

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

Schwemer Hall
7200 North Santa Monica Blvd.
Fox Point, WI 53217

Wednesday
June 12, 2024
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/84013937479>

Meeting ID: 840 1393 7479

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the May 15, 2024 Building Board meeting.
3. Jennifer Haraway, 8220 N Whitney Rd, proposed detached garage.
4. Ricky Lopez, 8160 N Gray Log Ln, proposed addition.
5. Chad Wenzel, 7539 N Bell Rd, proposed dormer and roof slope.
6. Mike Weiss, 305 E Acacia Rd, proposed sunroom/greenhouse.
7. Kathy Reiley, 702 E Green Tree Rd, proposed deck removal, add awning and window.
8. Brian Wolff, 7528 N Links Way, proposed sunroom.
9. Adjourn.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, May 15, 2024, at 5:00 pm. Those present included:

Justin Racinowski
William Feldman
Sharon Celek
Lucille Sells
Brian Tobiczky-Absent
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by William Feldman to approve the minutes of April 10, 2024, as discussed and amended. Motion was seconded by Lucille Sells. Motion Caried.

AGENDA

1. **Ryan Derus, 312 E Acacia Rd, proposed window and infill.** It was the consensus of the Building Board to approve as submitted.
2. **Terrance O'Neill, 302 E Willow Rd, proposed front stoop, add portico.** It was the consensus of the Building Board to approve as submitted.
3. **Elizabeth Elser, 6516 N Lake Dr, proposed replace windows.** It was the consensus of the Building Board to approve as submitted.
4. **Elliot Berman, 6801 N Raynard Rd, proposed deck.** It was the consensus of the Building Board to approve subject to needing railing specification, railing material, railing design, and deck product.
5. **Alex Speaker, 7938 N Regent Rd, proposed garage addition.** Justin Racinowski recused himself. It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by Sharon Celek. Motion seconded by William Feldman. Motion Caried. Building Board adjourned at 5:44 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point

**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:**B-****OFFICE USE ONLY**

Issued Date

Zoning **C, 60****BUILDING PERMIT**

Job Address 8220 N. Whitney Rd., Fox Point, WI 53217	Building Type: Residential ☒ Commercial ☐
Description of Work	
Raze Existing 20'-0" x 20'-0" Detached Garage & Build New 24'-0" x 24'-0" Wood Frame Detached Garage	
Estimated Cost of Project \$49,870.00	

Owner/Occupant	
Business Name n/a	Contact Name Jennifer Haraway
Address 8220 N. Whitney Rd	City/State/Zip Fox Point, WI 53217
Phone (414) 517-8311	Email jenaharaway@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name JD Griffiths Company, Inc.	Contact Name Jeremy Schloesser
Address 8401 W. Calumet Rd.	City/State/Zip Milwaukee, WI 53224
Phone (414) 362-7222	Email jeremys@jdgriffiths.com
Dwelling Contractor # DC-079500221	Dwelling Contractor Qualifier # DCQ-081900898

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage 576 sq.ft.

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	\$498.70
Building Board	\$75.00	\$75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	\$147.80
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$720.70

Applicant Signature

Rev 01/22

Date**05.09.2024****ISSUED PERMITS are available on the Village website under PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-361-8900

Receipt No: 1.060284

May 15, 2024

6220 N Whitney Road

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PERMIT	720.70
24-44460 BUILDING PERMIT	

Total:	720.70
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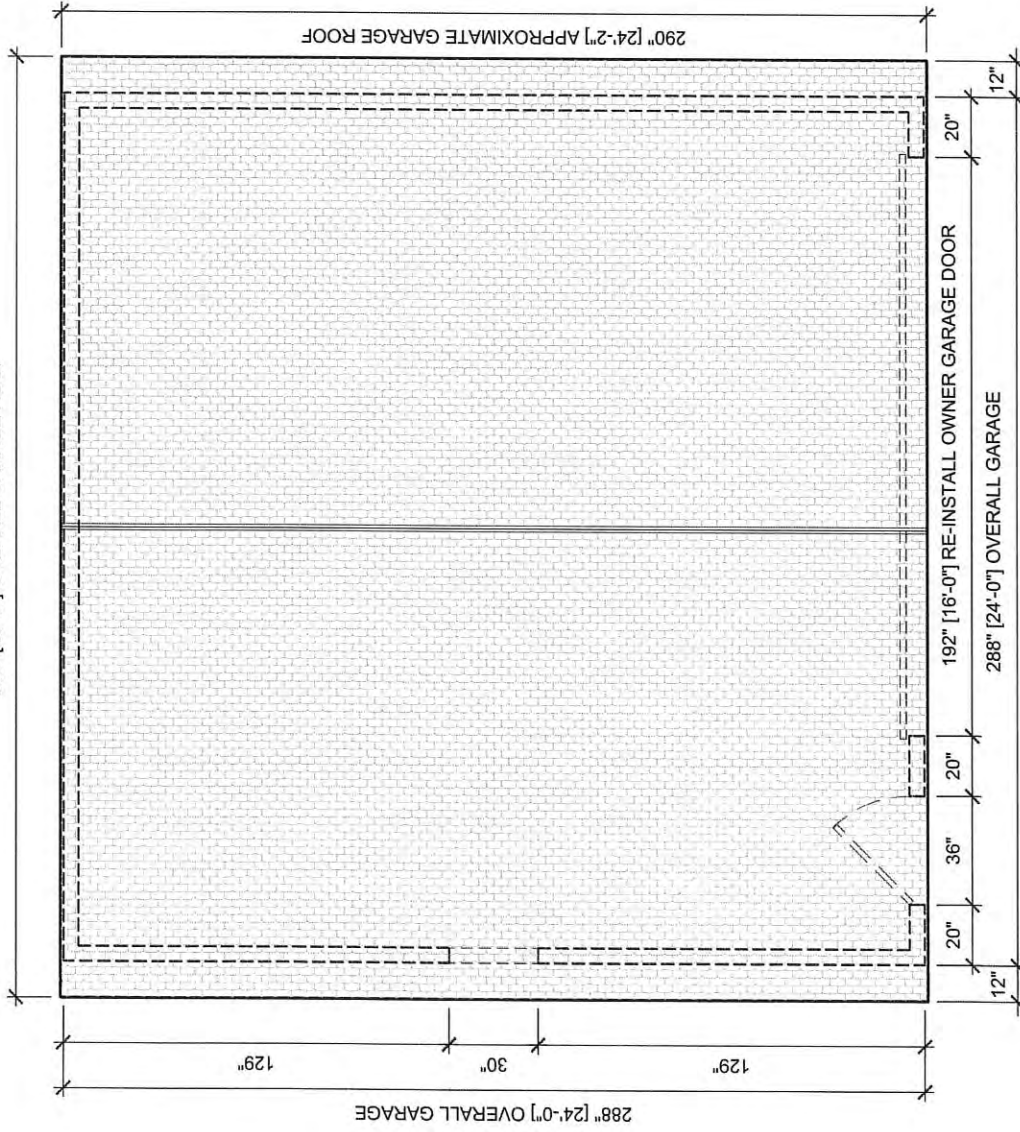
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Payor: JD Griffiths		

Total Applied:	720.70
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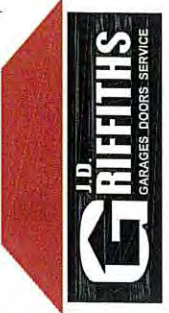
Change Tendered:	.00
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05/16/2024 9:24 AM

312" [26'-0"] OVERALL GARAGE ROOF

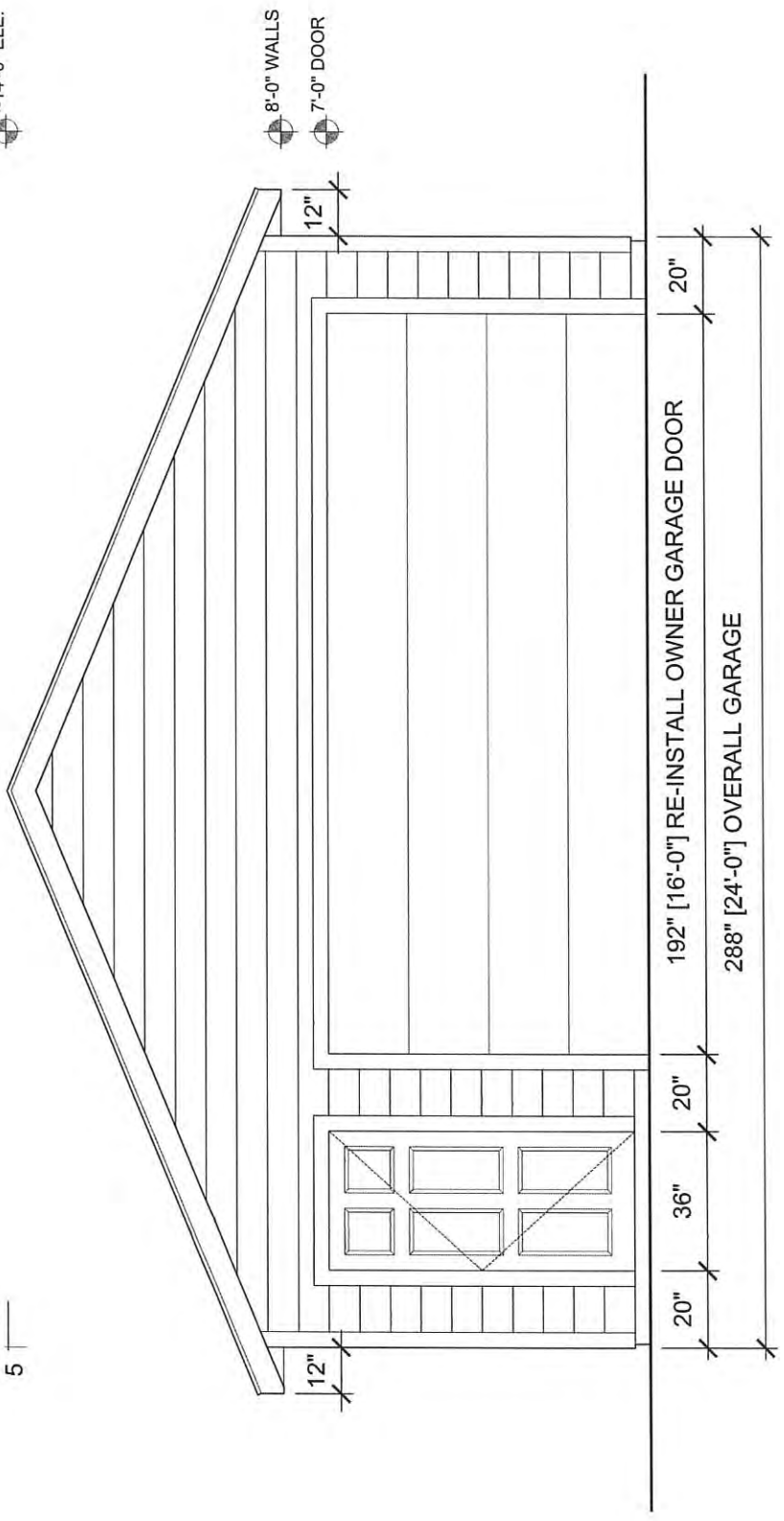


NOTE: SEE PAGE 6
FOR TYPICAL DETAILS



12
5

≈14'-0" ELE.

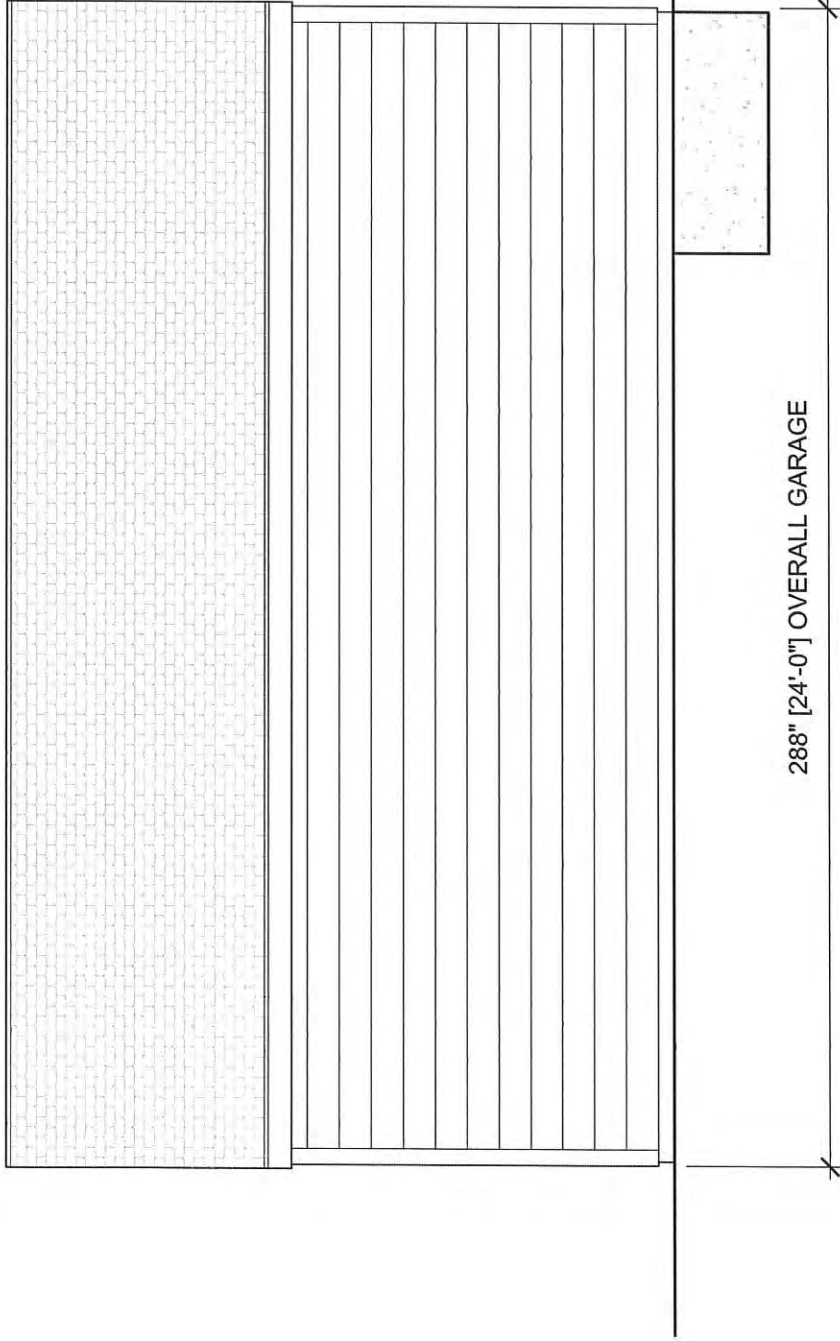


JENNIFER HARAWAY RESIDENCE		ELEVATION	DATE: 05.08.2024
		SCALE: 1/4" = 1'-0"	PAGE: 2 OF 6



≈14'-0" ELE.

8'-0" WALLS

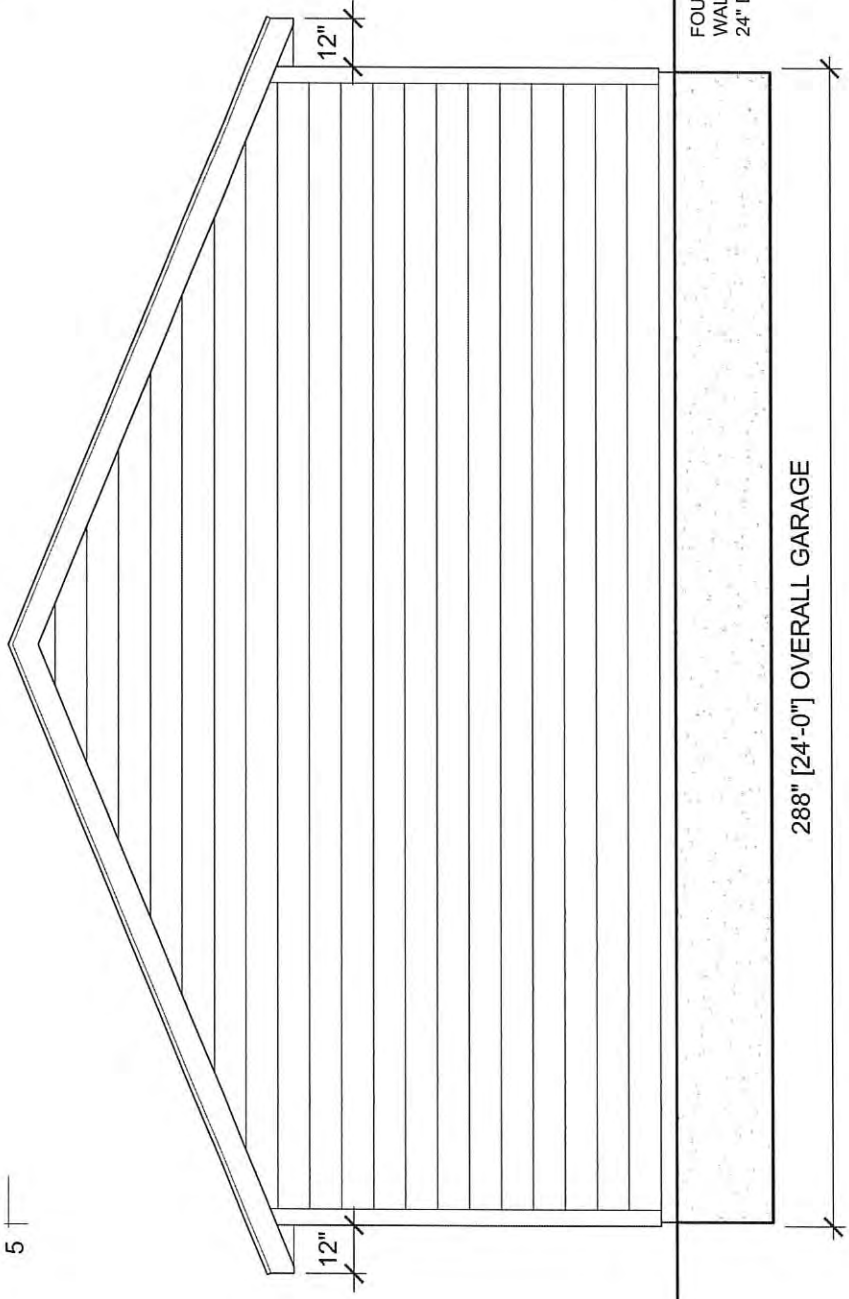


288" [24'-0"] OVERALL GARAGE

FOUNDATION
WALL (APPROX.
24" DEEP)

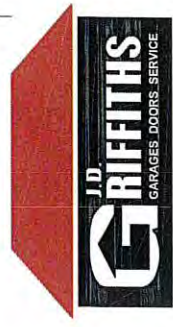
12
5

≈14'-0" ELE.



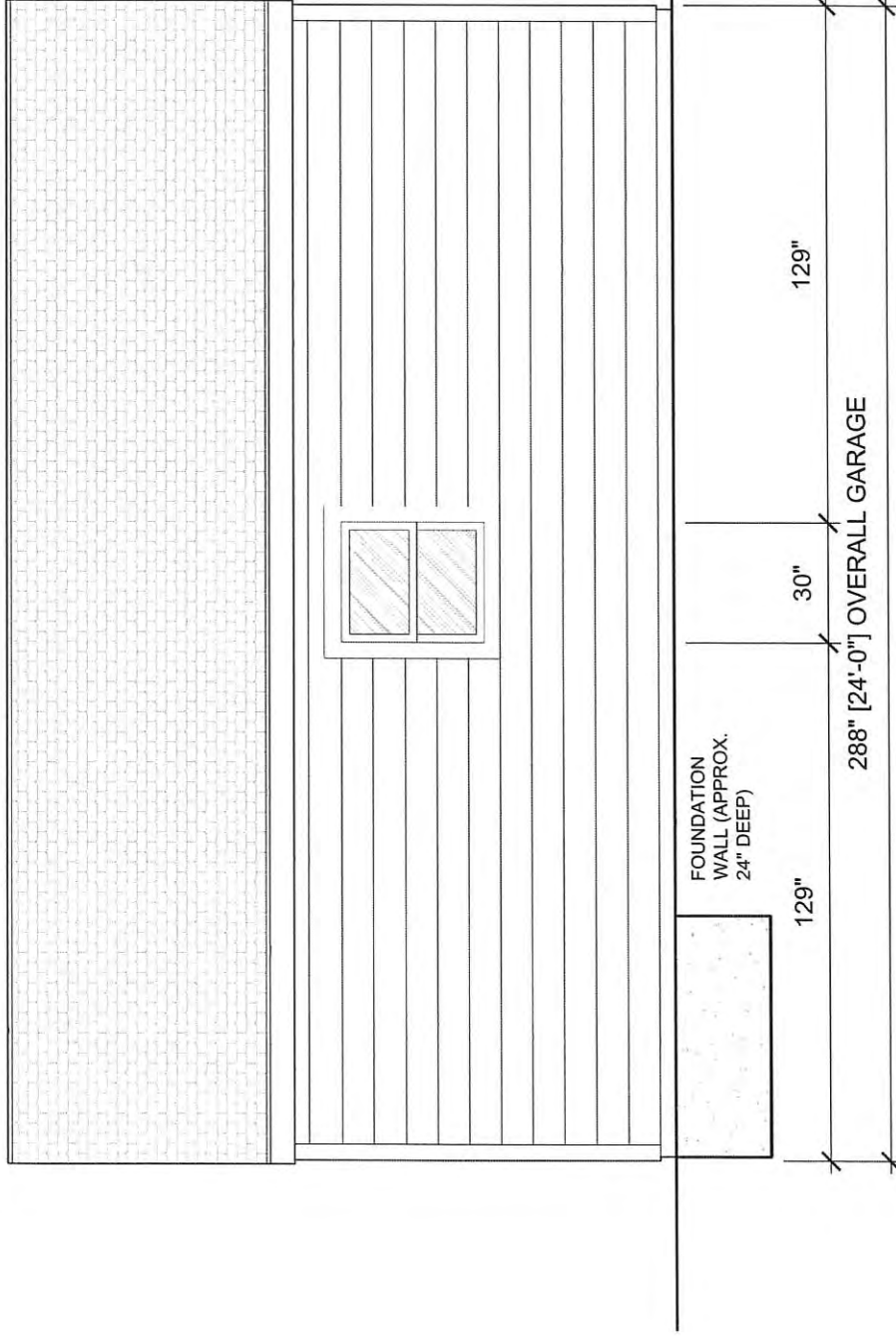
JENNIFER HARAWAY RESIDENCE

ELEVATION	DATE: 05.08.2024
SCALE: 1/4" = 1'-0"	PAGE: 4 OF 6



≈14'-0" ELE.

