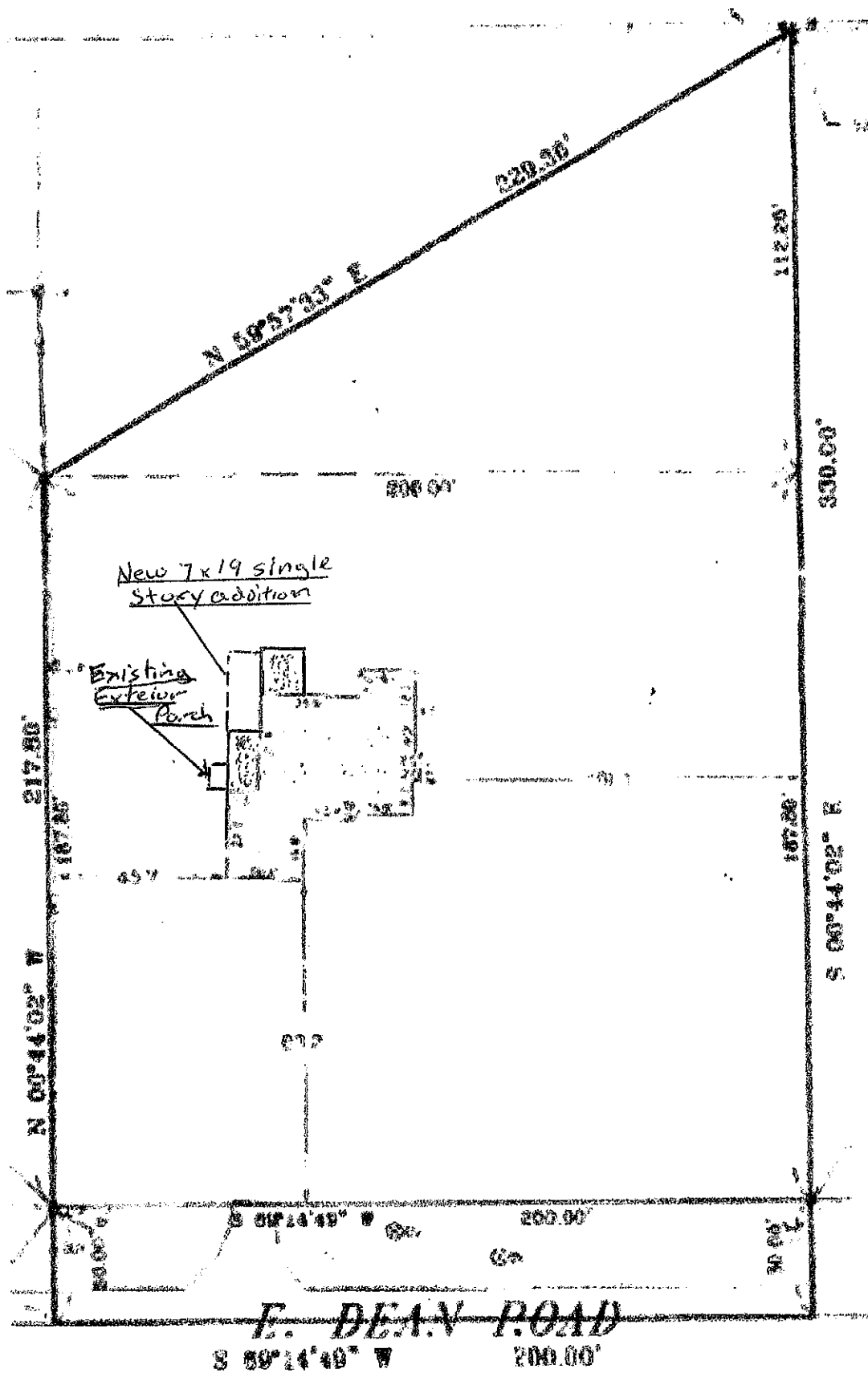


STATE OF WISCONSIN) SS
MILWAUKEE COUNTY)

I, Anthony J. Gromacki, Land Surveyor in the State of Wisconsin, do hereby certify that on November 18th, 2004 surveyed the above described property according to official records and the accompanying map is true and correct representation of the exterior boundaries of the land surveyed to the best of my belief and knowledge.