8'-0" WALLS

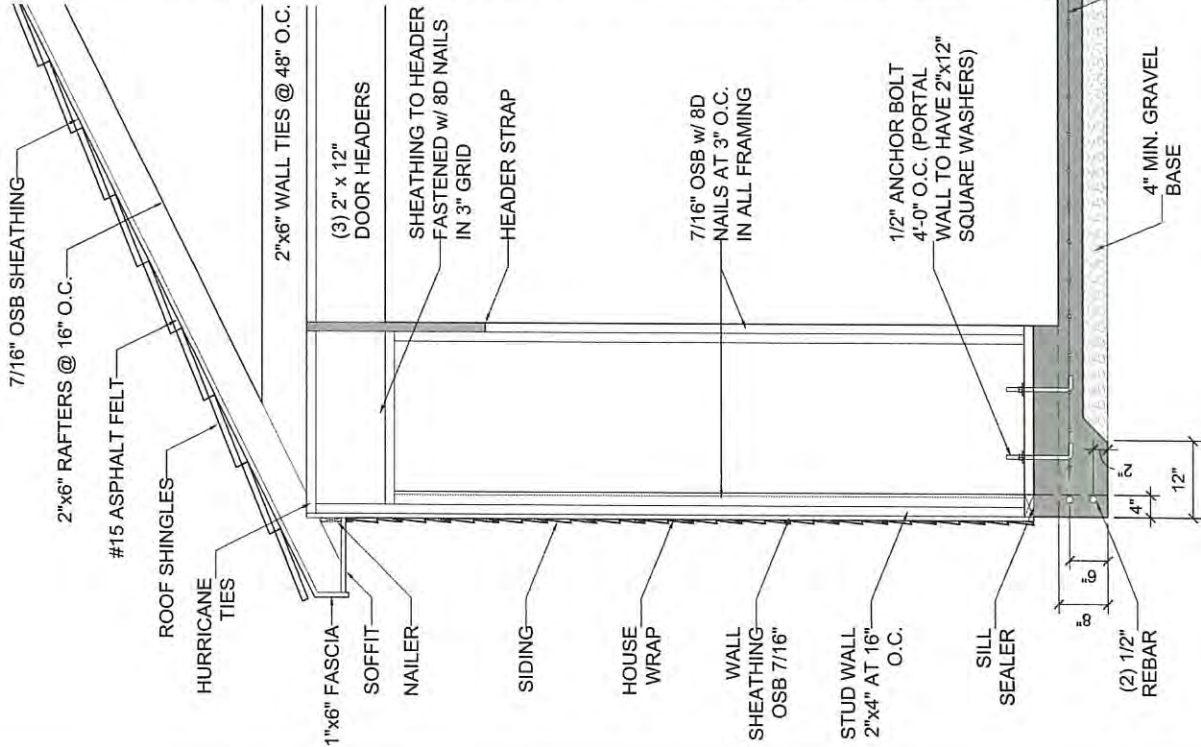


JENNIFER HARAWAY RESIDENCE

ELEVATION	DATE: 05.08.2024
SCALE: 1/4" = 1'-0"	PAGE: 5 OF 6



TYPICAL CROSS SECTION



NEW GARAGE	
DATE:	05.08.2024
OWNER:	JENNIFER HARAWAY
PHONE #:	(414) 517-8311
SIZE:	24'-0" x 24'-0"
STYLE:	GABLE
OVERHANG:	SIDES ONLY
ROOF:	OWEN CORNING: DURATION SHINGLES
ROOF COLOR:	DRIFTWOOD
SIDING:	CERTAINTED: 8" VINYL SIDING
SIDING COLOR:	WHITE
SERVICE DOOR:	36" 6 PANEL DOOR
GUTTERS:	N/A
TRIM TYPE:	LP: PRE-FINISHED TRIM
TRIM COLOR:	WHITE
O.H. DOOR:	RE-INSTALL OWNER GARAGE DOOR
O.H.D. COLOR:	N/A

OWNER:	JENNIFER HARAWAY	GARAGE SIZE:	24'-0" x 24'-0"
ADDRESS:	8220 N. WHITNEY RD. FOX POINT, WI 53217	GARAGE SYTLE:	GABLE
		DRAWING SCALE:	1/2" = 1'-0"













04/05/2024



04/05/2024



04/05/2024



LOT 3 - BLOCK 2 - FOX POINT GARDENS
being a subdivision of a part of the Southwest 1/4 of Section 9,
Town 8 North, Range 22 East in the Village of Fox Point, Milwaukee
County, Wisconsin

SCALE 1"=20'

PHONE
BLUEMOUND 8-1380



July 14, 1961

No. 59-4028



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B-_____

OFFICE USE ONLY
Issued Date
Zoning <u>A-1, 55</u>

BUILDING PERMIT

Job Address <u>8160 N. Gray Log Ln.</u>	Building Type: Residential ☒ Commercial ☐
Description of Work <u>new garage w/upstairs addition</u>	
Estimated Cost of Project <u>\$400,000</u>	

Owner/Occupant	
Business Name	Contact Name <u>Ricky Lopez</u>
Address <u>8160 N. Gray Log Ln.</u>	City/State/Zip <u>Fox Point, WI, 53217</u>
Phone <u>404.852.5765</u>	Email <u>Rlopez@appliedsystems.com</u>

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name <u>Nicholas Carl Design</u>	Contact Name <u>Nick Konzal</u>
Address <u>7031 Saint James St.</u>	City/State/Zip <u>Wauwatosa, WI 53213</u>
Phone <u>414.510.3449</u>	Email <u>nick@nicholascardesign.com</u>
Dwelling Contractor # <u>DC-042200403</u>	Dwelling Contractor Qualifier # <u>DCQ-062200747</u>

Square Footage Under Construction				
1 st Floor	2 nd Floor <u>1048</u> (above garage)	Basement	Addition <u>4278</u>	Garage <u>1278</u>

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	<u>4000</u>
Building Board	\$75.00	<u>75</u>
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$

Applicant Signature

Date

5/29/24

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd

Fox Point, WI 53217

(414) 247-6622

www.villageoffoxpoint.com

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Ricardo Lopez

Homeowner's Name – PRINTED

8160 N. Gray Log Ln.

Property Address

[Signature]

Homeowner's Signature

5/29/24

Date

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.060343

May 30, 2024

8100 N Graylog Ln

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	

Total:	75.00
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CHECK	Check No: 3130	75.00
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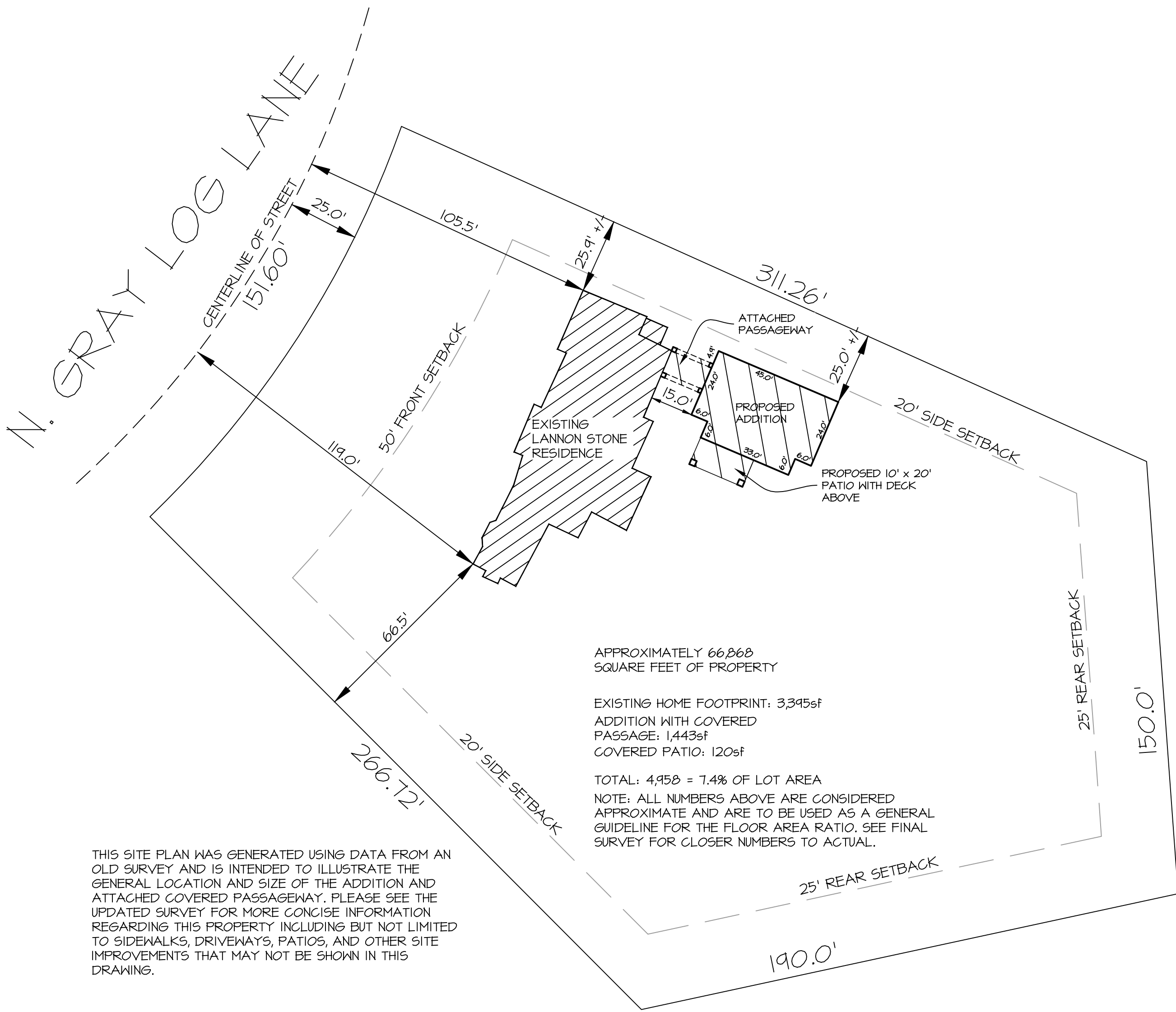
Payor: NICHOLAS CARL DESIGN LLC

Total Applied:	75.00
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Change Tendered:	.00
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Duplicate Copy

05/30/2024 10:24 AM



GENERAL NOTES

- THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
- CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS; FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION SHORINGS AND SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.); FOR COORDINATION OF THE VARIOUS TRADES; FOR SAFE CONDITIONS ON THE JOB SITE; AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
- UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGARS, PIPE SLEEVES, HOLES OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
- THE CONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY HEALTH ACT REQUIREMENTS.
- ALL STATE OF WISCONSIN, LOCAL AND O.S.H.A. SAFETY CODES SHALL BE A PART OF THESE PLANS, AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PARTIES THAT WORK AT OR VISIT THE JOB SITE COMPLY WITH SAME.
- 1/2" OSB SHALL BE NAILED TO TRUSSES AT A MAXIMUM OF 8" O.C.. STEEL H-CLIPS SHALL BE USED BETWEEN TRUSSES.
- ALL WOOD FOR EXTERIOR WALLS, INTERIOR BEARING WALLS SHALL BE SPF-#2 GRADE OR BETTER UNLESS OTHER WISE NOTES. FLOOR JOIST SHALL BE ENGINEERED JOIST. ALL WOOD REQUIRED TO COMPLETE THE ROOF SHALL BE PER ROOF TRUSS MANUFACTURER SPECIFICATIONS.
- DESIGN DATA:
LIVE LOAD ROOF 30#/SQ.FT. WIND LOAD 20#/SQ.FT.
LIVE LOAD FLOOR 40#/SQ.FT. LIVE LOAD STAIRS 40#/SQ.FT.
CONCRETE 3000 PSI
REINFORCED STEEL YIELD 60,000 PSI. CRSI SPECIFICATIONS.
ASSUMED SOIL PRESSURE 3000 PSF.
COMPACTION OF ANY FILL REQUIRED UNDER FLOOR SHALL BE TO 95% MAXIMUM DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST (ASTM 1557). THIRD PARTY TESTS SHALL BE REQUIRED TO BE FURNISHED TO DESIGNER TO INSURE THAT THE COMPACTION IS PER ABOVE.
- ALL CONCRETE BLOCK SHALL BE STATE OF WISCONSIN APPROVED. BRICK SHALL BE SECURELY ATTACHED TO WOOD FRAMING WITH 22 GAUGE CORRUGATED GALVANIZED SHEET METAL TIES - 1/8" WIDE WITH AT LEAST ONE ANCHOR IN EVERY 2 SQUARE FEET OF WALL. MORTAR SHALL BE TYPE "M".
- THERMAL PERFORMANCE BY OTHERS.
- VENTILATE ATTIC PER CODE.
- ALL FRAMED WALLS IN PERIMETER OF BASEMENT (BOTH STRUCTURAL & FURRED WALLS) MUST BE INSULATED PER PLAN OR MINIMUM R-II F.G. BATT.
- TRUSS MANUFACTURER TO VERIFY FIREPLACE VENTING SPACE FOR ALL FIREPLACES.

PLAN NOTES:

- ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTORS MUST REVIEW ALL DETAILS OF THEIR TRADES AND BE RESPONSIBLE FOR THE SAME.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. CONSULT GENERAL CONTRACTOR OR THE ARCHITECT WITH ANY QUESTIONS.
- FOR PLACEMENT OF HOUSE ON LOT REFER TO SURVEYORS DRAWINGS. GRADES SHOWN ON THESE PLANS ARE ASSUMED, CONFIRM ALL GRADES WITH SURVEY OR SITE VERIFY.
- ALL INTERIOR WALLS ARE 4-1/2" UNLESS OTHERWISE NOTED
- ALL EXTERIOR WALLS ARE 6-1/2" UNLESS OTHERWISE NOTED
- PLACEMENT OF BUILDING COMPONENTS, MECHANICAL EQUIP., APPLIANCES AND ELECTRICAL COMPONENTS IS SUBJECT TO FIELD ADJUSTMENT. ACTUAL CONSTRUCTION MAY NOT CONFORM EXACTLY TO THE LOCATIONS INDICATED ON THESE DRAWINGS

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND THE EXACT LOCATION OF EXISTING PLUMBING, MECHANICAL, AND STRUCTURAL COMPONENTS AND ADJUST THE PLANS AS NECESSARY TO ACCOMMODATE.

SCOPE OF DRAWING:

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.

SHEET INDEX:

SHEET C-1	PROPOSED SITE DEVELOPMENT PLAN & GENERAL NOTES
SHEET EX-1	EXISTING DEMO FIRST & SECOND FLOOR PLANS
SHEET EX-2	EXISTING/DEMOLITION PLAN
SHEET EX-3	EXISTING/DEMOLITION REAR ELEVATIONS
SHEET A-1	PROPOSED FOUNDATION PLAN
SHEET A-2	PROPOSED FIRST & SECOND FLOOR PLANS
SHEET A-3	PROPOSED FRONT & RIGHT ELEVATIONS
SHEET A-4	PROPOSED SIDE ELEVATIONS

WALL KEY:

	= EXIST. WALL TO REMAIN
	= EXIST. WALL TO BE REMOVED
	= NEW STUD WALL



REVISIONS:

2/26/24:	PRELIM #1
3/19/24:	PRELIM #2
4/24/24:	REVISIONS JGB
5/2/24:	CHANGES JGB
5/24/24:	DESIGN SET
5/30/24:	REVIEW SET

LOPEZ ADDITION

8160 N. GRAYLOG LN.
FOX POINT, WI

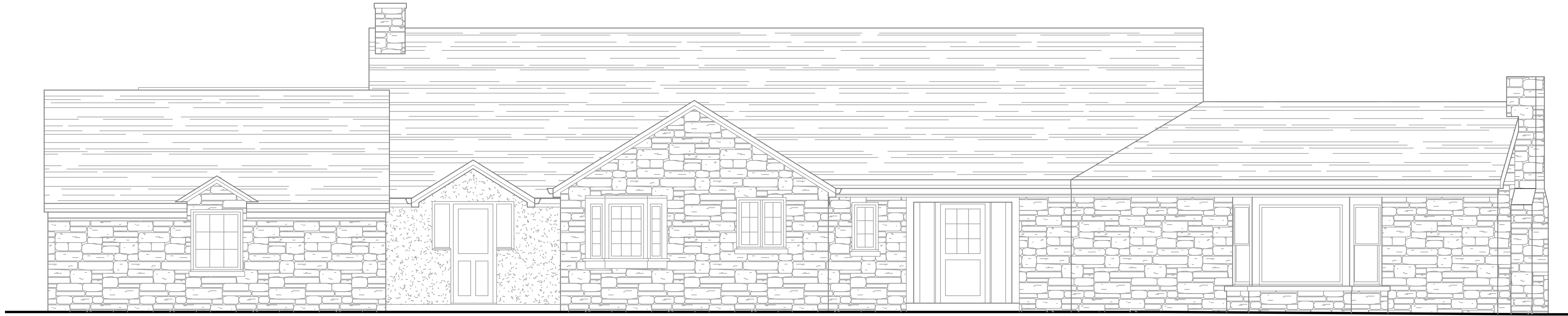
SHEET TITLE:
SITE PLAN

C-1

DATE: FEB. 26, 2024

PROJECT NUMBER: 20-291.2

(OFFICE) 262-786-6776



1 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
1/4" = 1'-0"



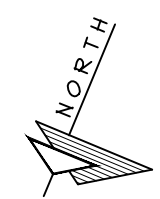
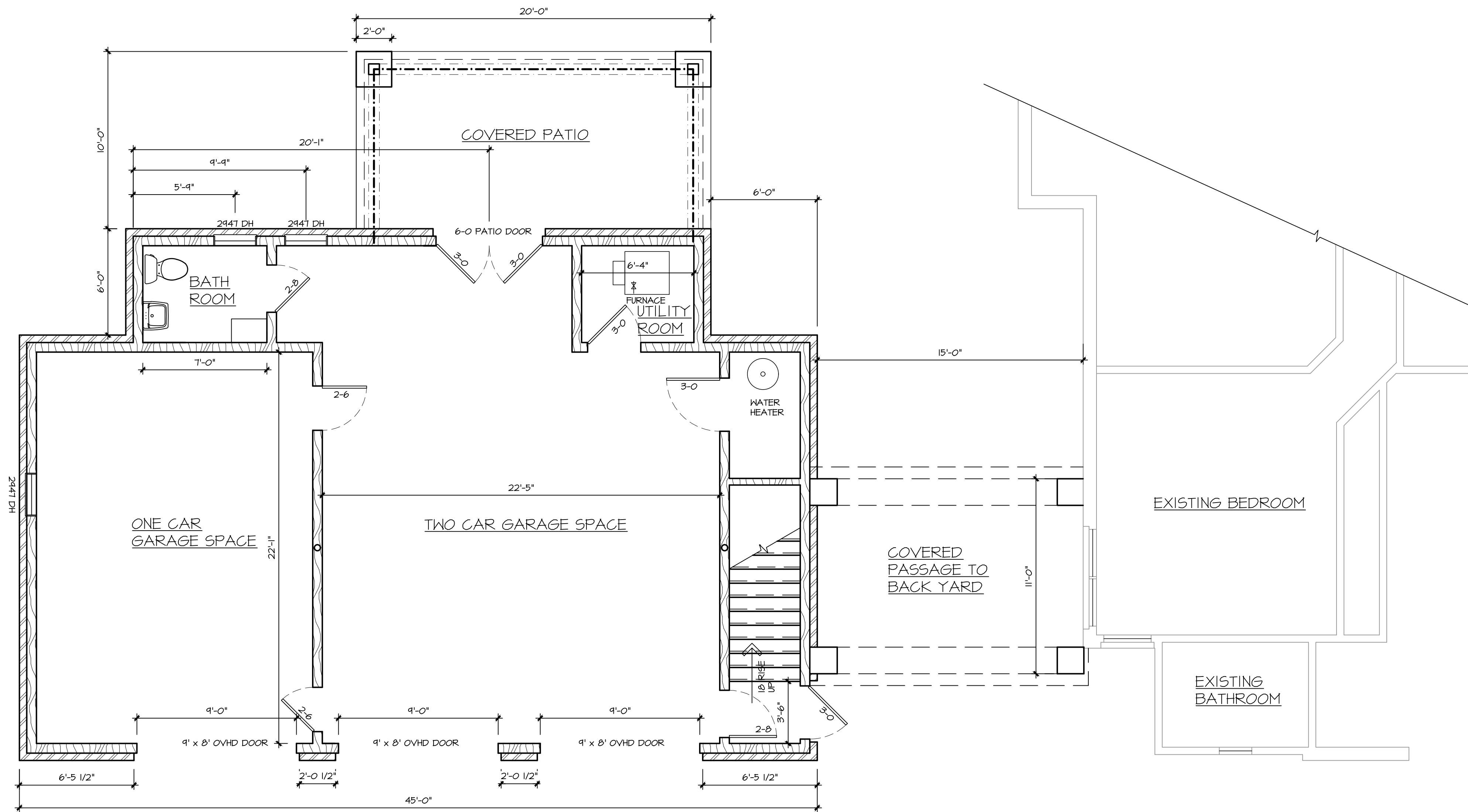
3 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