THIS INSTRUMENT WAS DRAFTED BY ANTHONY J. GROMACKI, R.L.S. 2090

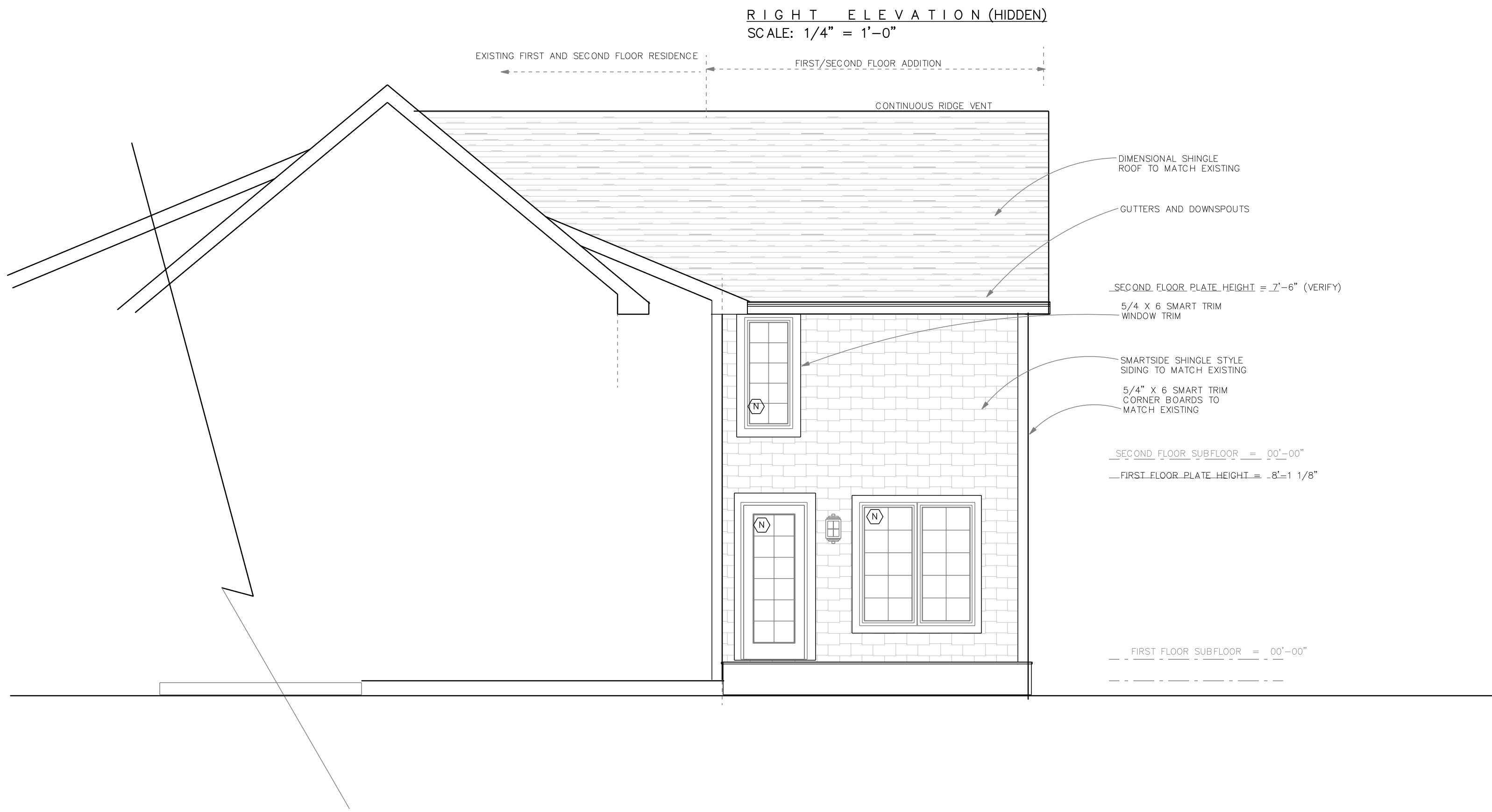
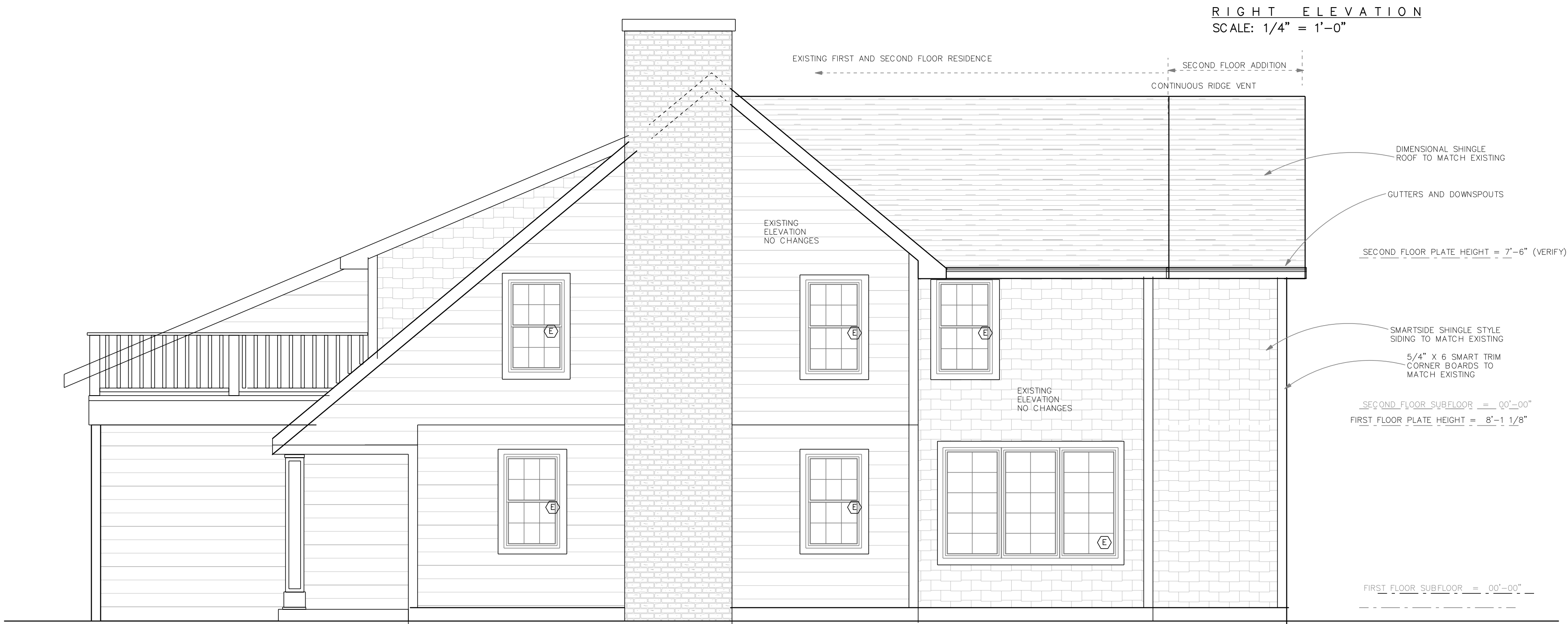




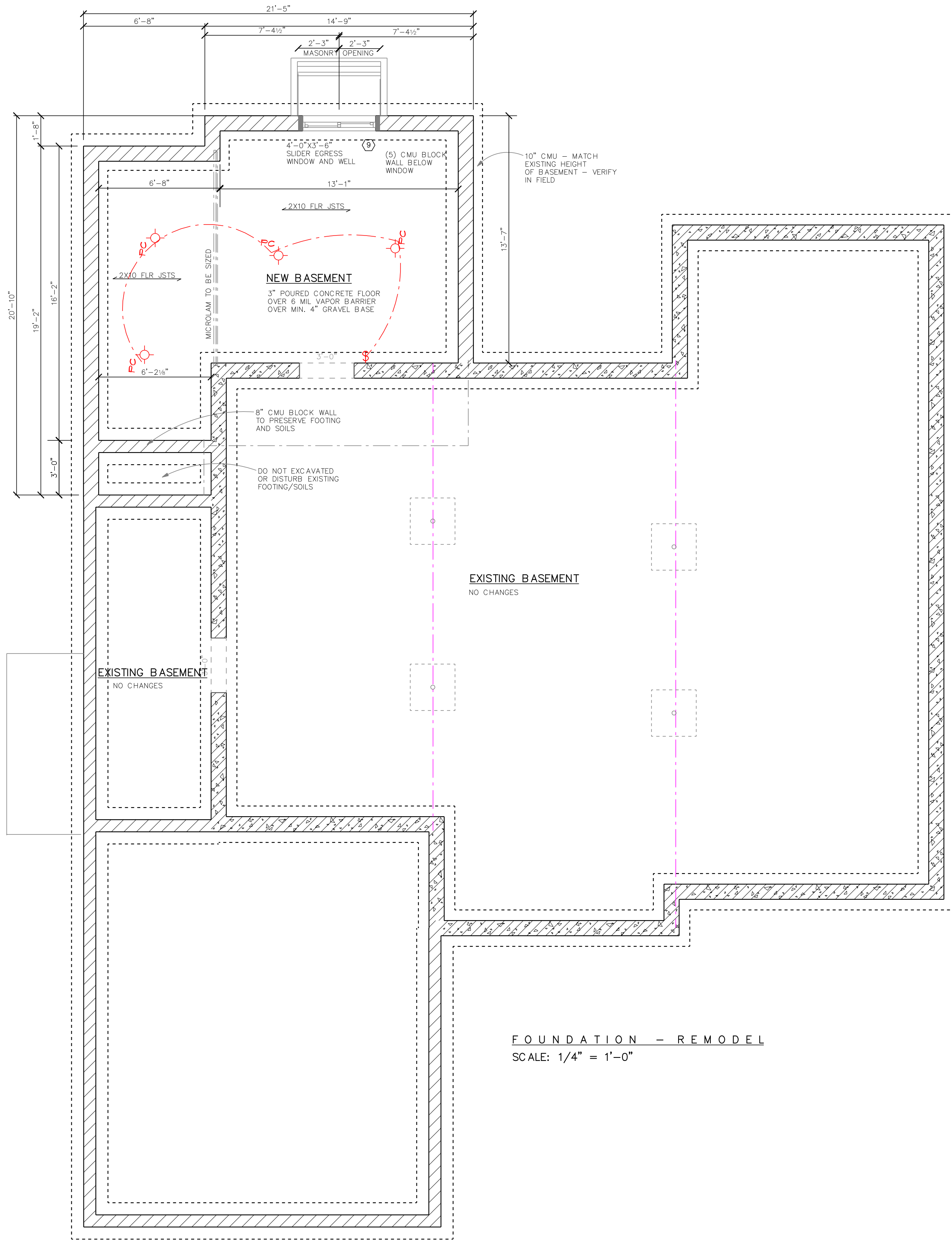
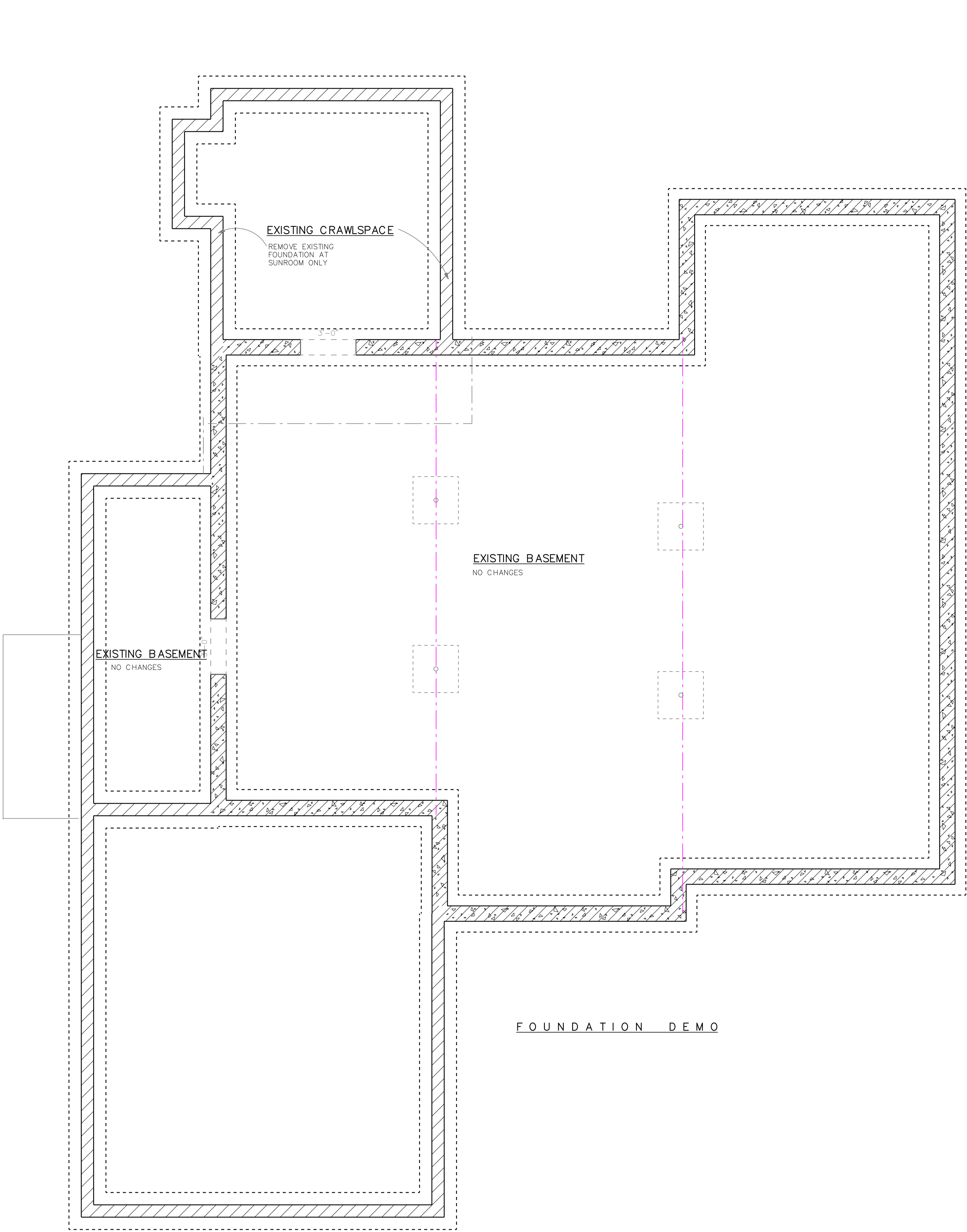