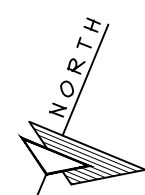
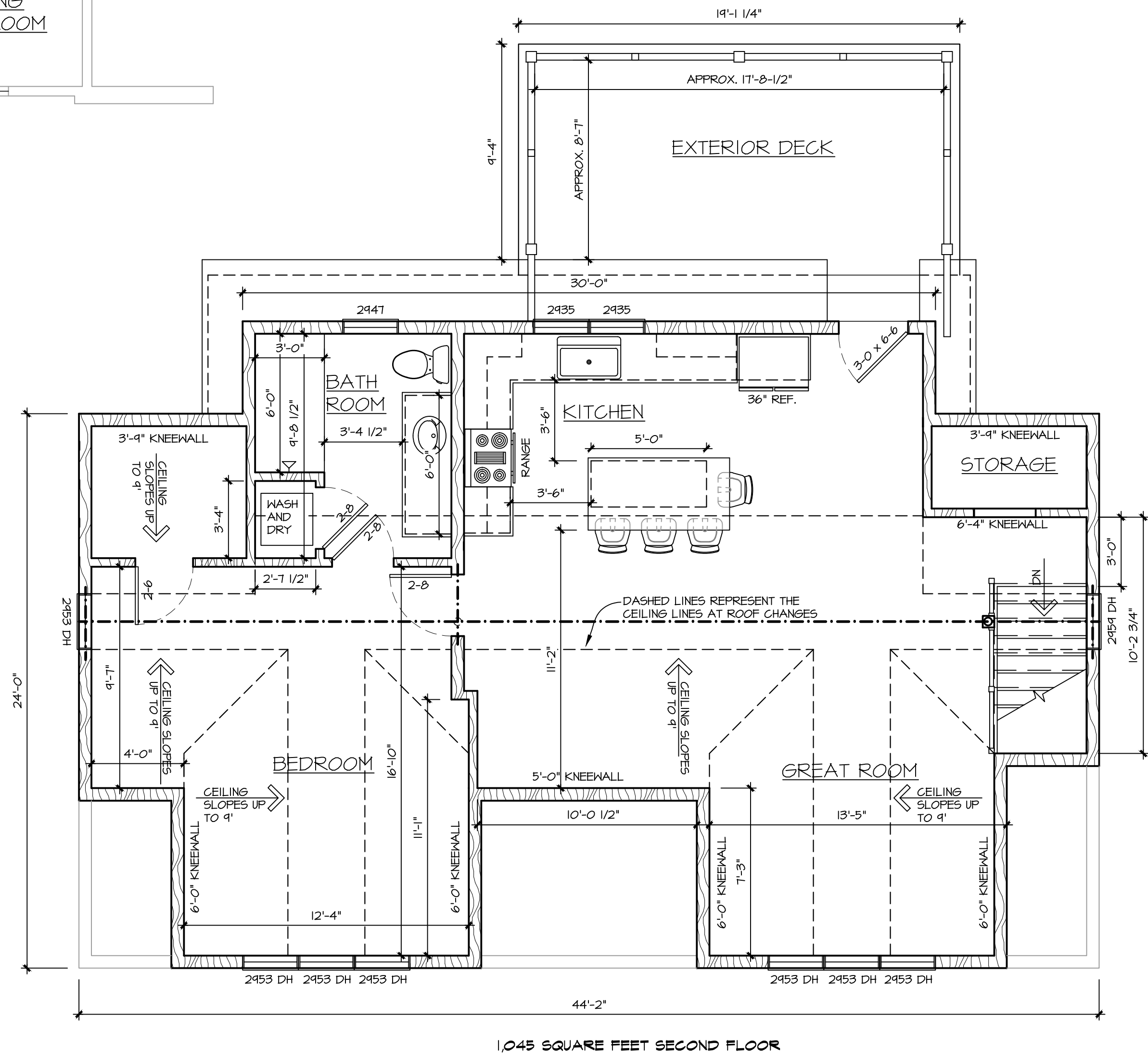
EXISTING 5X STYLE MACHINE CUT CEDAR SHINGLES TO BE REPLACED ON THE HOME AND CORNER TIM DETAIL IS TO BE ADDED
WINDOW ON THE HOME ARE TO BE REPLACED SHOWING NEW GRID PATTERNS SIMILAR TO THE WINDOWS ON THE ADDITION

4 EXISTING EAST ELEVATION
1/4" = 1'-0"

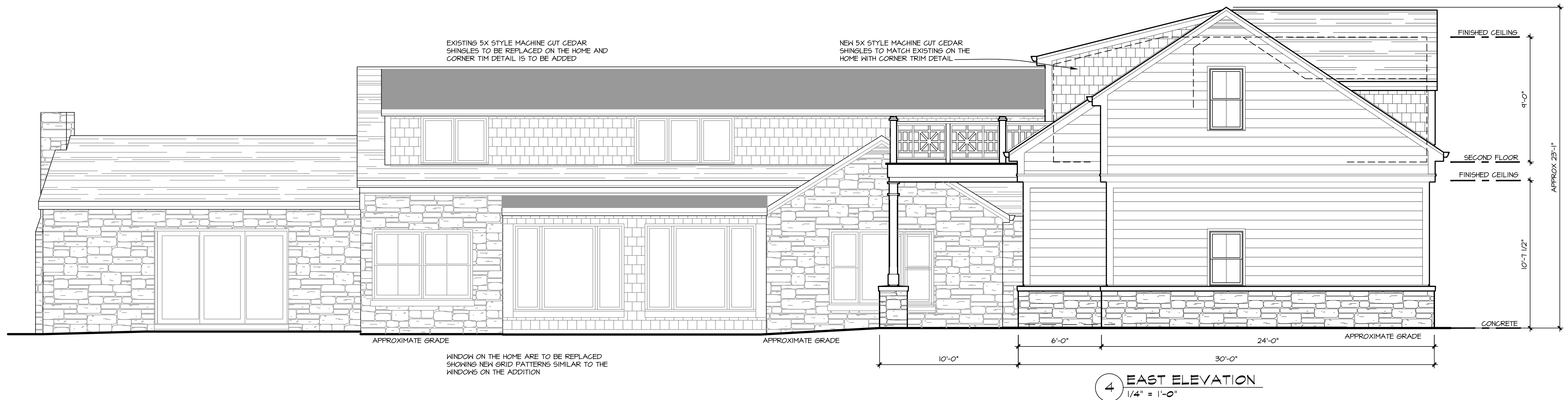
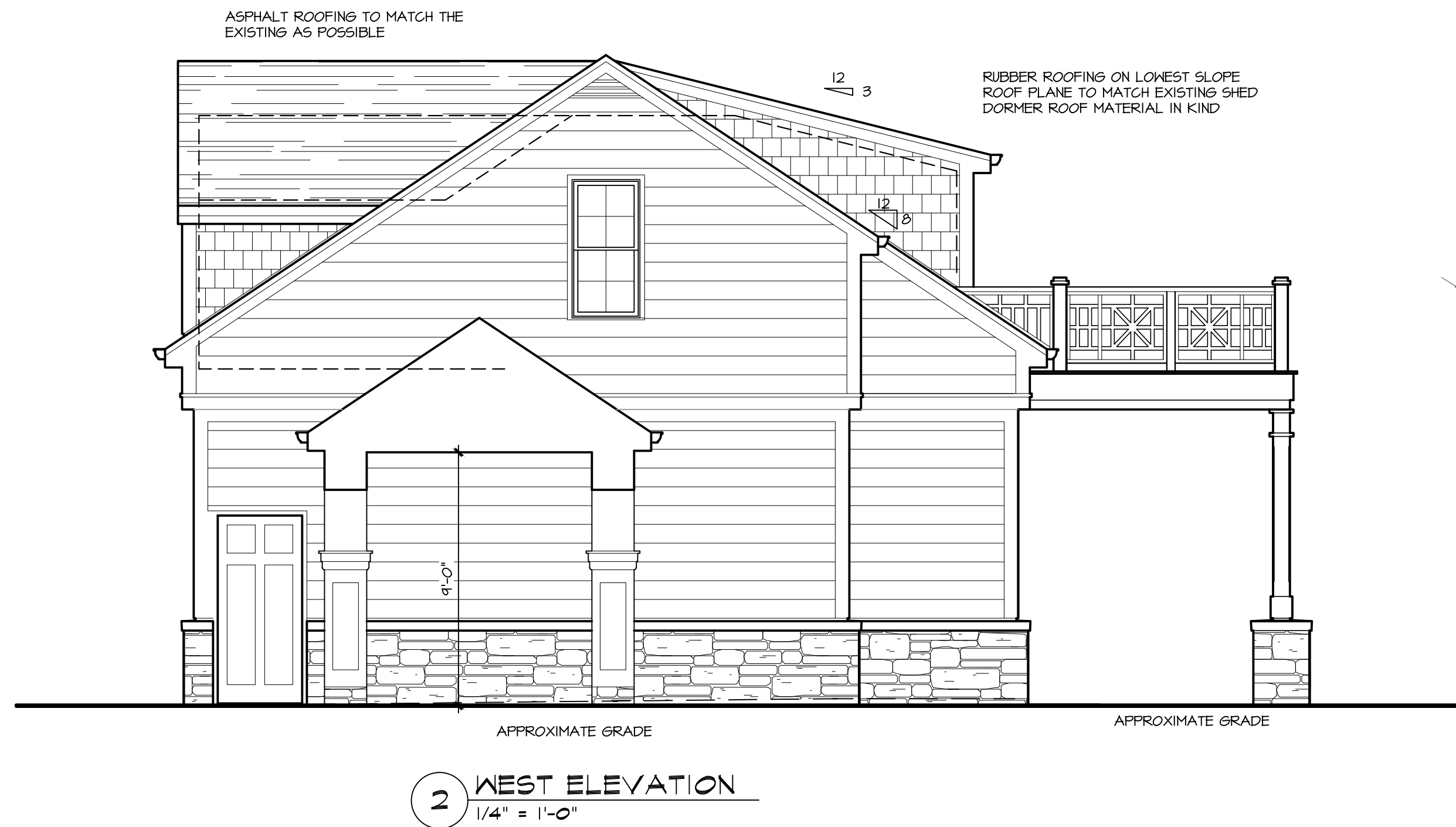
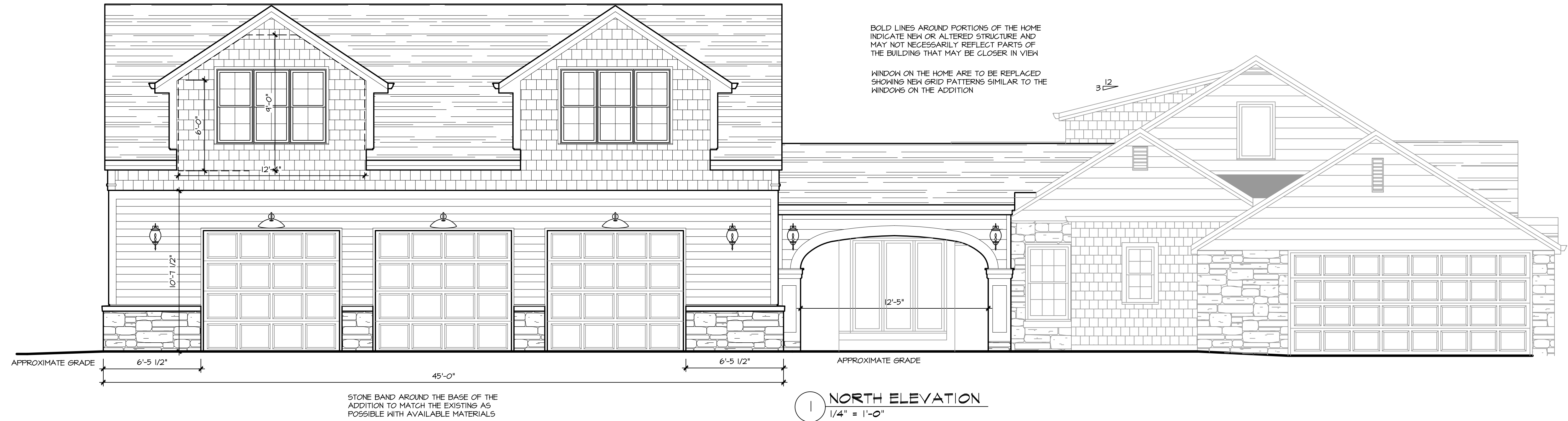
REVISIONS:
2/26/24: PRELIM #1
3/19/24: PRELIM #2
4/24/24: REVISIONS JGB
5/2/24: CHANGES JGB
5/24/24: DESIGN SET
5/30/24: REVIEW SET



1 FIRST FLOOR PLAN
1/4" = 1'-0"



2 SECOND FLOOR PLAN
1/4" = 1'-0"















VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B-

OFFICE USE ONLY
Issued Date
Zoning

BUILDING PERMIT

Job Address <u>7539 N. Bell Rd Fox Point</u>	Building Type: Residential ☒ Commercial ☐
Description of Work	
<u>- New roof w/ change to slope @ dormer room only</u>	
<u>- New chimney exterior</u>	
<u>- Enlarge dormer w/ new windows + insulation, HVAC, + Electrical work in room</u>	
Estimated Cost of Project \$ <u>100,000</u>	

Owner/Occupant <u>Chad + Amanda Wenzel</u>	
Business Name <u>N/A</u>	Contact Name <u>Chad Wenzel</u>
Address <u>7539 N. Bell Rd</u>	City/State/Zip <u>Fox Point / WI / 53217</u>
Phone <u>920-410-6628</u>	Email <u>chad.g.wenzel@gmail.com</u>

****Cautionary Statement required when homeowner is applying for permit****

Contractor <u>Jim Zaja</u>	
Company Name <u>Brillo Home Improvements</u>	Contact Name
Address <u>5315 N Lovers Lane Rd</u>	City/State/Zip <u>Milwaukee, WI 53225</u>
Phone <u>414-442-2238</u>	Email <u>jzaja@brillohomeimprovements.com</u>
Dwelling Contractor # <u>DC-062100702</u>	Dwelling Contractor Qualifier # <u>DCQ-062100707</u>

Square Footage Under Construction				
1 st Floor	2 nd Floor <u>75</u>	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	1000.00
Building Board	\$75.00	75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld	\$95.00 minimum plus	
Moving buildings	\$250.00 plus	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point		Total Permit Fee \$1084.75 + 95.00
		<u>= 1179.75</u>

Applicant Signature

Chad Wenzel

Date

5-20-24

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.060335

May 28, 2024

7539 N Bell Road

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PERMIT	1,179.75
24-44460 BUILDING PERMIT	

Total:	1,179.75
--------	----------

CHECK	Check No: 1950	1,179.75
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Payor: Chad Wenzel

Total Applied:	1,179.75
----------------	----------

Change Tendered:	.00
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Duplicate Copy

05/29/2024 1:28 PM



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd

Fox Point, WI 53217

(414) 247-6622

www.villageoffoxpoint.com

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Chad Wenzel

Homeowner's Name – PRINTED

Chad Wenzel

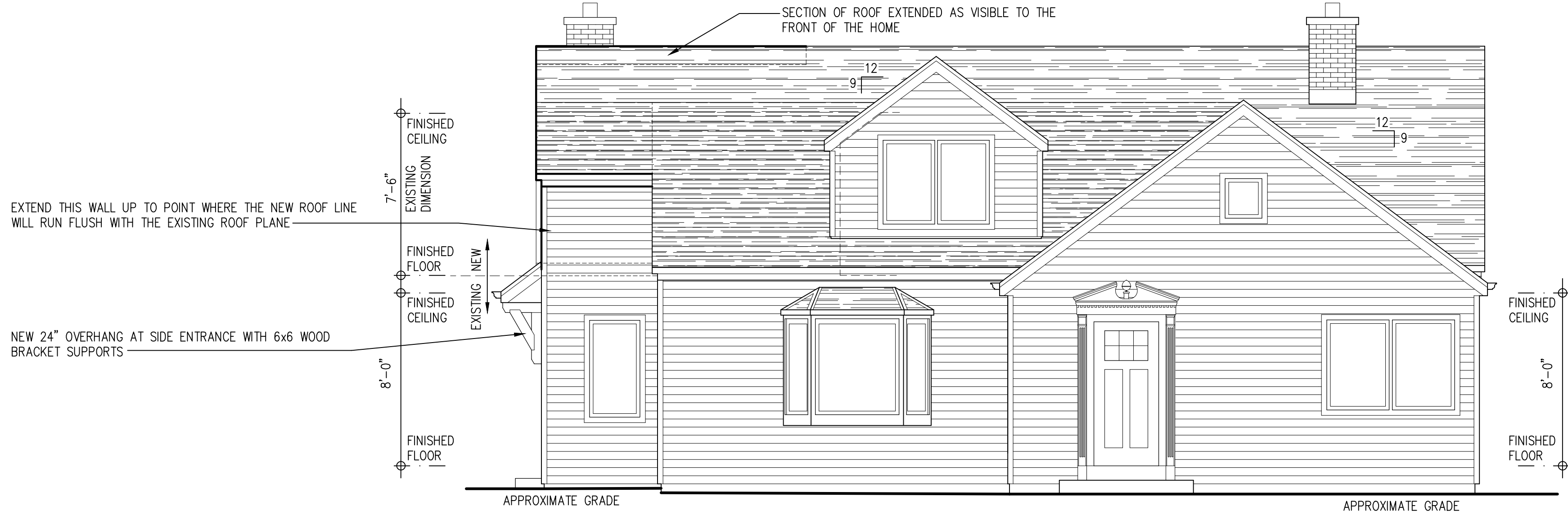
Homeowner's Signature

7539 N. Bell Rd Fox Point, WI 53217

Property Address

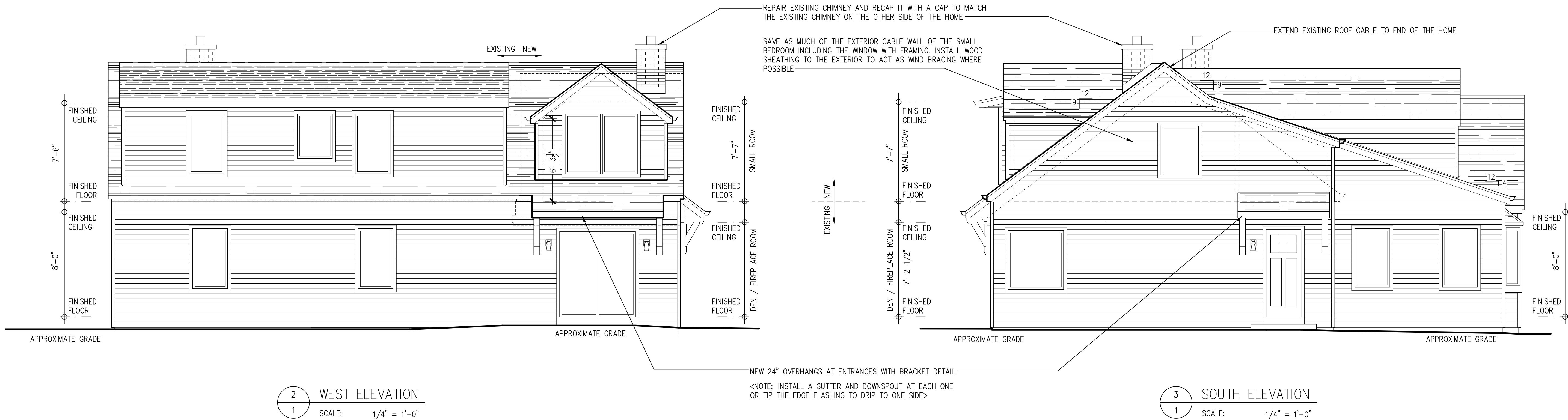
5-20-24

Date



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

<DRAWING NOTE: BOLD LINES INDICATE NEW OR ALTERED STRUCTURE AND NOT NECESSARILY PARTS OF THE BUILDING THAT MAY BE CLOSER IN VIEW>