DATE	REVISION	DATE	REVISION
11/03/23	PRELIMINARY PLAN	02/21/24	REVISED DESIGN PER CLIENT
11/13/23	PRELIMINARY PLANS - EXT ELV	02/26/24	REVISED DESIGN/CITY PLANS
11/29/23	PRELIMINARY PLANS	02/28/24	REVISED DESIGN/SKYLIGHTS
12/16/23	PRELIMINARY PLANS		
12/22/23	CITY PLANS		

BID DATE
FINAL DATE
REVISIONS
FOUHAL RESIDENCE 1130 E DEAN ROAD FOX POINT, WI
SHEET
1 OF 7



DATE	REVISION	DATE	REVISION
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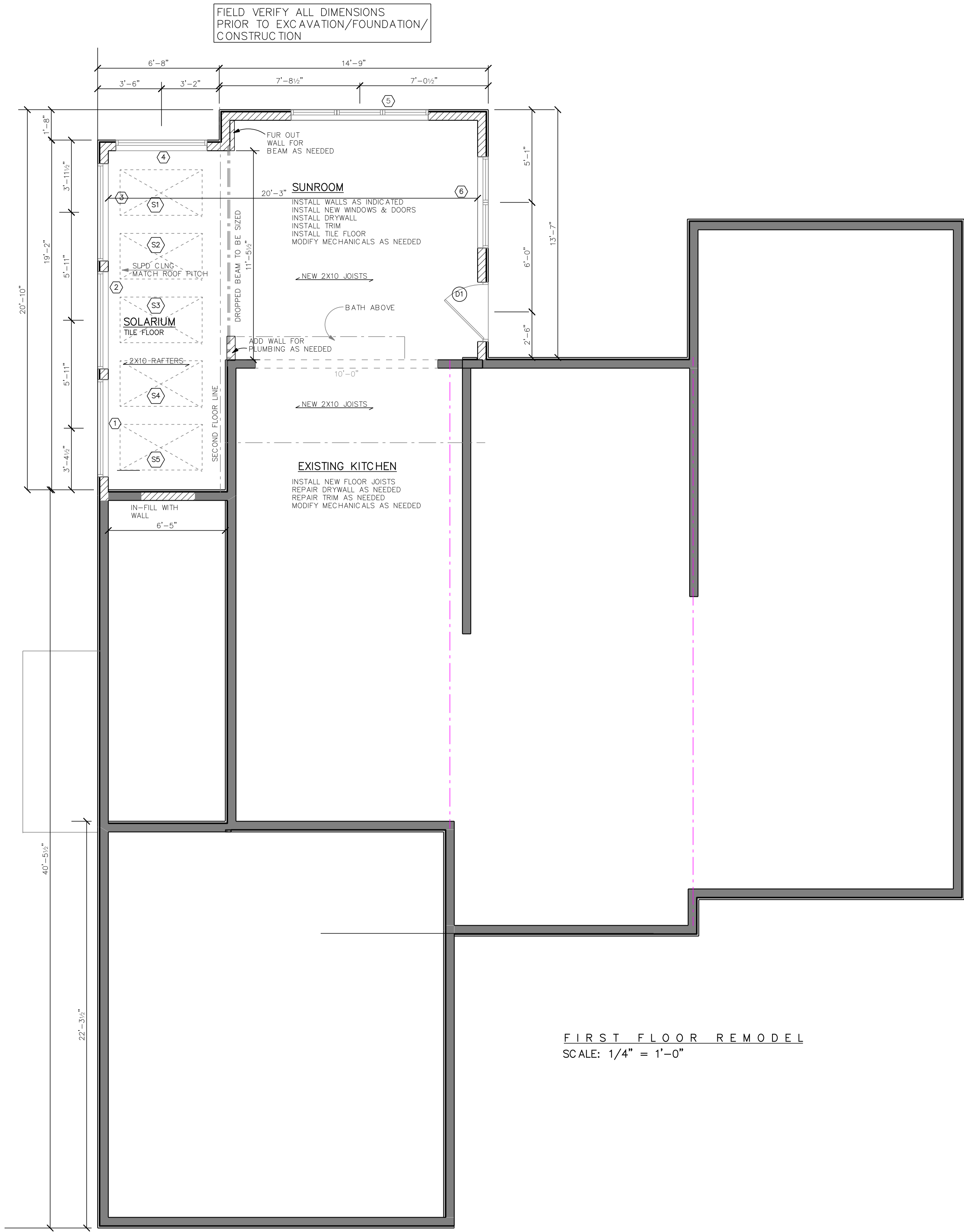
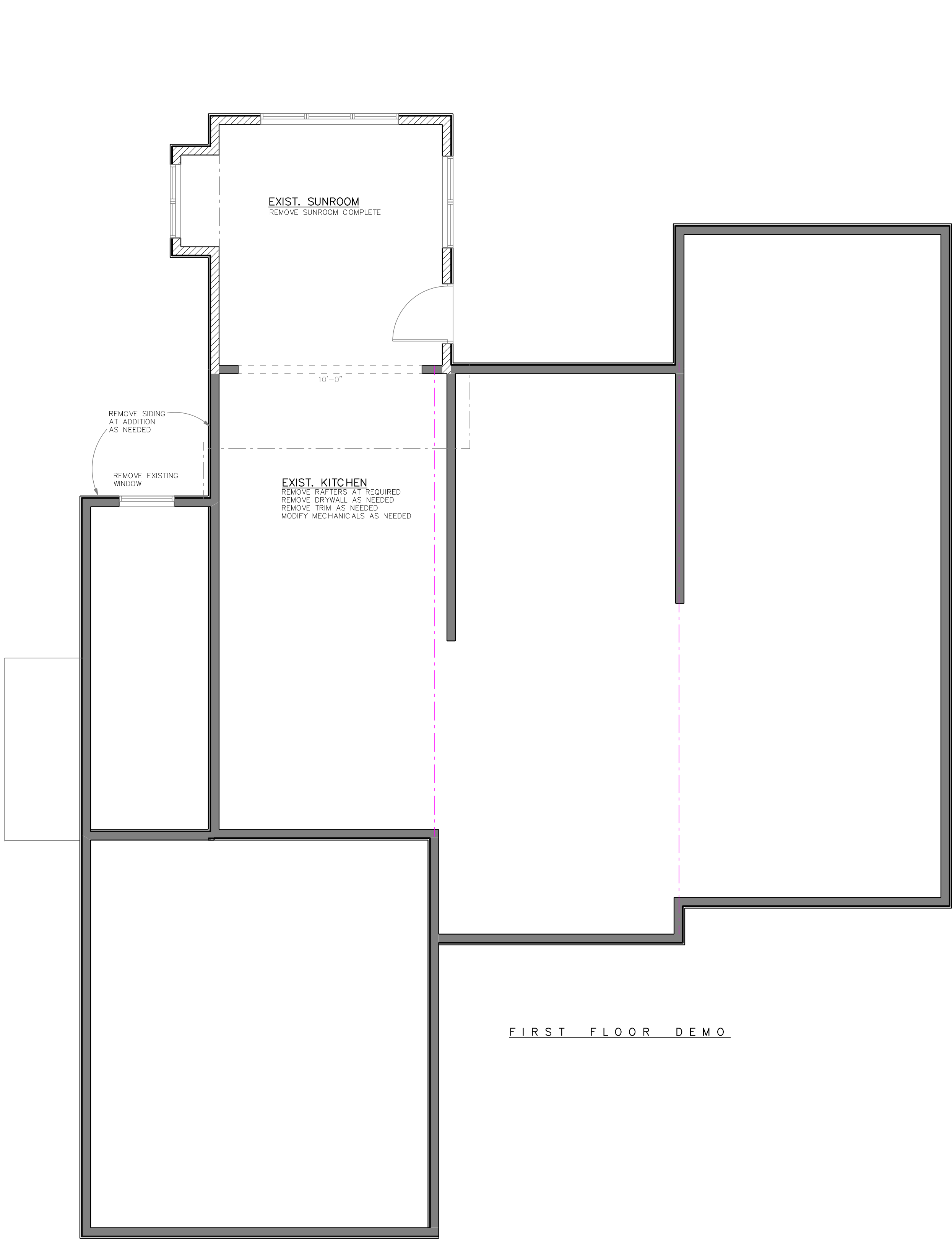
FRICTSCH DESIGNS, LLC
1716 TERRACE DRIVE
PORT WASHINGTON, WI
53074
262-483-4048