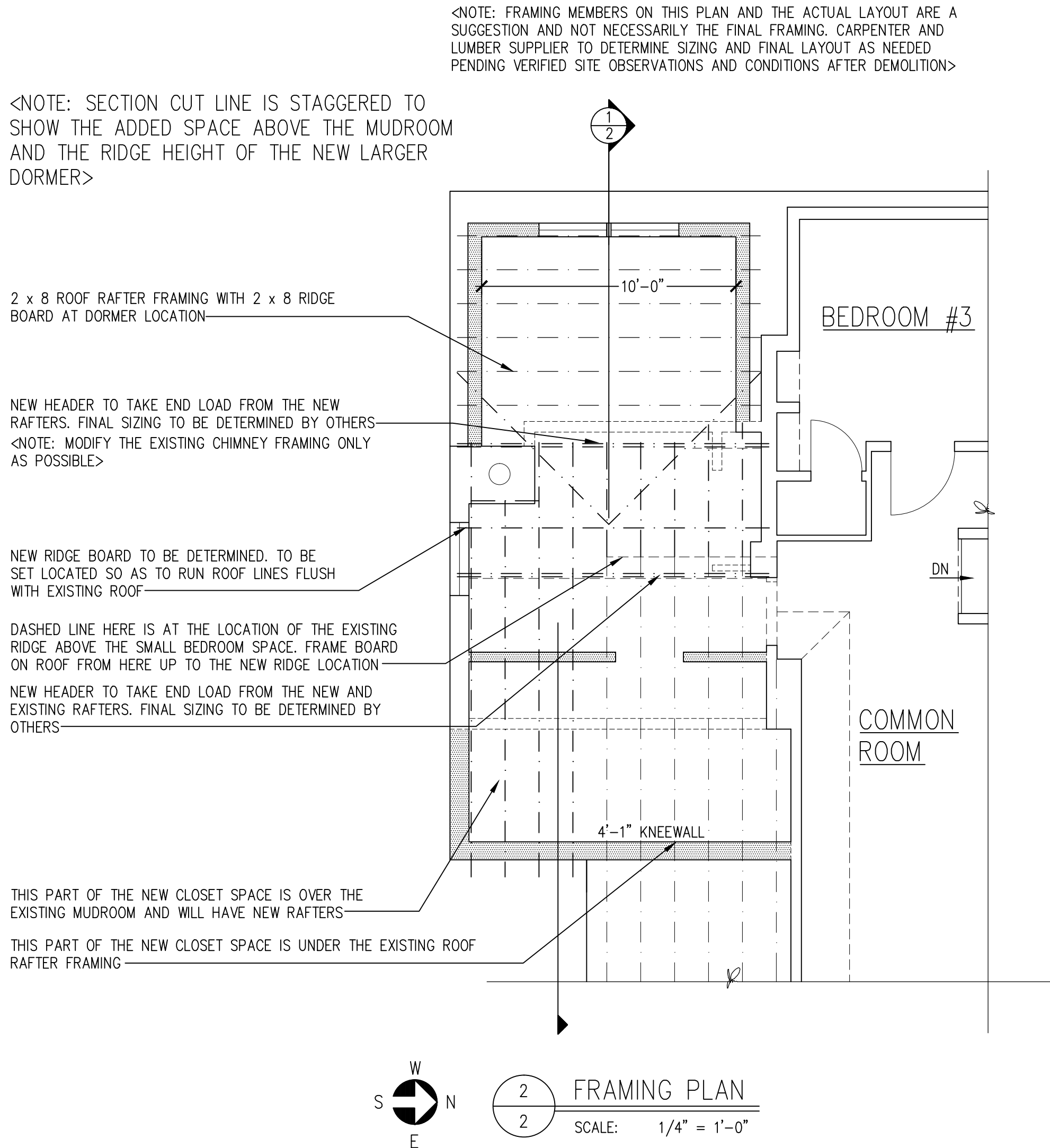
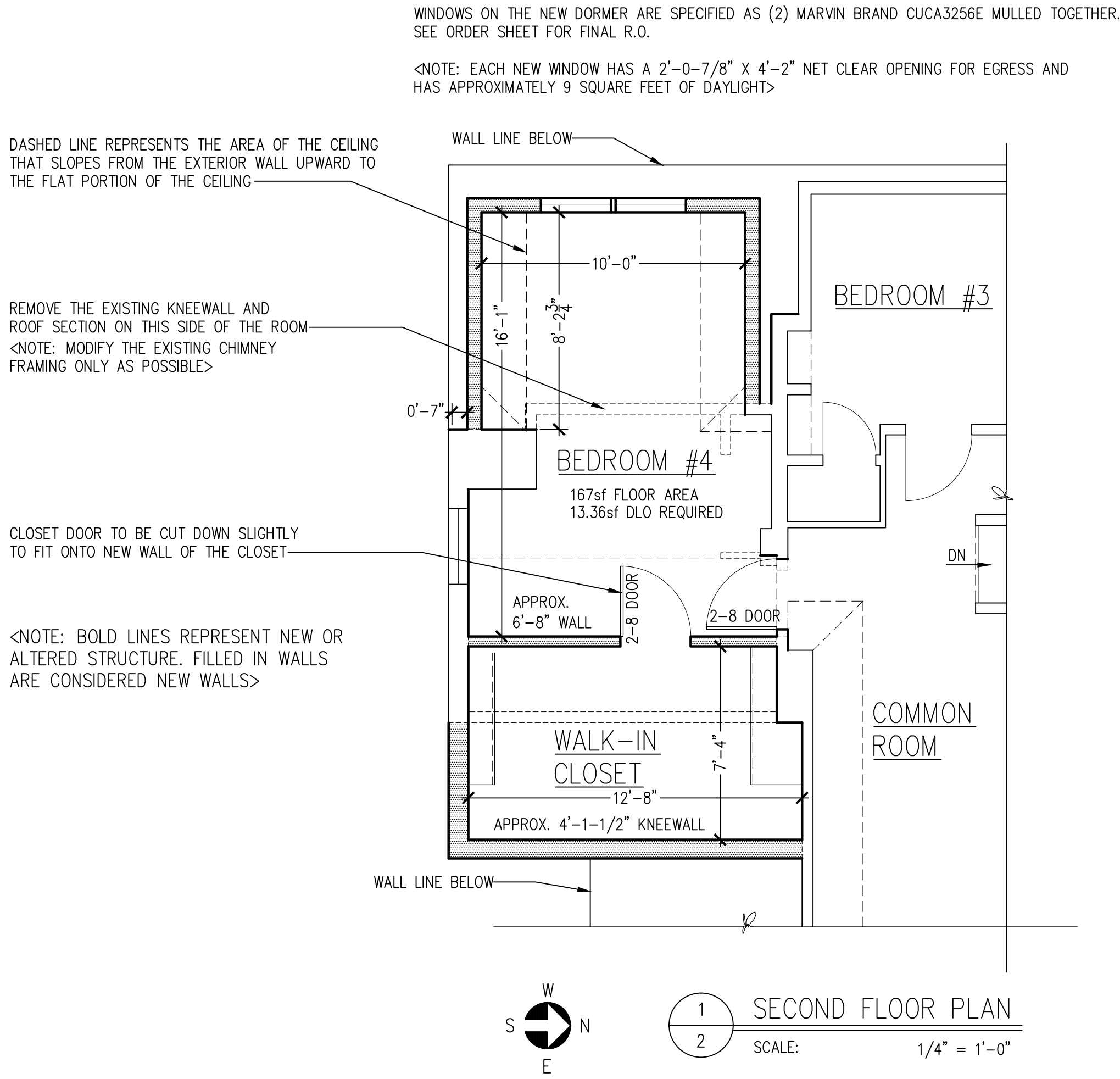


2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED DRAWINGS FOR :
CHAD AND AMANDA WENZEL
7539 N BELL ROAD
FOX POINT, WI 53217
2ND FLOOR ADDITION
EAST, WEST, & SOUTH ELEV'S

SCALE:
1/4" = 1'-0"



PROPOSED DRAWINGS FOR :
CHAD AND AMANDA WENZEL
7539 N BELL ROAD
FOX POINT, WI 53217
2ND FLOOR ADDITION
FLOOR PLAN AND ROOF FRAMING PLAN

SCALE:
1/4" = 1'-0"

2

SHEET 2 OF

baugnet design studio

Residential & Commercial Design Services (414) 852-3189

3310 CULLEN DRIVE BROOKFIELD, WI 53005

All existing site conditions are to be verified prior to construction or fabrication including but not limited to proper soil bearing conditions and site specific requirements. Designs and drawings remain the sole property of Baugnet Design Studio. Designs may only be released in written form by the owner of Baugnet Design Studio or if labeled as released on each sheet in lower right corners. All designs are subject to copyright and intellectual property laws.

DATE: FEBRUARY 14, 2024

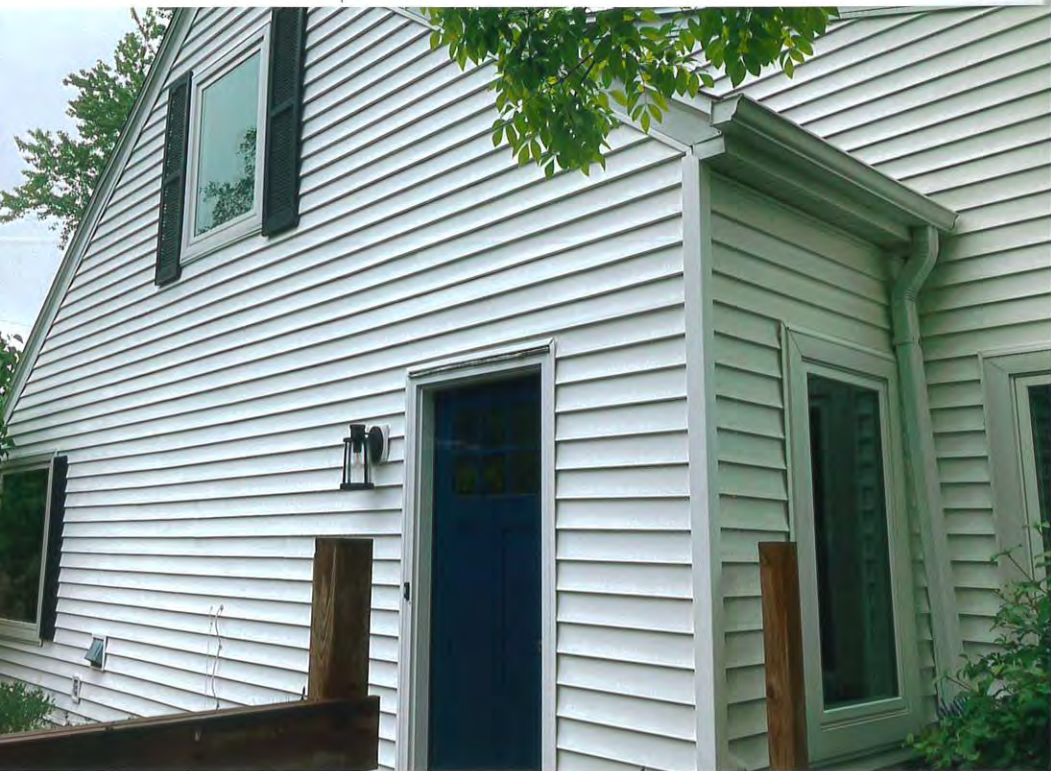
REVISIONS (DATE AND GENERAL DESCRIPTION)

INT:



SCALE: $1/2" = 1'-0"$









VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B-

OFFICE USE ONLY
Issued Date
Zoning

BUILDING PERMIT

Job Address 305 E. Acacia Road Fox Point, WI 53217	Building Type: Residential ☒ Commercial ☐
Description of Work	
Remove an existing problematic and underutilized 2nd floor deck and replace with a Sunroom/Greenhouse addition.	
Estimated Cost of Project \$ 55,400.00	

Owner/Occupant Mike & Deanna Weiss	
Business Name	Contact Name
Address 305 E. Acacia Road	City/State/Zip Fox Point, WI 53217
Phone	Email

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Design Group Three LLC	Contact Name Anna Herbert-Morrison or Kelley Clark-Julian (Inspections)
Address 5050 N Port Washington Road	City/State/Zip Glendale, WI 53217
Phone 414.962.5560	Email anna@designgroupthree.com or kelley@designgroupthree.com (Inspections)
Dwelling Contractor # DC-012000025	Dwelling Contractor Qualifier # DCQ-071300052

Square Footage Under Construction				
1 st Floor	2 nd Floor 60 Sq. Ft.	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	
Building Board	\$75.00	75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$ 75.00

Applicant Signature Anna L. Herbert-Morrison **Date** 2024.05.30

Rev 01/22

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.060345

May 31, 2024

305 E ACACIA

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	
Total:	75.00
CHECK	75.00
Check No: 1546	
Payor: DESIGN GROUP THREE	
Total Applied:	75.00
Change Tendered:	.00

Duplicate Copy

05/31/2024 8:07 AM

305 E. ACACIA ROAD
FOX POINT, WI 53217

8-22-21-3

MCLIO1_0362.PDF



A-1	Survey/Site Plan & Exterior Views
A-2	Existing & Demo Plans
A-3	Proposed Plans
A-4	Existing and Proposed East Elevation
A-5	Existing Elevations with Proposal Notes