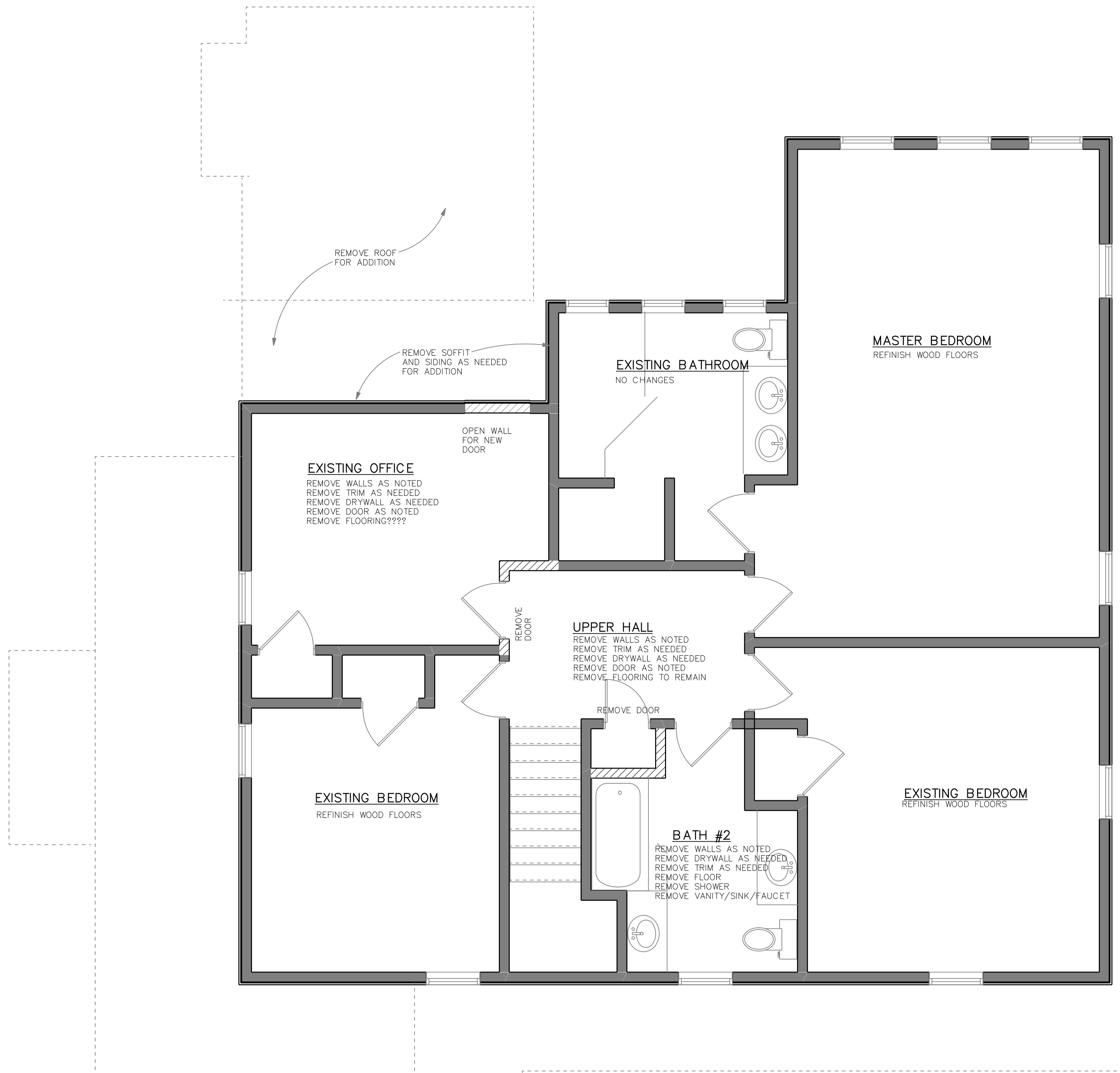
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CITY WRT# 2023

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FOUHAL RESIDENCE 1130 E DEAN ROAD FOX POINT, WI
SHEET
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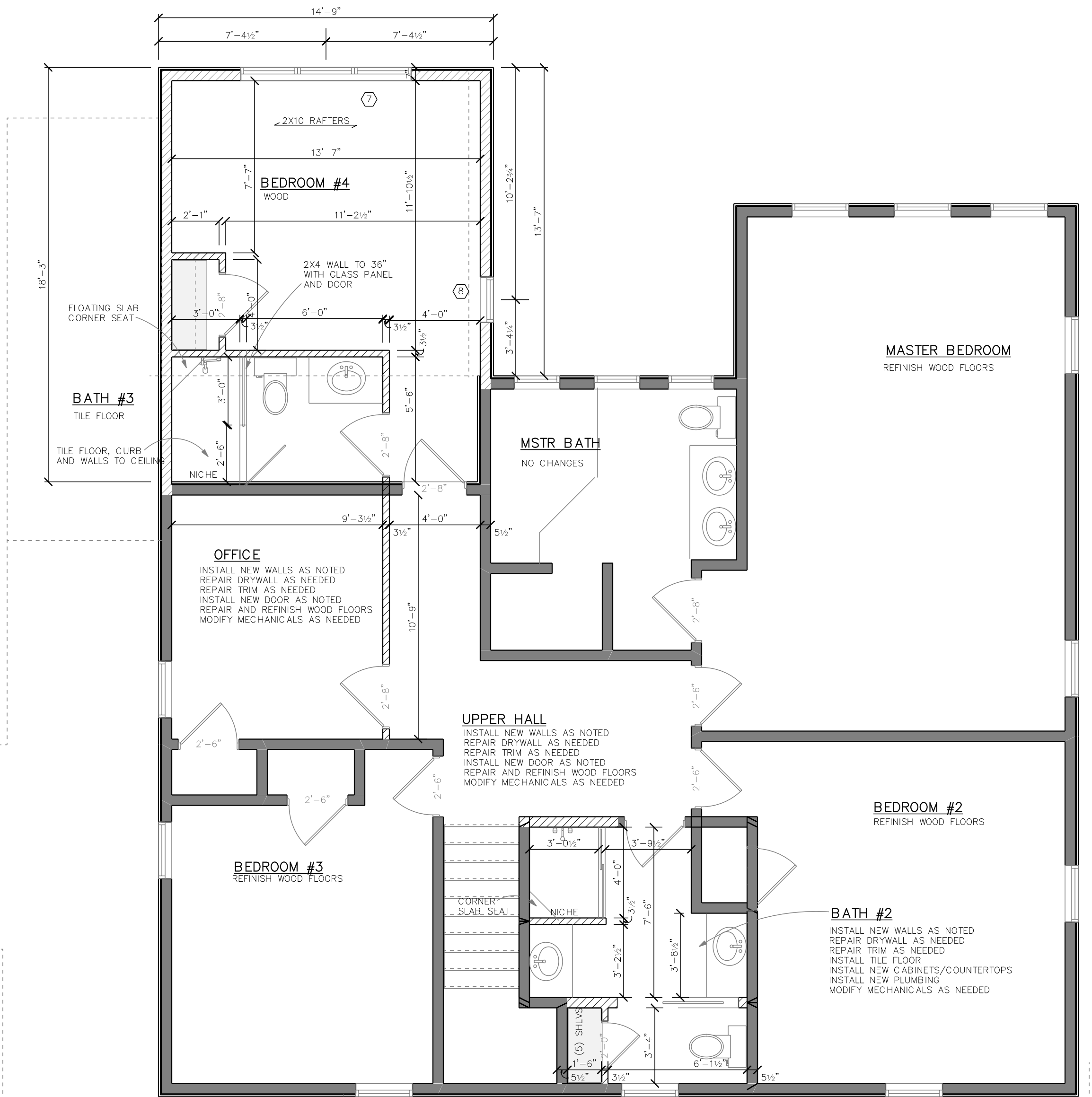


SECOND FLOOR DEMO

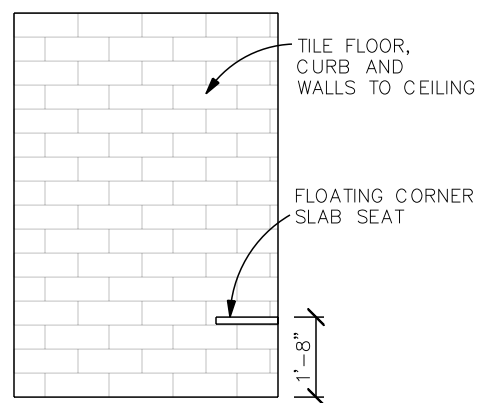
WIND. MANUFACTURER	ALLIANCE
WIND. TYPE	VINYL
WIND. STYLE	CASEMENT
EXTERIOR	VINYL COLOR TBD
INTERIOR	VINYL COLOR TBD
GRILLS	STANDARD - IF ANY
HARDWARE	COLOR TBD

SKYLIGHTS	VELUX
SIZE	MO8 FIXED SKYLIGHT
QUANTITY	5

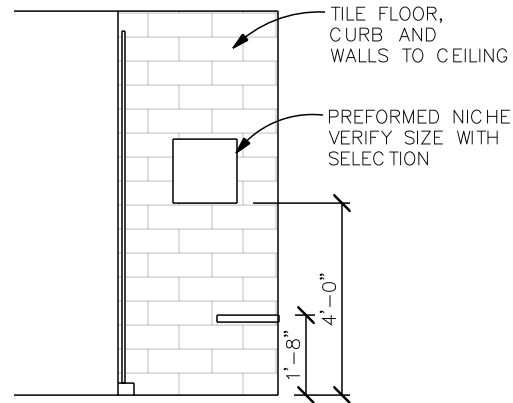
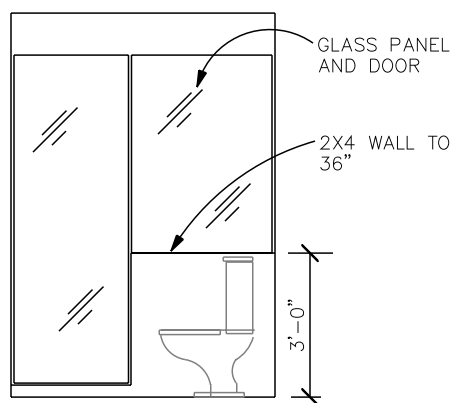
WIND. #	UNIT #	SWING	NOTES
1	PICTURE 5'4"W X 5'6"H	S	
2	PICTURE 5'4"W X 5'6"H	S	
3	PICTURE 5'4"W X 5'6"H	S	
4	PICTURE 5'0"W X 5'6"H	S	
5	CSMNT 2'6"X5'6" (3) WIDE	LSR	
6	CSMNT 2'6"X5'6" (2) WIDE	LR	
7	CSMNT 2'6"X5'0" (3) WIDE	LSR	
8	CSMNT 2'0"X5'0"	L	
9	SLIDER 4'-0" X 3'-6"		BASMENT
DOOR			
1	INSWING FRENCH 3'-0" X 6'-8"		LEFT HAND HINGE FROM EXTERIOR