N. Port Washington Rd.
Milwaukee, WI 53217
414.962.5560
signgroupthree.com

SIGNATURE

SIGNATURE _____

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Weiss Residence

30 E E Access Road

303 E. ACACIA ROAD
FOX POINT, WI 53217

WRN BY:
Moore/AHM

E: 2024.05.30

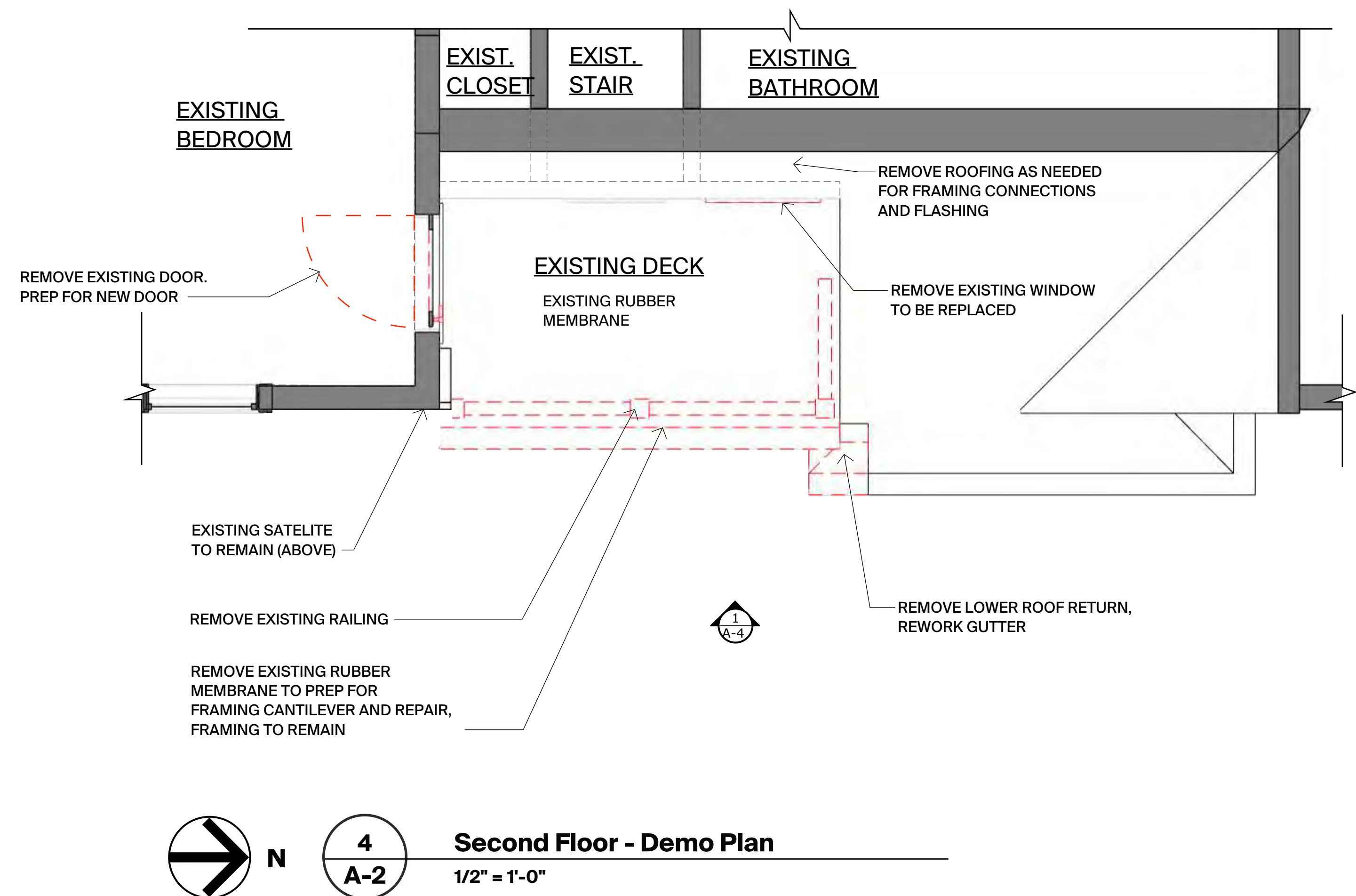
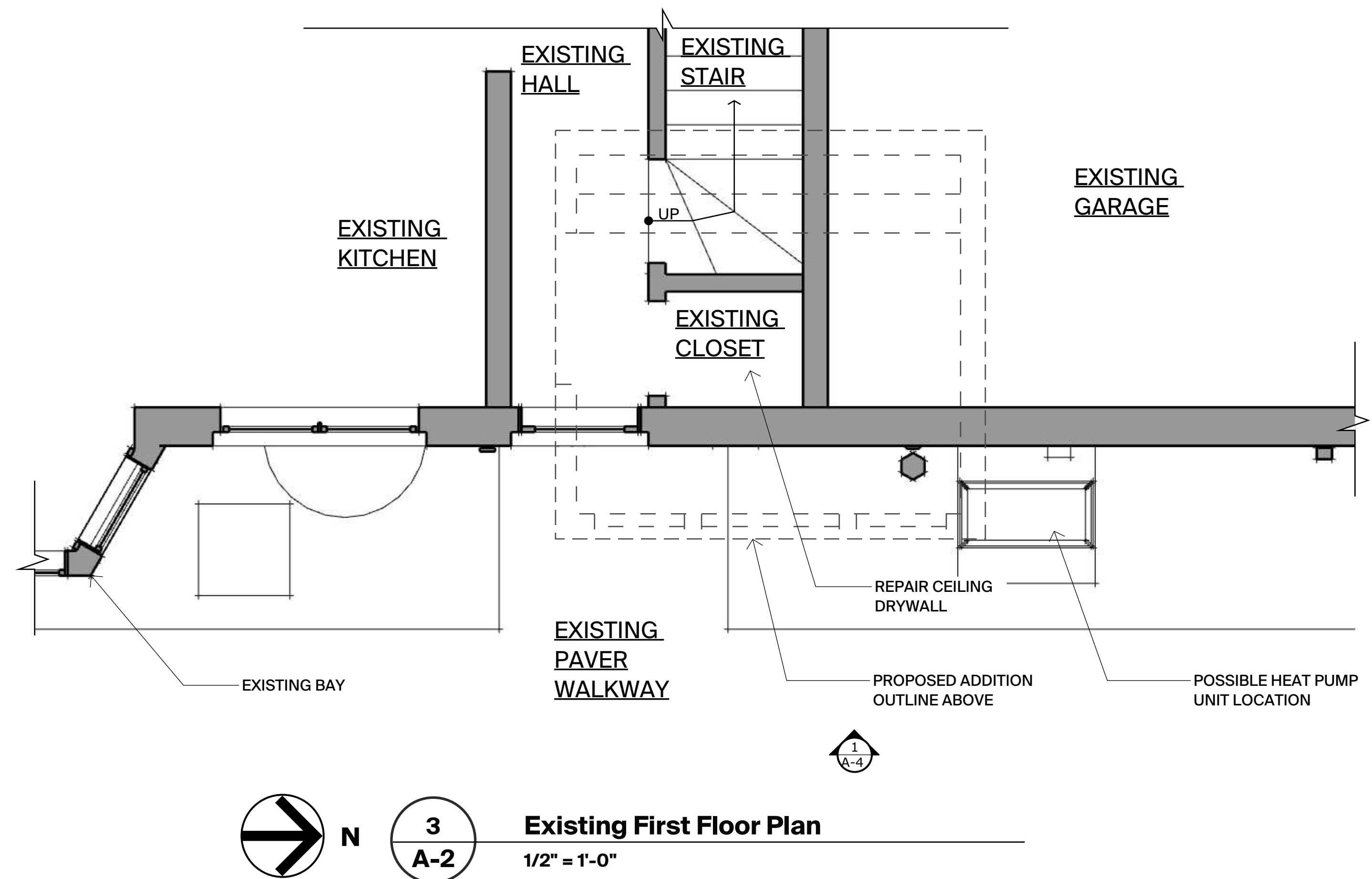
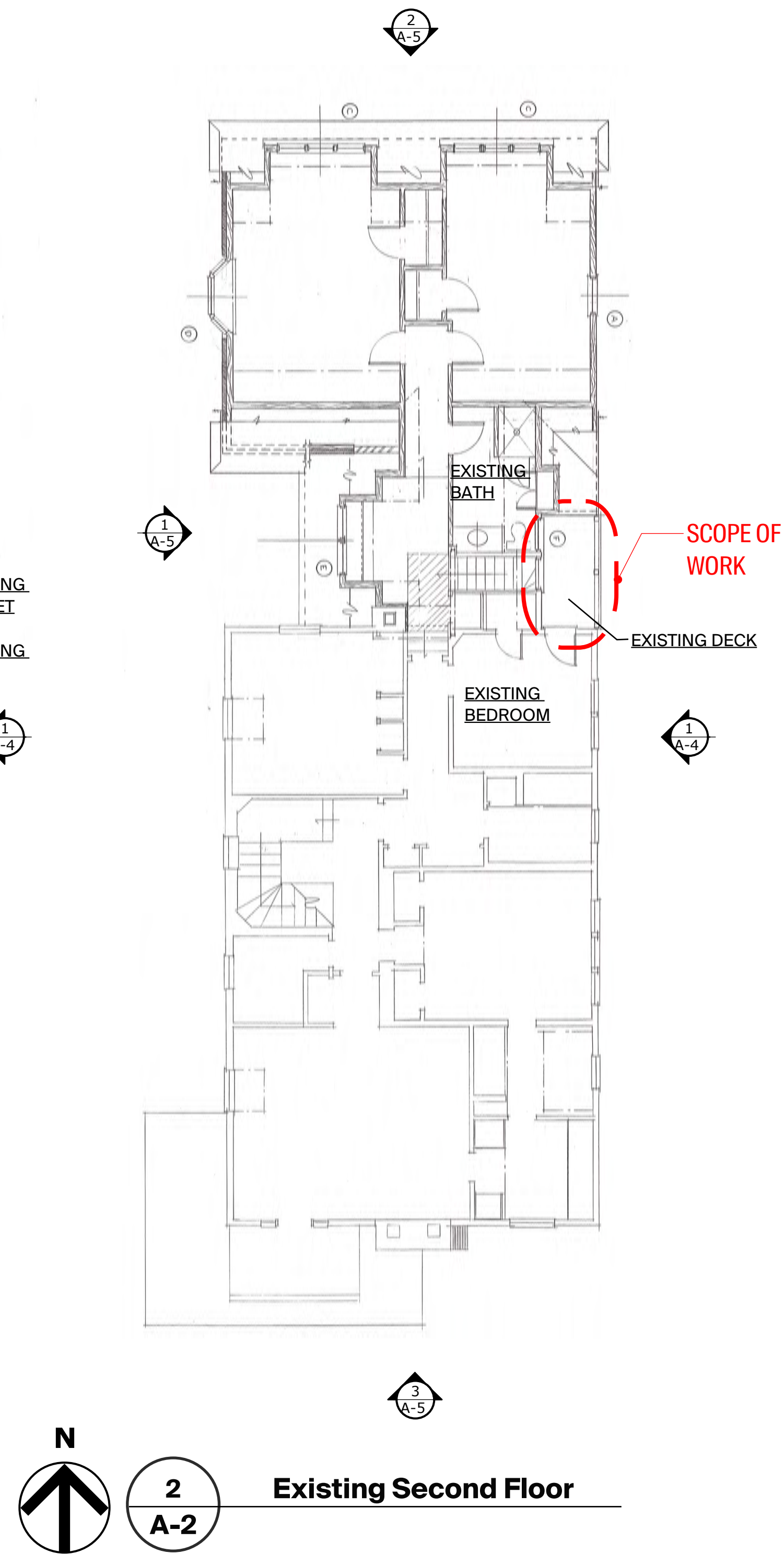
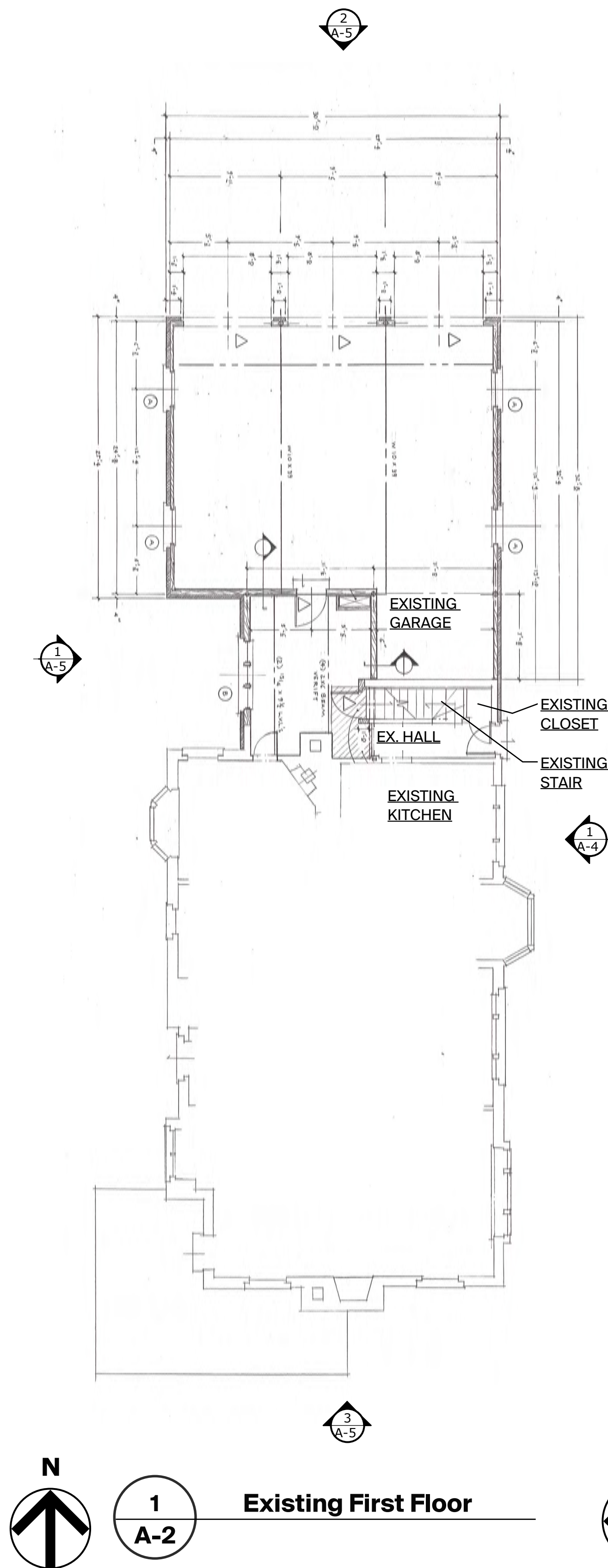
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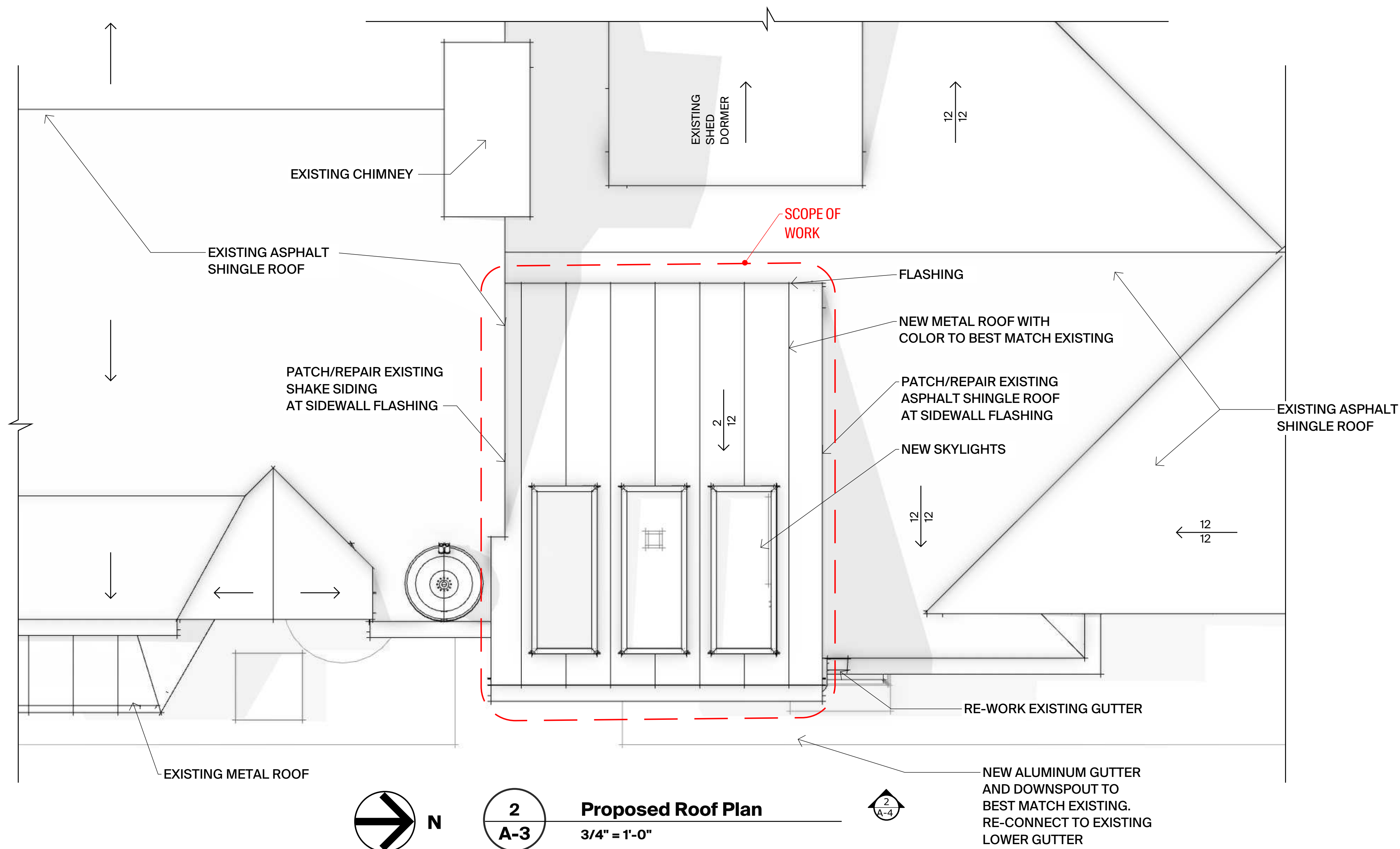
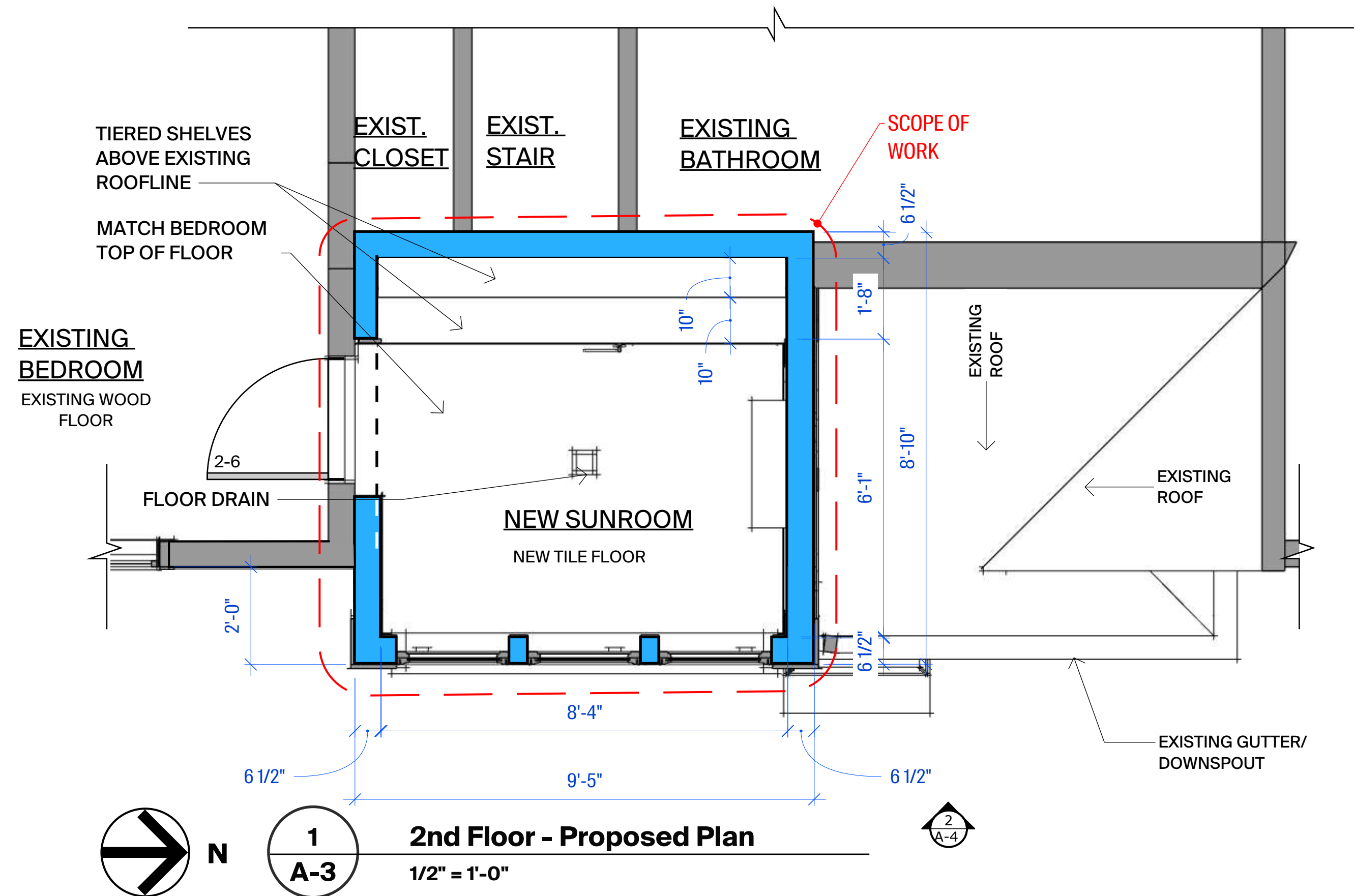
A-1

OF **5**

1
A-1

2 Views of Proposed 2nd Floor Addition







1
A-4
Existing East Elevation
1/4" = 1'-0"



2
A-4
Proposed East Elevation
1/4" = 1'-0"

CLIENT APPROVAL:

SIGNATURE

SIGNATURE

DATE

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2ND FLOOR SUNROOM ADDITION

Weiss Residence

305 E. Acacia Road
Fox Point, WI 53217

DRAWN BY:
DMoore/AHM

DATE: 2024.05.30

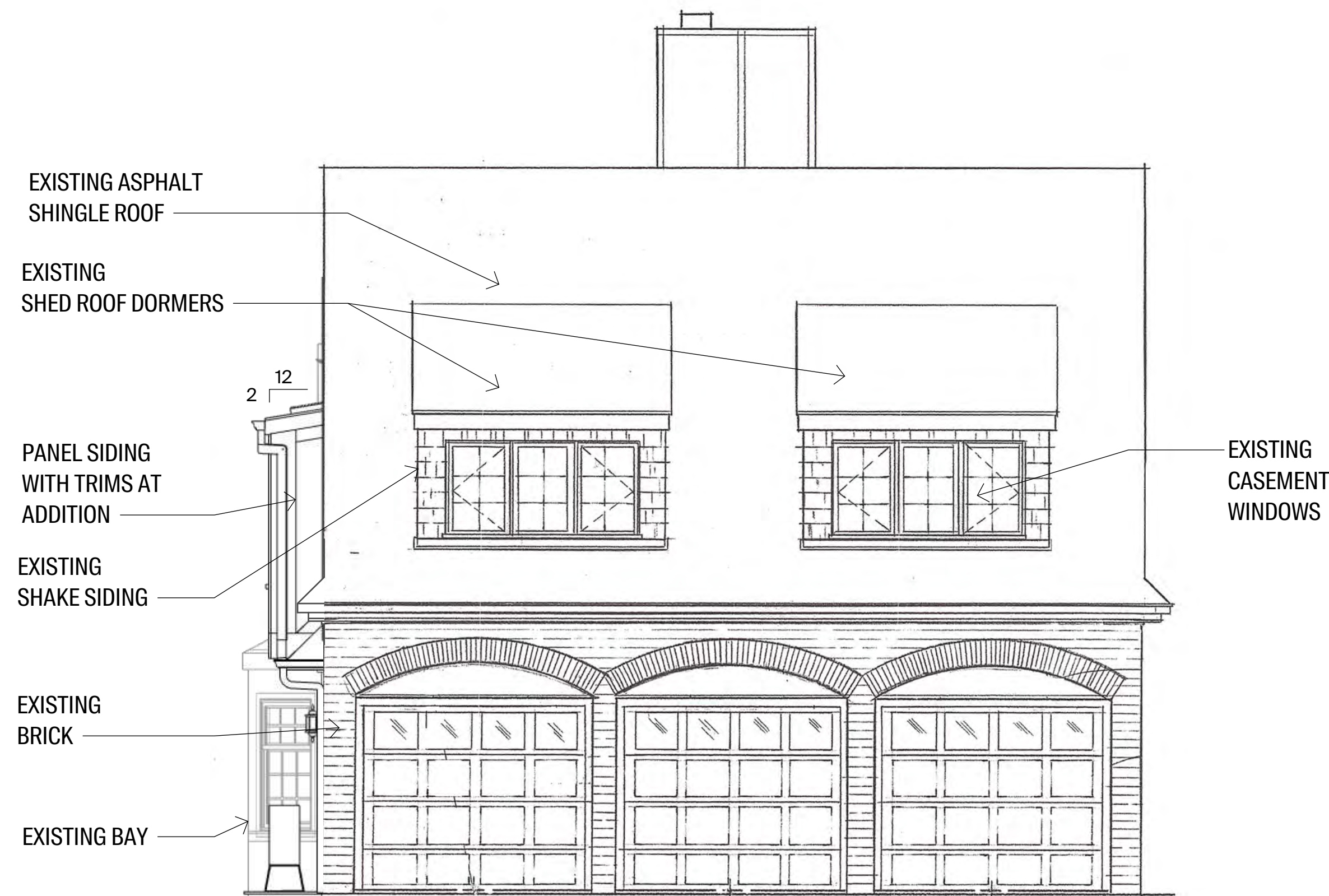
SHEET NO.:

A-5

5 OF 5



1
A-5 Existing West Elevation
1/4" = 1'-0"



2
A-5 Existing North Elevation with 2nd Floor Addition
1/4" = 1'-0"



3
A-5 Existing South Elevation
1/4" = 1'-0"



Existing Shed Roof

Existing
Casement
Windows

1
A-1

North Elevation

CLIENT APPROVAL:

SIGNATURE
SIGNATURE
DATE

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EXISTING ELEVATION PHOTOS

Weiss Residence

305 E. Acacia Road
Fox Point, WI 53217

DATE: 2024.05.30

SHEET NO.:

A-1

1 of 4



Existing Casement
Windows

Existing
Metal
Roof

Existing Casement
Windows

1
A-2

West Elevation

Design
Group
Three

ARCHITECTURE
RENOVATION
CONSTRUCTION

5050 N. Port Washington Rd.
Milwaukee, WI 53217
414.967.5560
designgroupthree.com

CLIENT APPROVAL:

SIGNATURE

SIGNATURE

DATE

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EXISTING ELEVATION PHOTOS
Weiss Residence
305 E. Acacia Road
Fox Point, WI 53217

DATE: 2024.05.30
SHEET NO.:
A-2
2 OF 4



Design Group Three

ARCHITECTURE
RENOVATION
CONSTRUCTION

5050 N. Port Washington Rd.
Milwaukee, WI 53217
414.967.5560
designgroupthree.com

CLIENT APPROVAL:

SIGNATURE

SIGNATURE

DATE

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EXISTING ELEVATION PHOTOS

Weiss Residence

305 E. Acacia Road
Fox Point, WI 53217

DATE: 2024.05.30

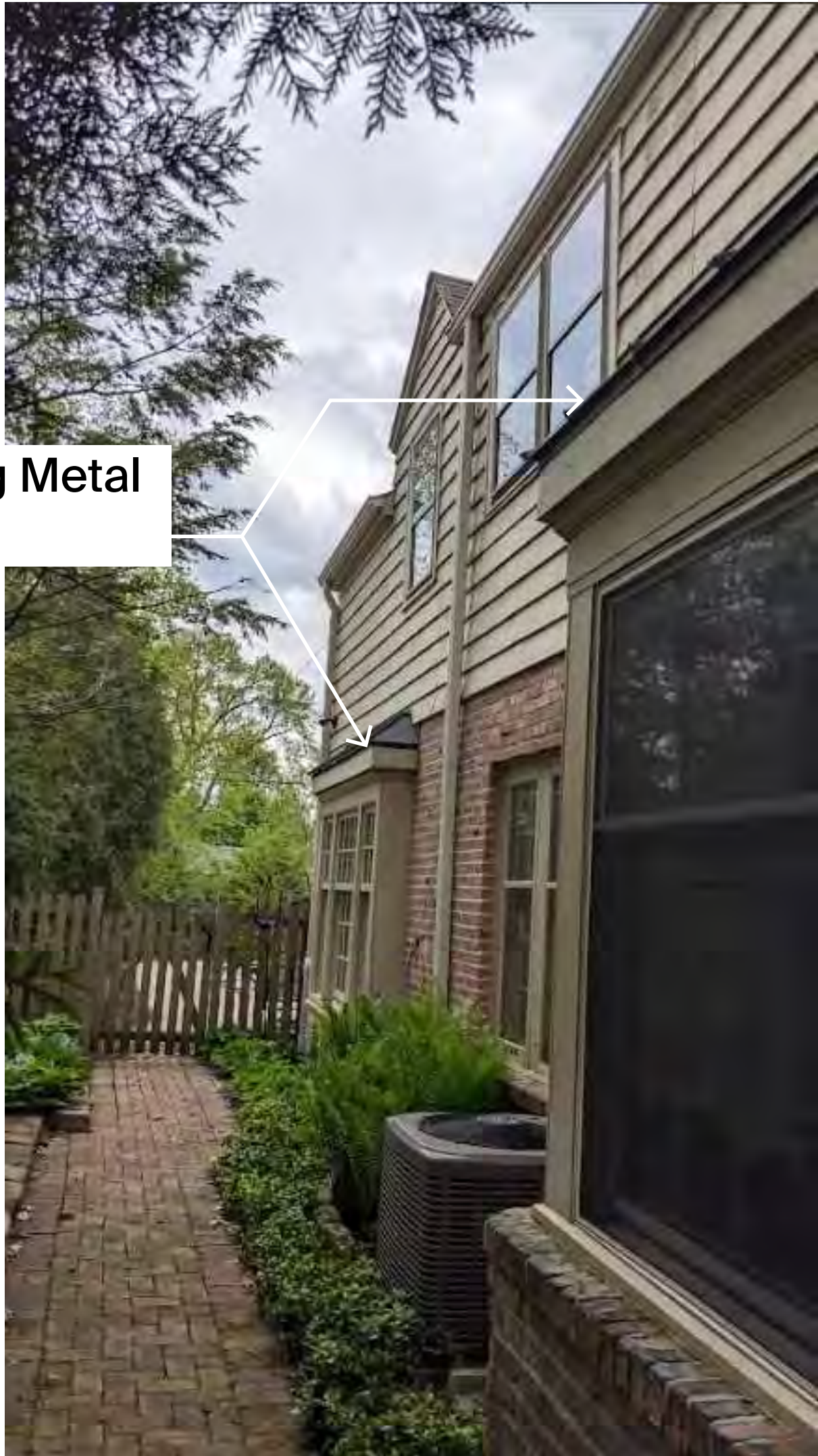
SHEET NO.:

A-3

3 OF 4

1
A-3

South Elevation



**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:**B-****OFFICE USE ONLY**

Issued Date

Zoning

BUILDING PERMIT

Job Address 702 E Green Tree Rd	Building Type: Residential ☒ Commercial ☐
Description of Work	
Remove the existing rotted and deteriorated deck and existing second floor door.	
Install a new window in place of the old door. Salvage the existing deck supports to support a new awning in place of the existing deck.	
Estimated Cost of Project \$7,271	

Owner/Occupant	
Business Name N/A	Contact Name KATHY REILEY
Address 702 E Green Tree Rd	City/State/Zip Fox Point, WI 53217
Phone 608-347-8309	Email kreiley@reileylaw.net

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name ARC Homes LLC	Contact Name David Julson
Address W162N11685 Park Ave	City/State/Zip Germantown, WI 53022
Phone 715.551.3450	Email dave.julson@gmail.com
Dwelling Contractor # 111700022-DC	Dwelling Contractor Qualifier # 111700059 - DCQ

Square Footage Under Construction				
1 st Floor N/A	2 nd Floor N/A	Basement N/A	Addition N/A	Garage N/A

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	\$72.71
Building Board	\$75.00	\$75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld	\$95.00 minimum plus	
Moving buildings	\$250.00 plus	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point		Total Permit Fee \$ 147.71

Applicant Signature

Rev 01/22

Date

[Signature]
ARC Homes LLC

5/30/24

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.060347

May 31, 2024

702 E GREEN TREE

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	
LICENSES & PERMITS - BUILDING PERMIT	72.71
24-44480 BUILDING PERMIT	
Total:	147.71
CHECK	147.71
Check No: 1134	
Payor: ARC HOMES LLC	
Total Applied:	147.71
Change Tendered:	.00

05/31/2024 8:42 AM



Deck to be removed

Overview of Project Location at 702 E Green Tree Rd. The deck to be removed and replaced with an awning is located in the alcove between the house, garage and breezeway.

OPEN AREA WILL NOT CHANGE PROPOSED AWNING TO MATCH SIZE OF EXISTING DECK TO BE REMOVED.



West face of house facing Lake Dr



View from Lake Dr



South Face of house facing Green Tree Rd



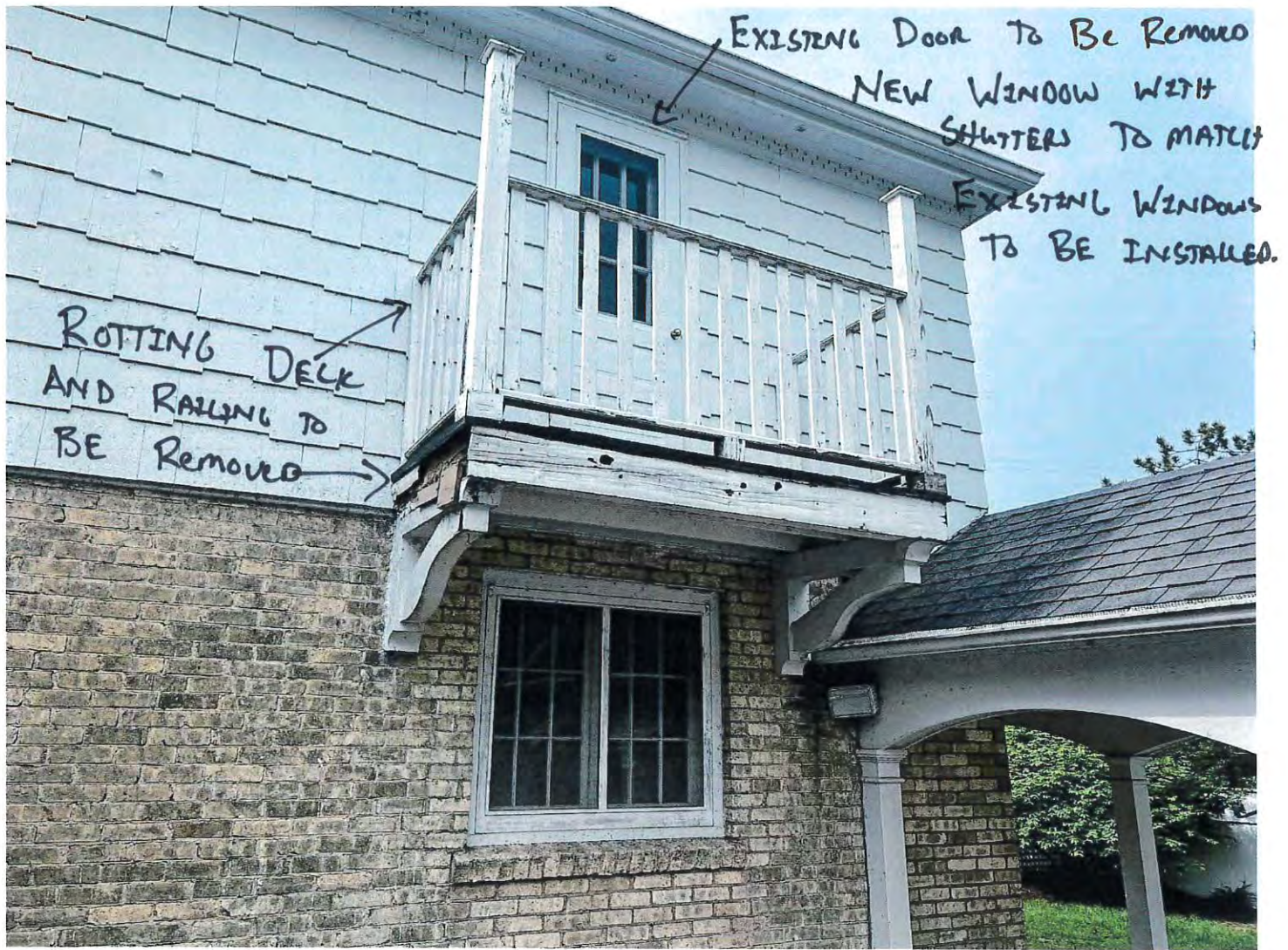
South and East face of house



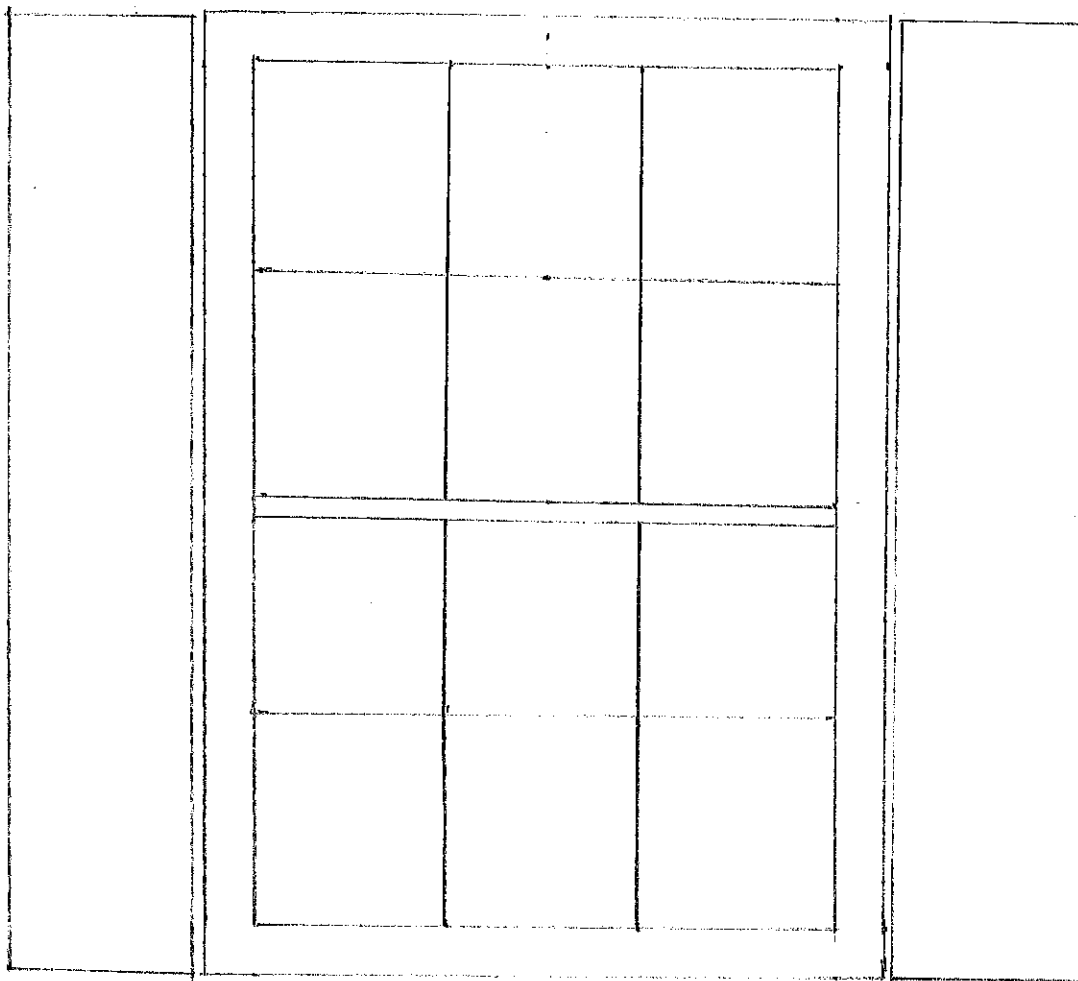
North Face of house and back of garage



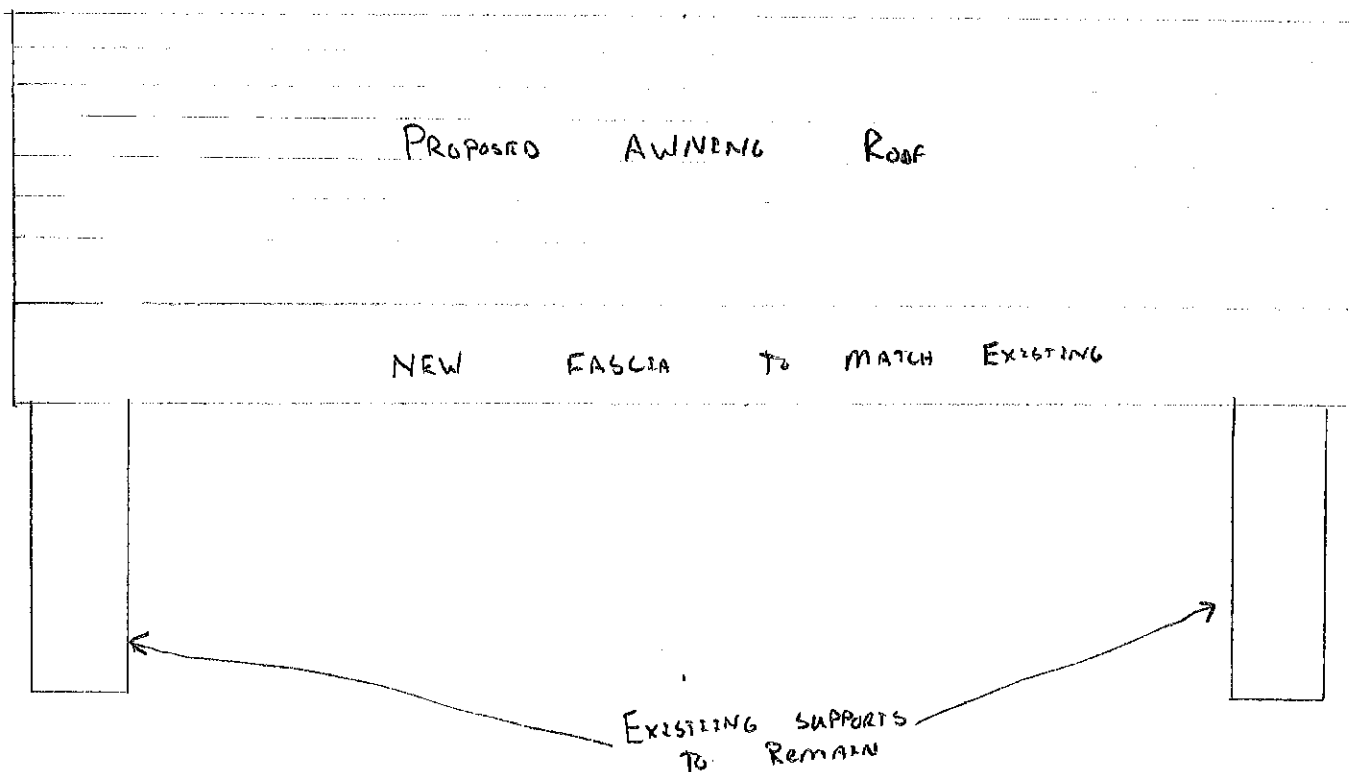
Face of garage on west side of house



Existing Deck, railing and door to be removed. The existing supports will remain in place and an awning will be constructed using the supports. The awning roof slope to be approximately 4:12 pitch and roofing materials will match the existing house roofing. The soffit material will be tongue and groove to match the soffit in the breezeway. The proposed window will match as close as possible to the existing house windows including matching shutters.



PROPOSED WINDOW & SHUTTERS.



PROPOSED AWNING

SCALE 1" : 1'

EXISTING WALL

PROPOSED
AWNING
SIDING & TRIM BOARDS
TO MATCH EXISTING HOUSE.

EXISTING SUPPORT TO REMAIN

COLORS TO MATCH EXISTING

PROPOSED AWNING CROSS SECTION

SCALE 1"=1'



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

Permit Number:

B-_____

OFFICE USE ONLY	
Issued Date	
Zoning	B, 55

BUILDING PERMIT

Job Address 7528 N. Links Way Fox Point, WI 53217	Building Type: Residential ☒ Commercial ☐
Description of Work	
Tear off and remove existing 15x17 sunroom and replace with 15x17 sunroom addition	
Estimated Cost of Project \$ 75,000	

Owner/Occupant Brian and Allison Wolff	
Business Name	Contact Name Allison Wolff
Address 7528 N. Links Way Fox Point, WI 53217	City/State/Zip Fox Point, WI 53217
Phone (414) 331-6857	Email alison.peschel@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Jude Tindall Construction	Contact Name Jude Tindall
Address 7621 S. Loomis Road	City/State/Zip Wind Lake, WI 53185
Phone	Email jude@weknowsunrooms.com
Dwelling Contractor # 040400198	Dwelling Contractor Qualifier # 090700976

Square Footage Under Construction				
1 st Floor 0	2 nd Floor 0	Basement 0	Addition 255	Garage 0

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	
Building Board	\$75.00	
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld	\$95.00 minimum plus	
Moving buildings	\$250.00 plus	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$

Applicant Signature _____

Date

5/31/24

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.060349

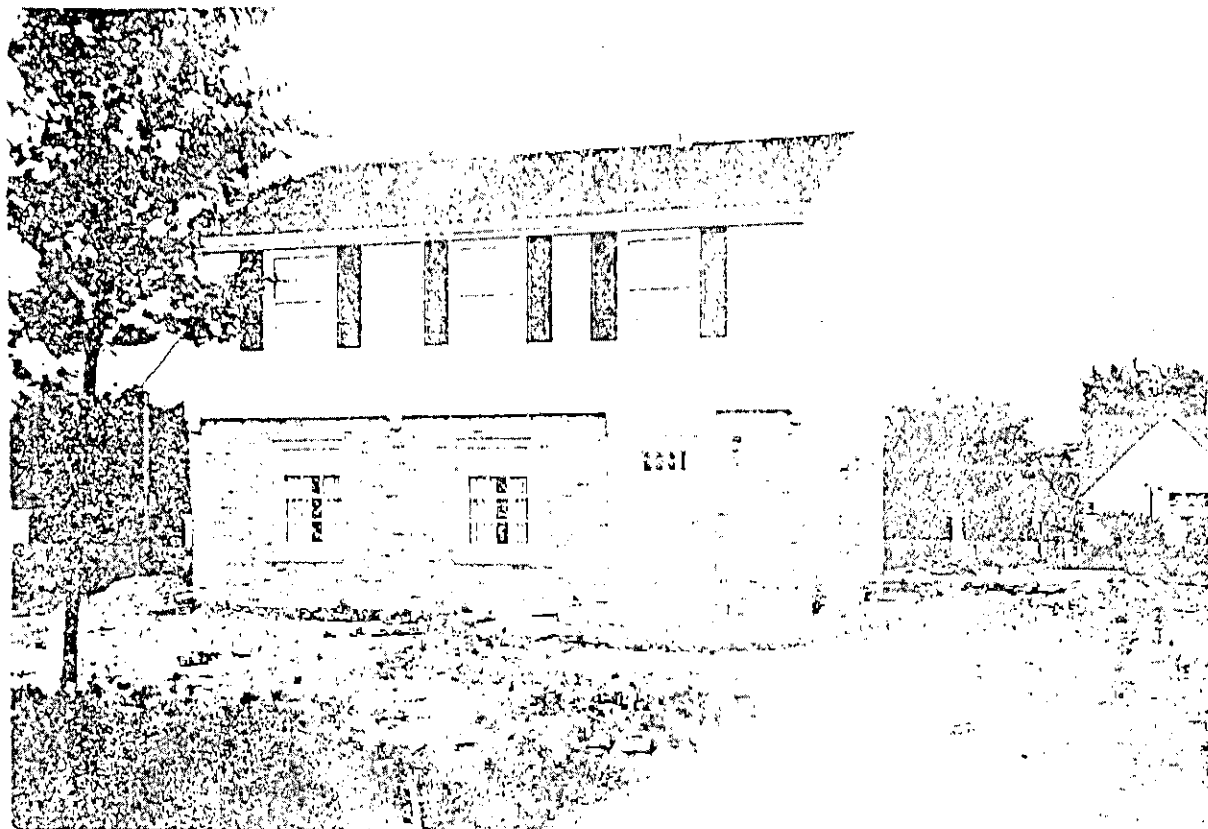
May 31, 2024

7528 N LINKS WAY

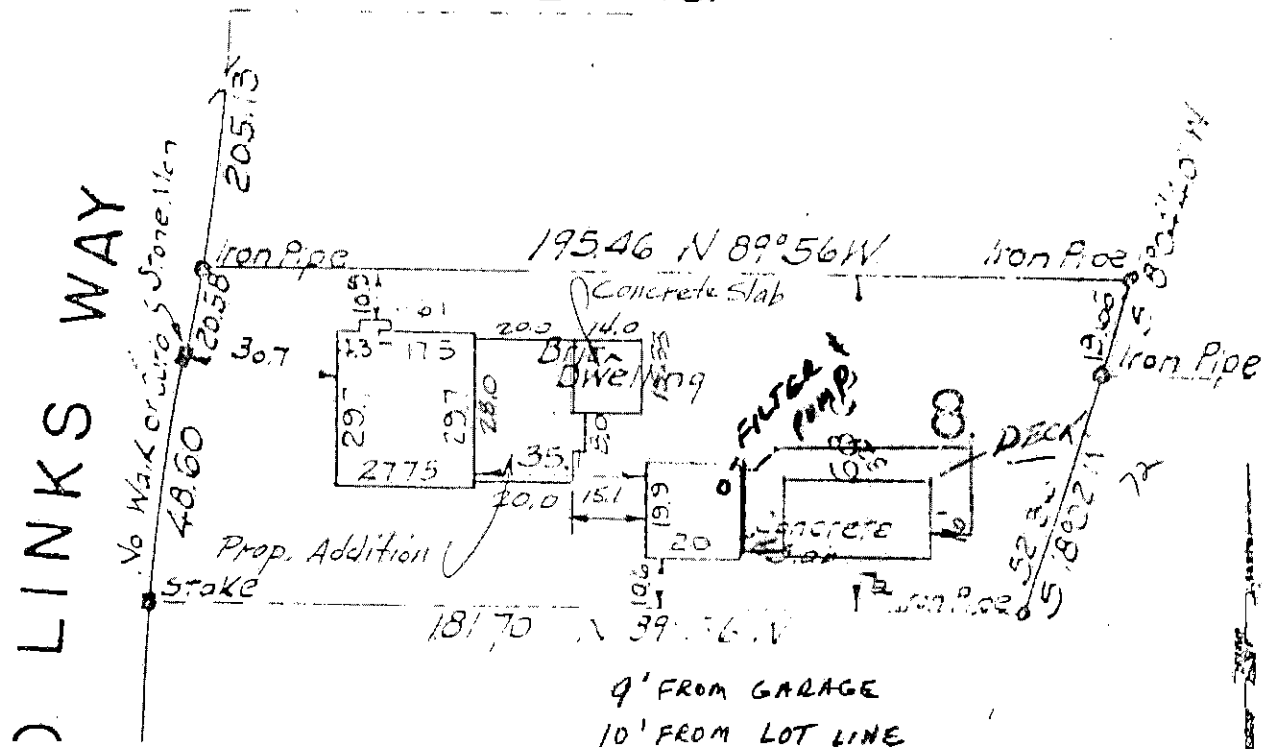
Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	
Total:	75.00
CHECK	75.00
Check No: 1260	
Payor: TINDALL	
Total Applied:	75.00
Change Tendered:	.00