SECOND FLOOR
SCALE: 1/4" = 1'-0"



BATHROOM #3 SHOWER DETAILS



BATHROOM #2 SHOWER DETAILS

FRICTSCH DESIGNS, LLC
1716 TERRACE DRIVE
PORT WASHINGTON, WI
53074
262-483-4048

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12/22/23	CITY PLANS		

BID DATE

FINAL DATE

REVISIONS

FOUHAL RESIDENCE
1130 E DEAN ROAD
FOX POINT, WI

SHEET
5 OF 7

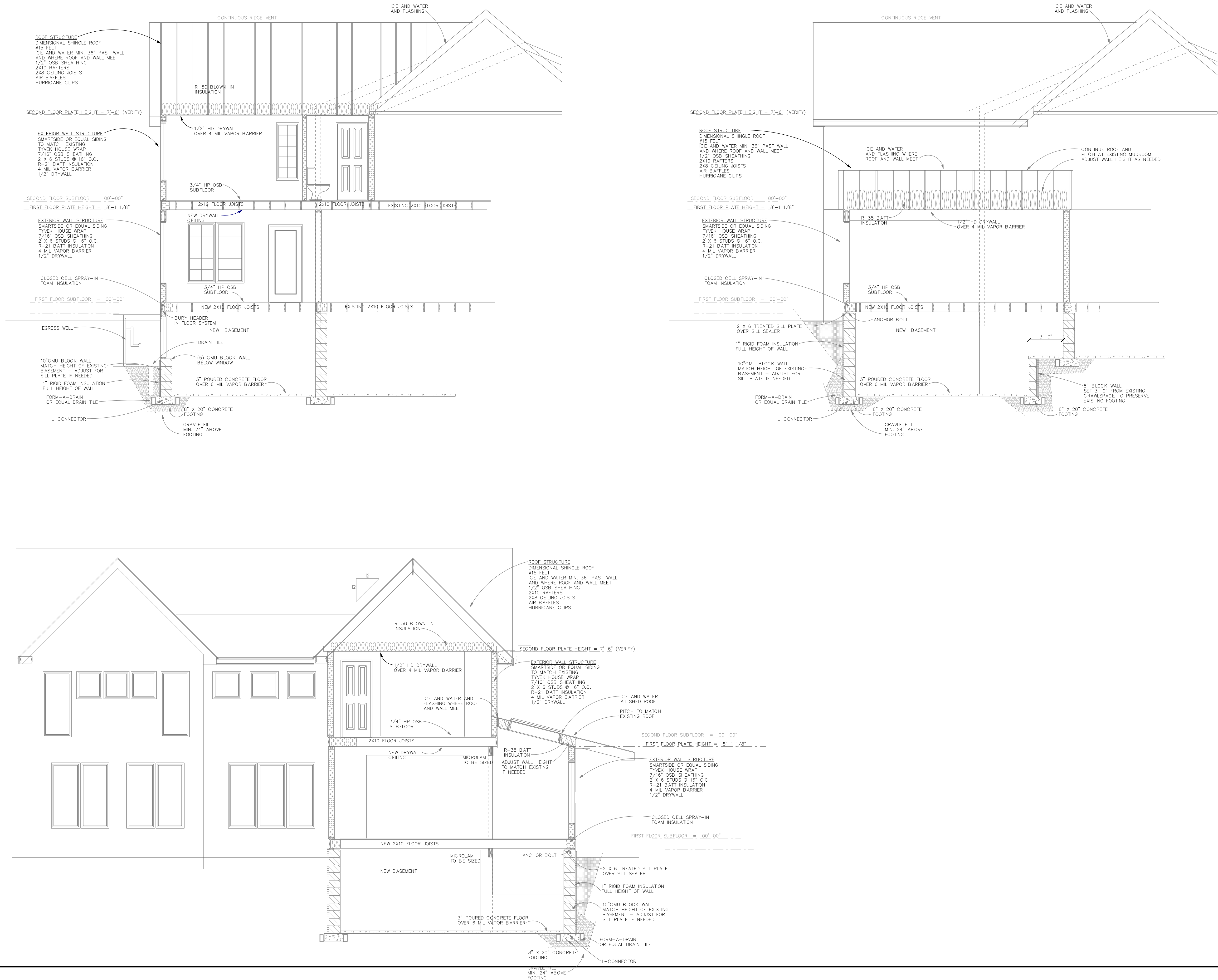
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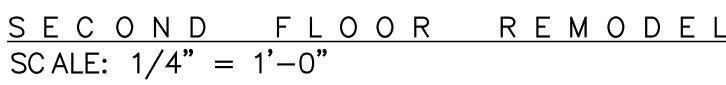
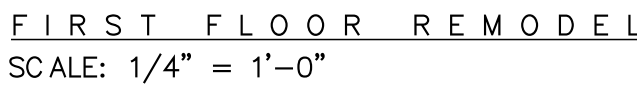
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12/22/23	CITY PLANS		

FINAL DATE

FOUHAL RESIDENCE
1130 E DEAN ROAD
FOX POINT, WI

6 OF 7





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PORT WASHINGTON, WI
53074
262-483-4048

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FOUHAL RESIDENCE
1130 E DEAN ROAD
FOX POINT, WI

SHEET

7 OF 7