05/31/2024 11:53 AM

SUCCESSOR TO
W. B. ENGELHARDT



E CALUMET RD.















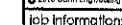












WOLFF RESIDENCE
7528 N. LINKS WAY
FOX POINT, WI 53217

CUSTOMER	WOLFF
DEALER	SOUTH EAST WISCONSIN SUNROOMS
GLASS TYPE	LOW-E3
BUILDING COLOR	CREAM WHITE
ROOM STYLE	CATHEDRAL
ROOF SYSTEM	6" ECO-GREEN PANELS
RIDGE BEAM	(2) 1-1/2" x 11-1/4" LVL RIDGE BEAM

FLOOR SYSTEM	NEW 4" CONCRETE SLAB MONOLITHIC POUR
MINIMUM FOOTING SIZE	NEW 8"W x 48"D TRENCH FOOTER w/ (2) #5 REBAR

DEAD LOADS	
WEIGHT OF ROOF	8 PSF
WEIGHT OF WALLS	5 PSF
WEIGHT OF FLOOR	10 PSF
SNOW LOADS	
BASIC GROUND SNOW LOAD (P_g)	35 PSF
ROOF SNOW LOAD	29 PSF
SNOW EXPOSURE FACTOR	1.0
THERMAL FACTOR	1.2
SNOW LOAD IMPORTANCE FACTOR	1.0
LIVE LOADS	
ROOF	20 PSF
FLOOR	40 PSF
WIND LOADS	
BASIC WIND SPEED	105 MPH
GUST EFFECT FACTOR (G)	0.85
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE	C
SOILS AND FOUNDATIONS	
ALLOWABLE FOUNDATION PRESSURE	2000 PSF
FROST DEPTH	48 IN.
DEFLECTION LIMITS	
ROOF MEMBERS	L/240
EXTERIOR WALLS	L/120

SHEET NUMBER	DRAWING DESCRIPTION
CS	COVER SHEET
CL	CODE COMPLIANCE
1	PLAN VIEWS
2	ELEVATIONS
3	BUILDING SECTION / CONNECTION DETAILS
4	SECTIONS AND DETAILS
5	SECTIONS AND DETAILS
6	SECTIONS AND DETAILS
7	ROOF / BEAM DATA
8	CANTILEVERED DIAPHRAGM
9	PROFILE DETAILS

sect

COVER SHEET

SHEET
CS

A B C D E F G H I J K

Code Compliance Specification Sheet

This is a summary of the compliance and performance of the LivingSpace Sunroom system as evaluated against the building code requirements for a sunroom addition as per the 2015 IECC.

In accordance with the ASHRAE 90.1 2010 Prescriptive Provisions (For Residential or Commercial Buildings)

SUNROOM: A one-story structure attached to a dwelling with a glazing area in excess of 40 percent of the gross area of the structure's exterior walls and roof.

SECTION R402 BUILDING THERMAL ENVELOPE
TABLE R402.1.2

Component	Thermally Isolated requirement	Non-Thermally Isolated requirement	LivingSpace Performance
Window U Value	N/A (1) 0.45 (2-8)	N/A (1) 0.40 (2) 0.35 (3-4) 0.32 (5-8)	0.28
Window SHGC	N/A	0.25 (1-3) 0.40 (4) N/A (5-8)	0.21 *
Roof R Value	19 (1-4) 24 (5-8)	30 (1) ** 38 (2-3) 49 (4-8)	24 - 6" EG ^ 34 - 8" EG ^ 43 - 10" EG ^ 52 - 12" EG ^
Wall R Value	13	13 (1-2) 20 or 13+5 (3-5) 20+5 or 13+10 (6-8)	13 - 3" Fill ^ 17 - 4" EG ^ 26 - 6" EG ^
Floor R Value	13 (1-2) 19 (3-8)	13 (1-2) 19 (3-4) 30 (5-6) 38 (7-8)	26 - 6" EG ^ 34 - 8" EG ^ 43 - 10" EG ^ 52 - 12" EG ^
Roof Glazing U Value	0.75 (1) 0.70 (2-8)	0.75 (1) 0.65 (2) 0.55 (3-8)	0.30 Celsius 0.25 Celsius Plus 0.28 Polycarbonate

(1-8) is reference to Climate Zones as per Section R301
* Section R402.3.2 allows for an area-weighted average to satisfy the SHGC requirements.
** Section R402.2.2 allows for R-30 for all zones for rooms of less than 500 sq. ft.
^ increase R values by 15% when Neopor foam is used

AAMA/NPEA/NSA 2100-12 Specifications for sunrooms.

All LivingSpace sunroom systems meet or exceed 2100-12
4.1.4 Category IV (thermally isolated) or 4.1.5 Category V (non-thermally isolated) performance specifications.



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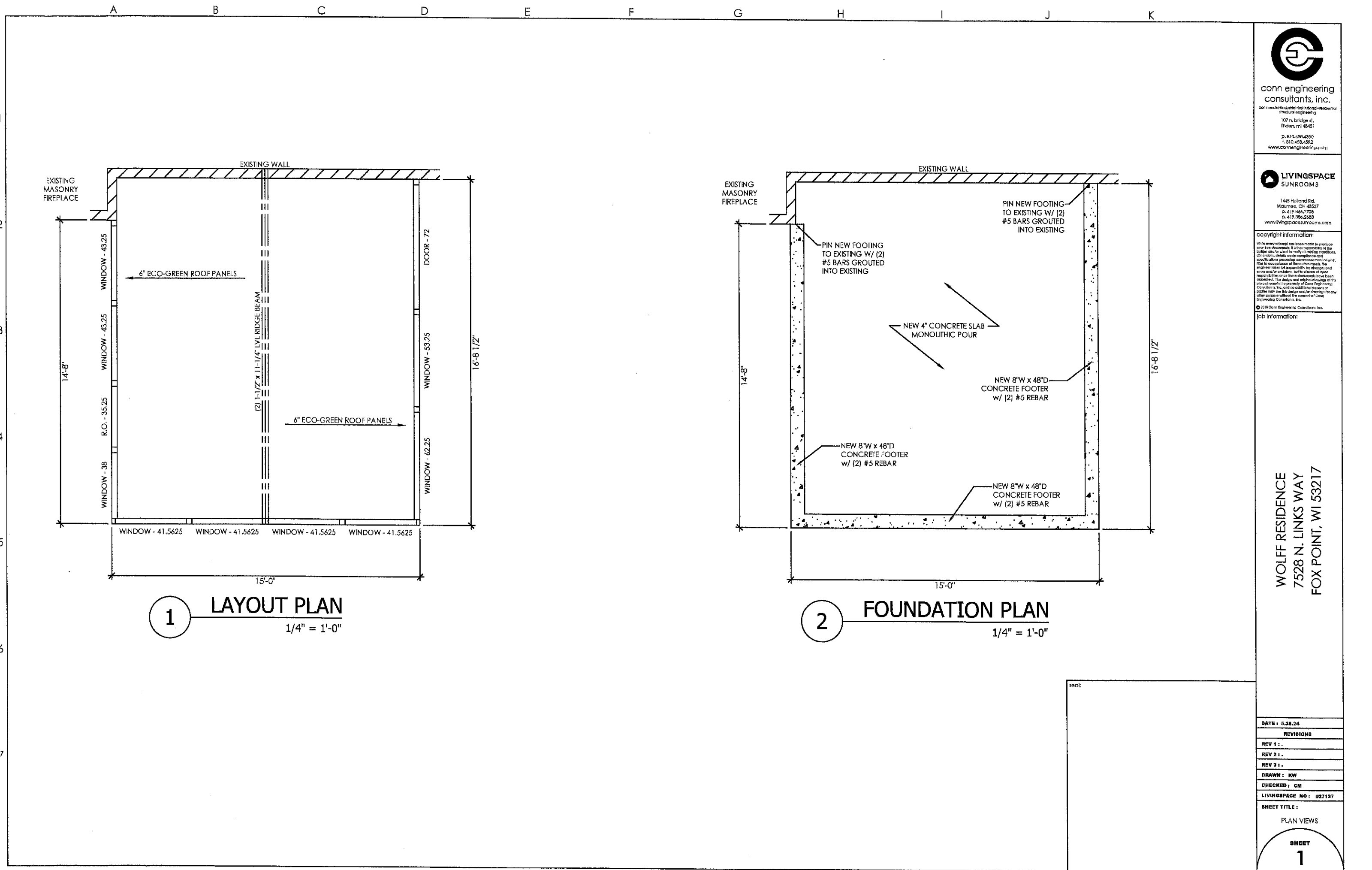
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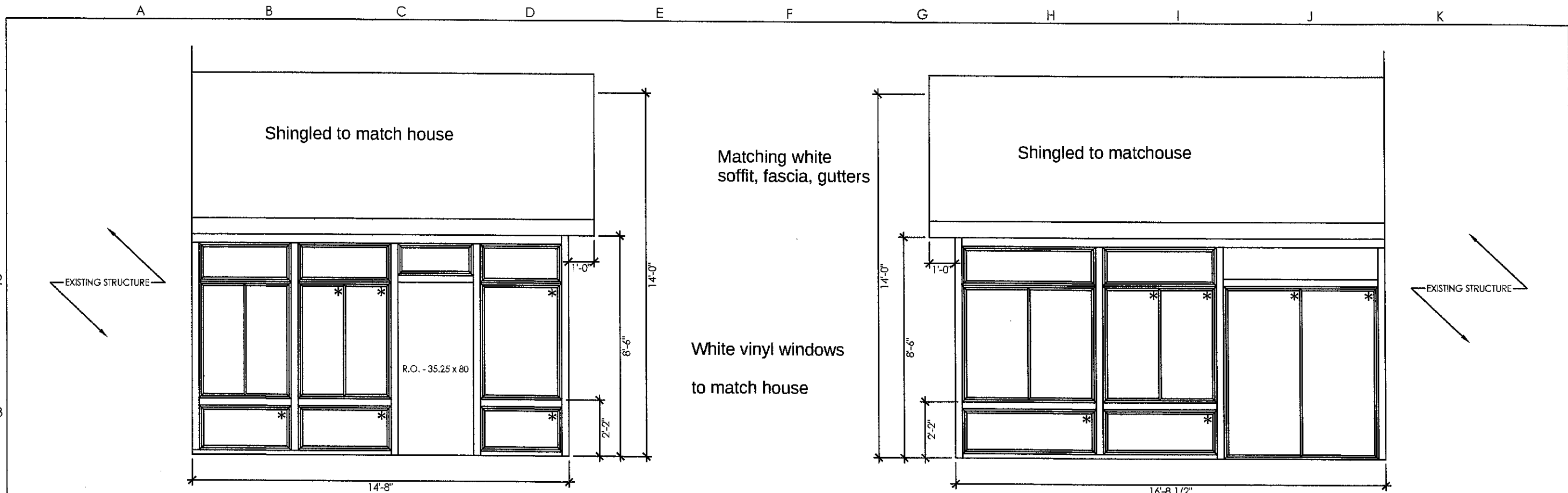
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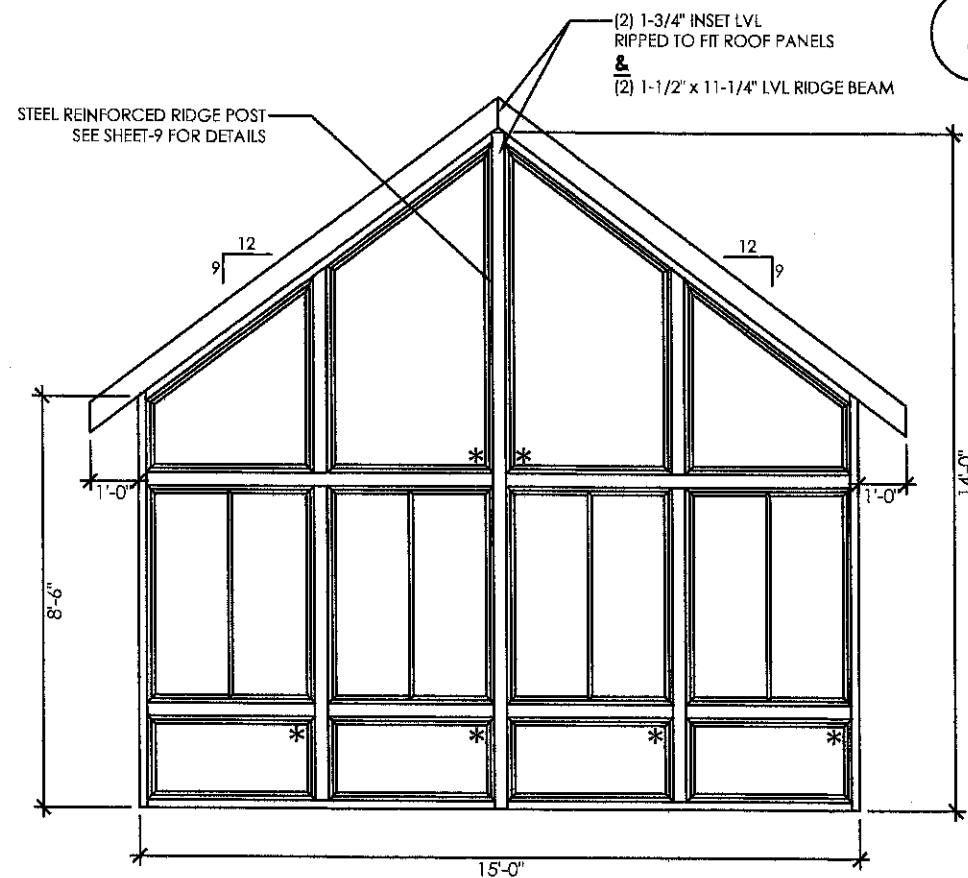
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PLAN VIEWS

SHEET
1



2 LEFT ELEVATION
1/4" = 1'-0"

3 RIGHT ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

* = TEMPERED SAFETY GLASS PER IRC SECTION R308.4



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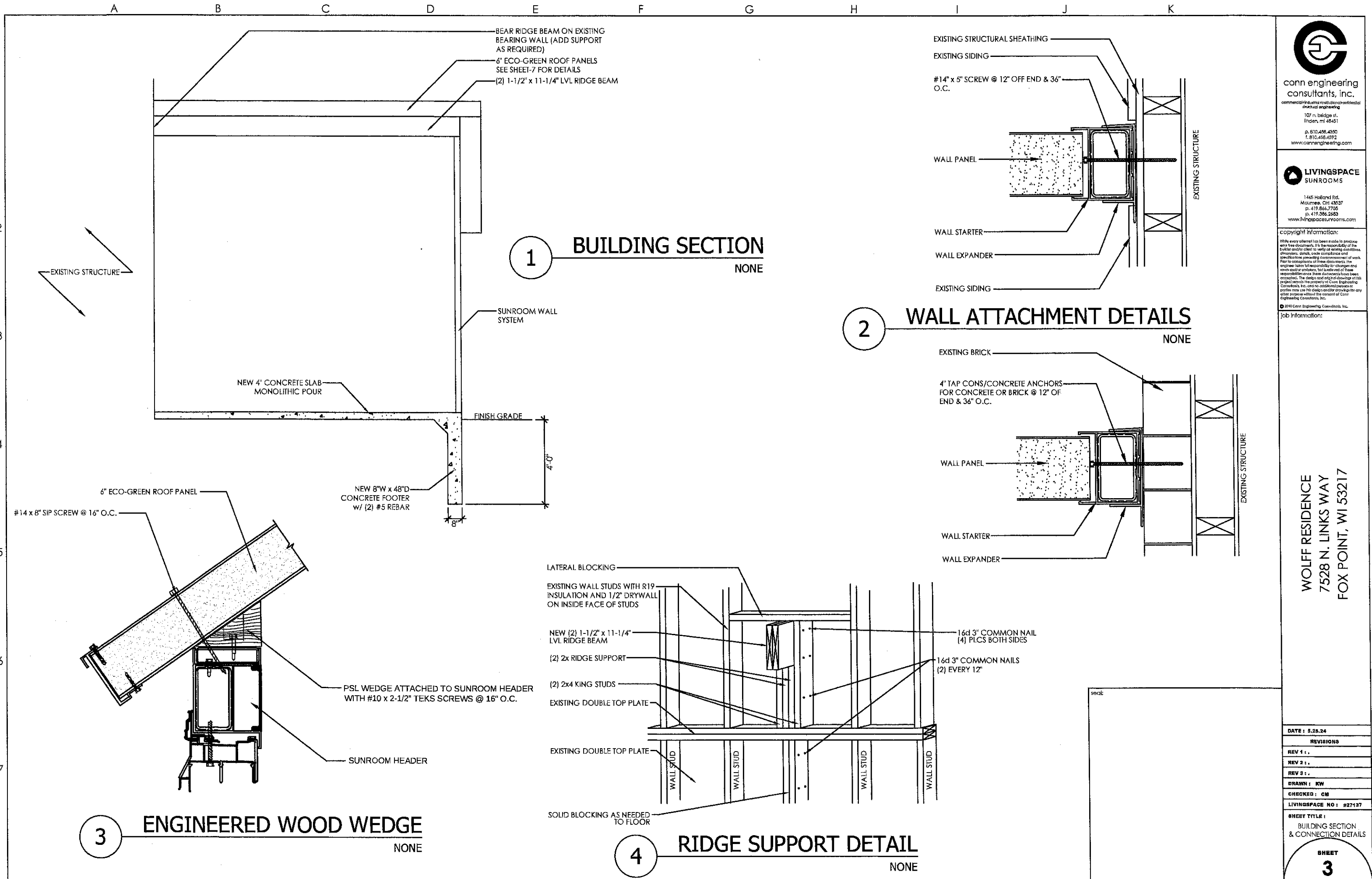
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2




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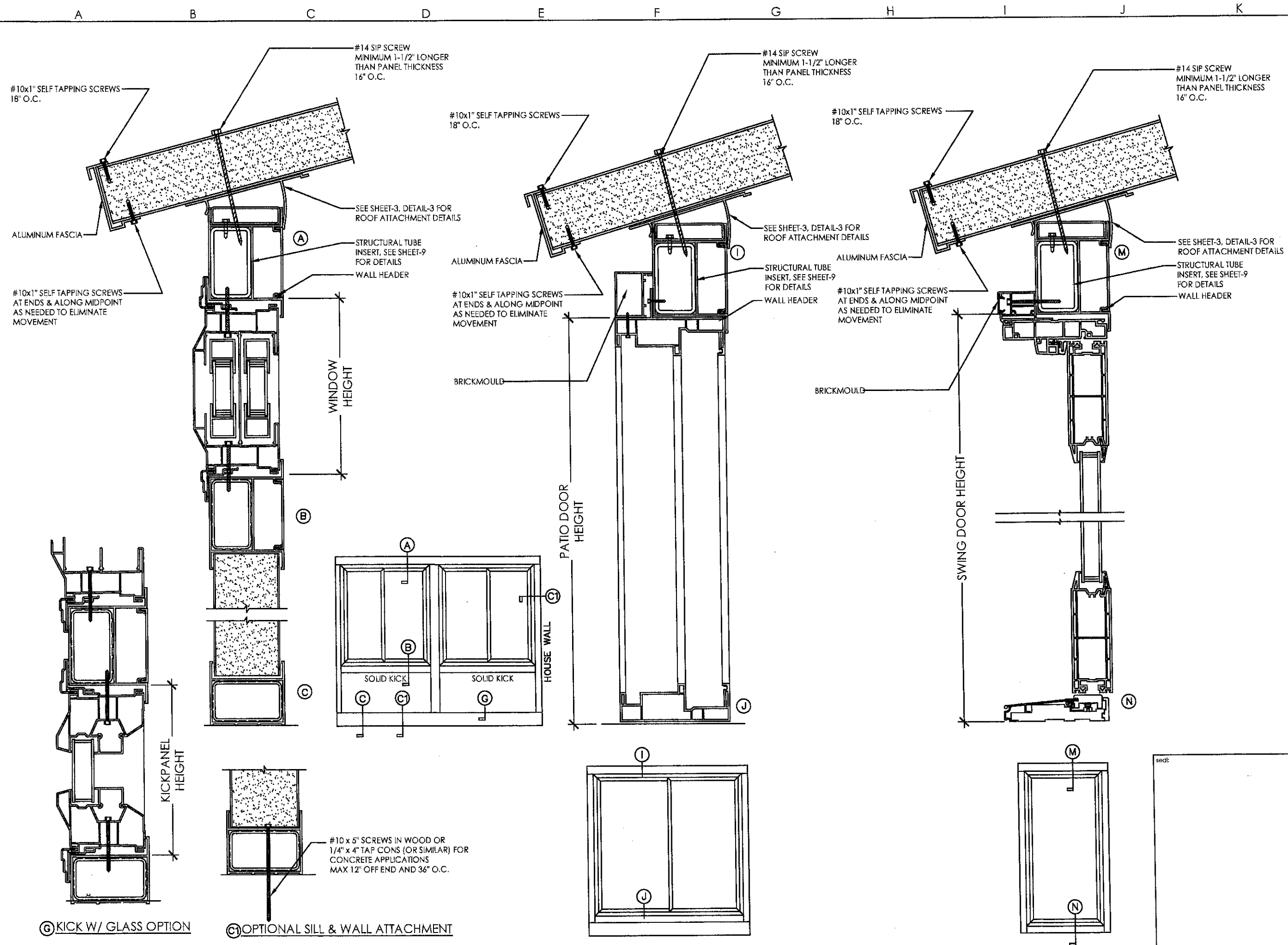
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SHEET 3



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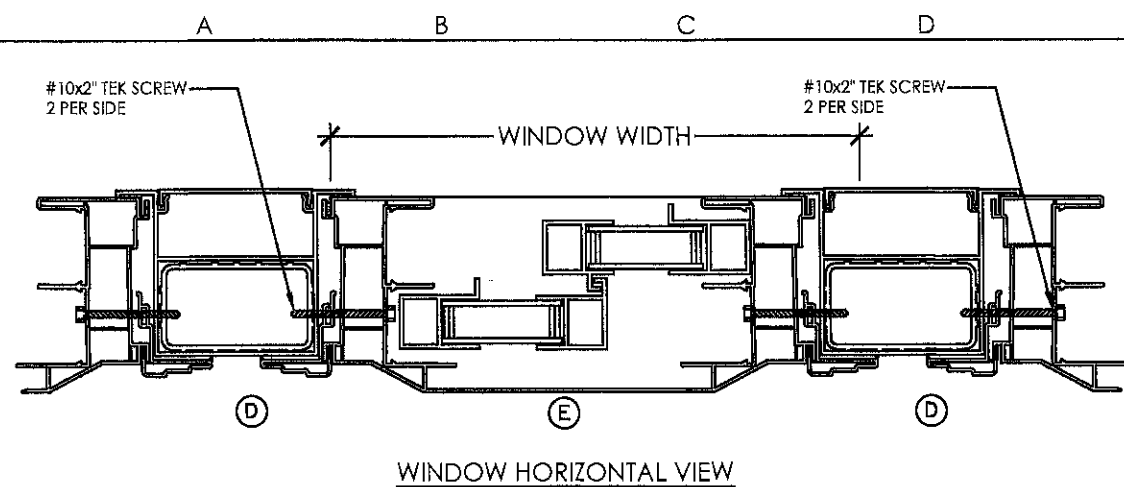
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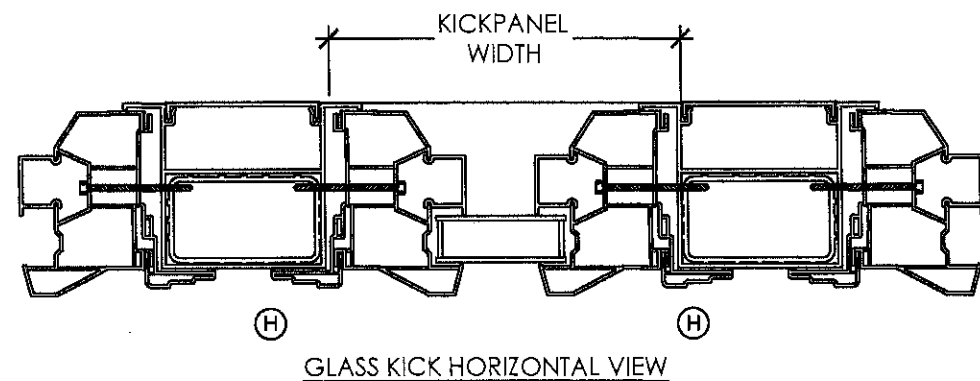
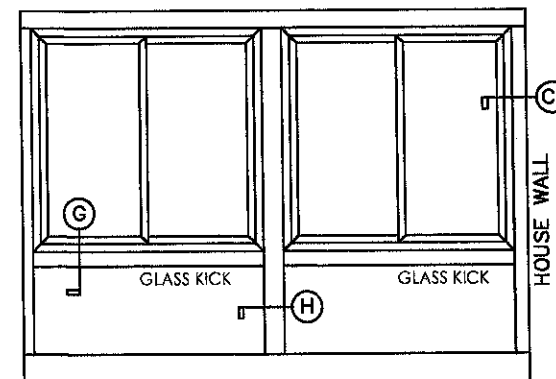
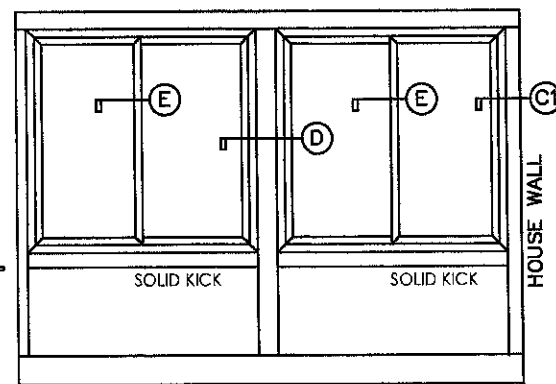
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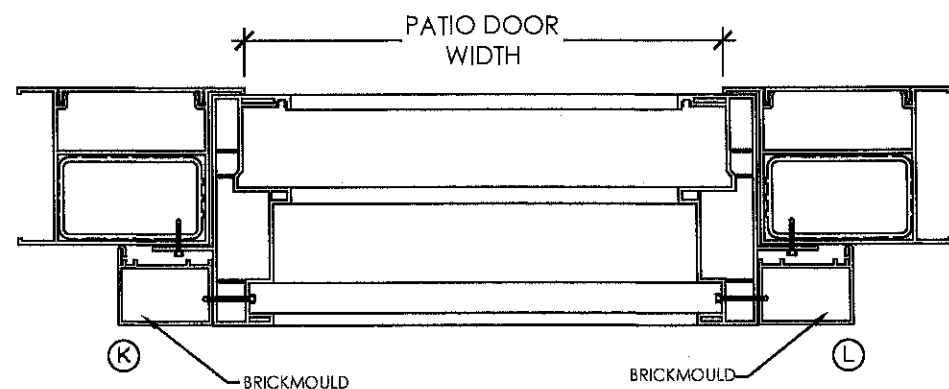
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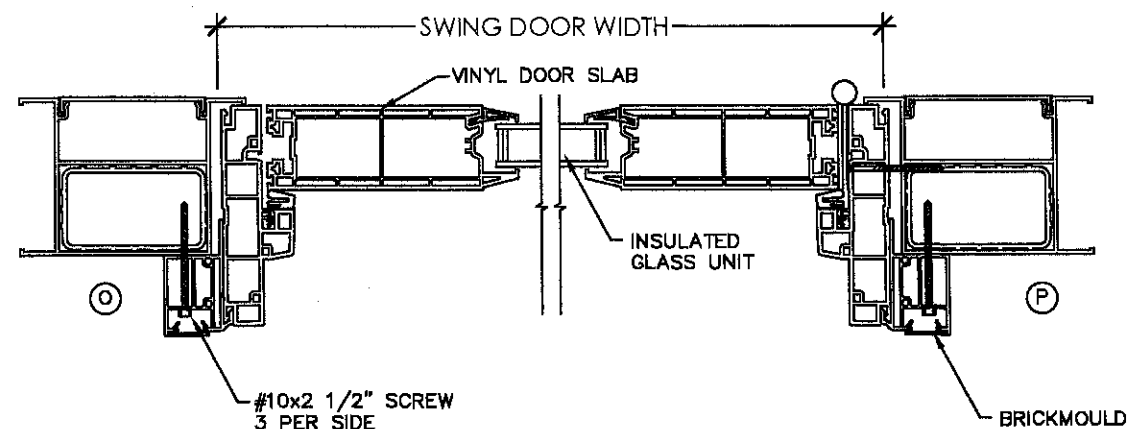
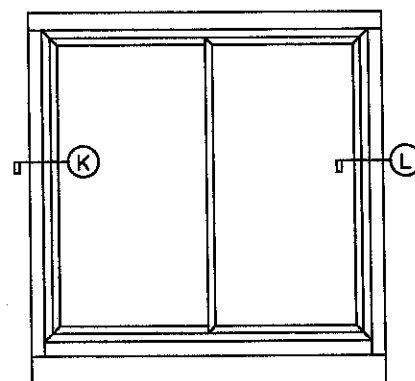
WINDOW HORIZONTAL VIEW



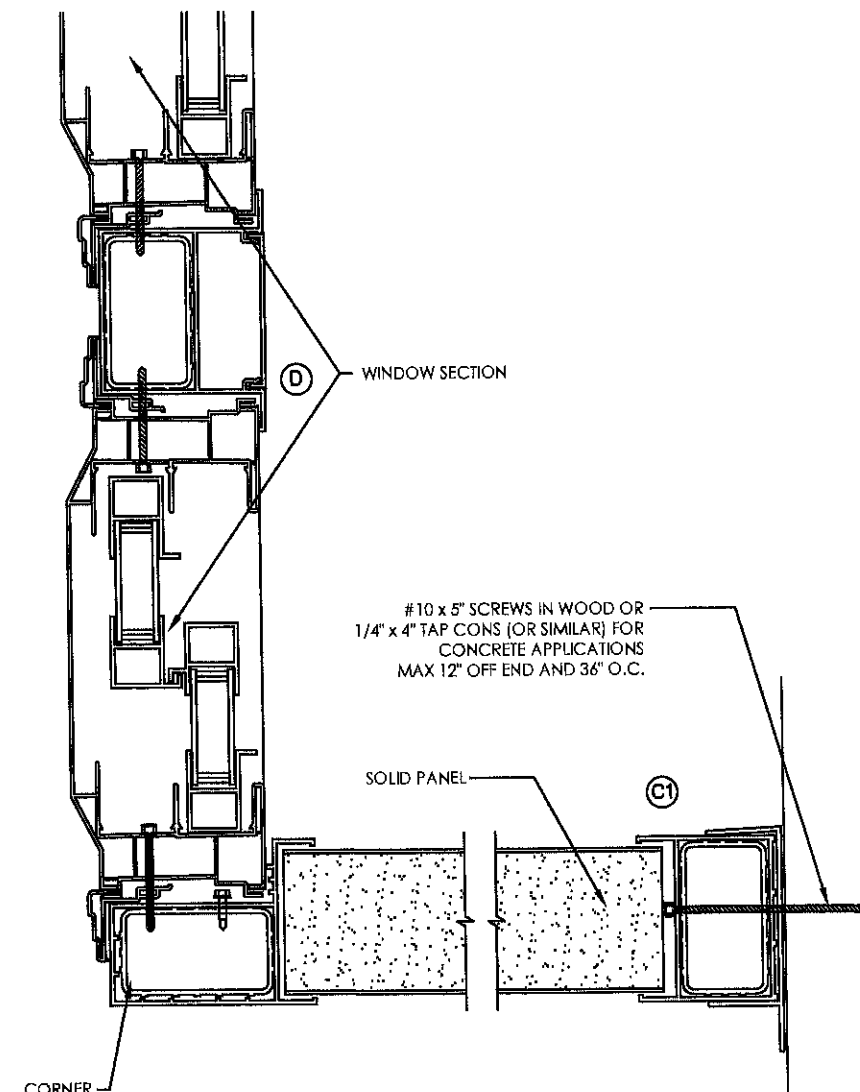
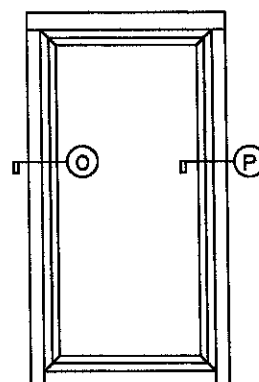
GLASS KICK HORIZONTAL VIEW



PATIO DOOR HORIZONTAL VIEW



SWING DOOR HORIZONTAL DETAIL



CONNECTIONS & ATTACHMENT PLAN VIEW



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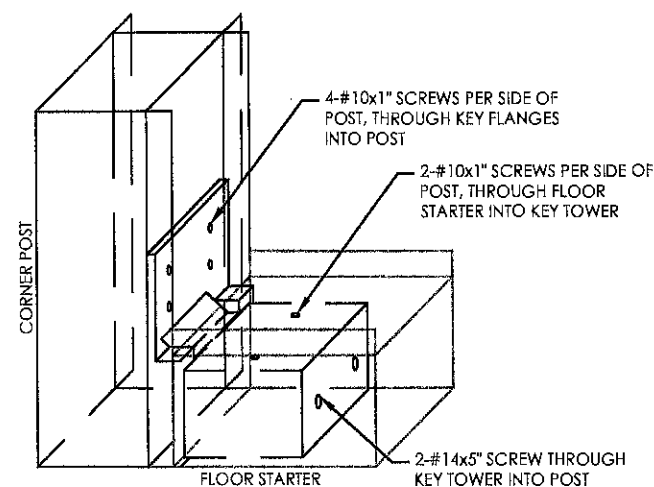
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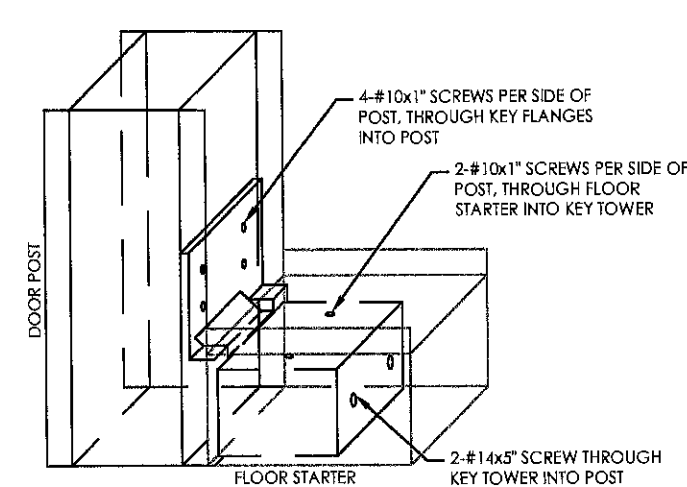
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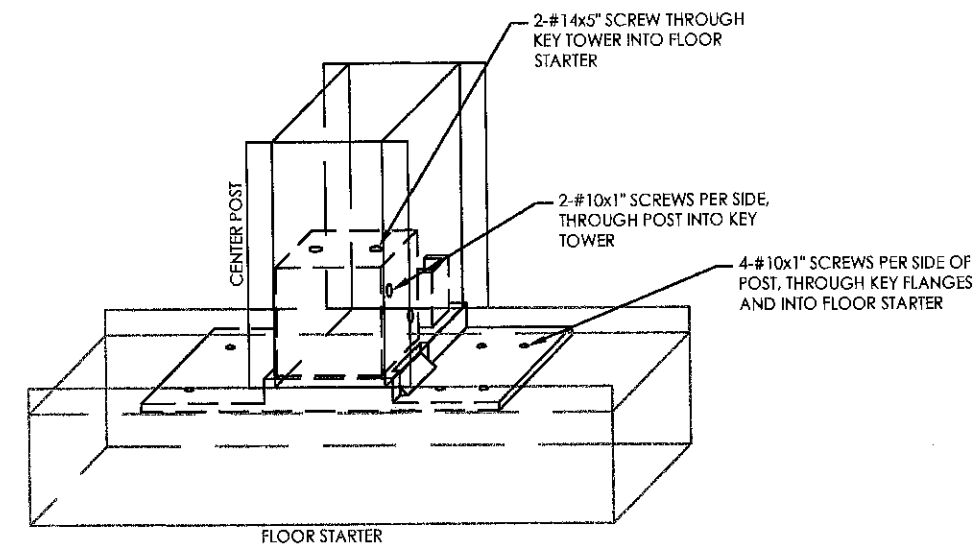
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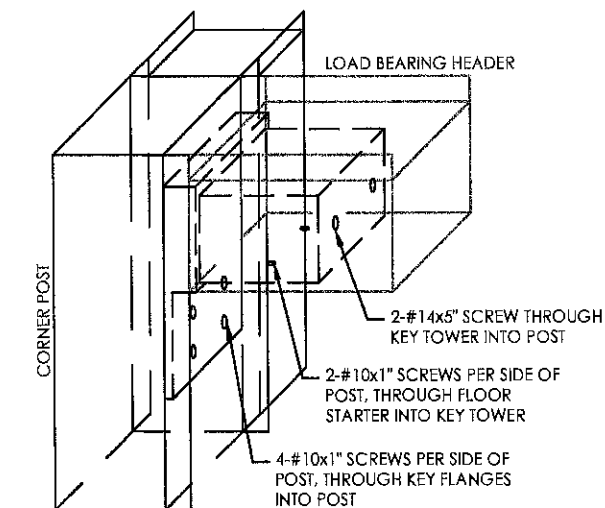
CORNER POST TO FLOOR CONNECTION



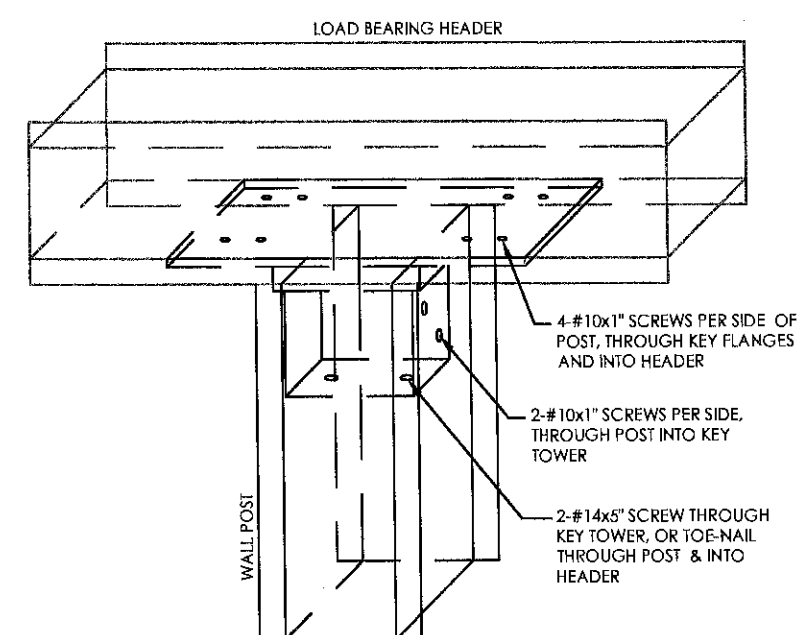
DOOR POST TO FLOOR CONNECTION



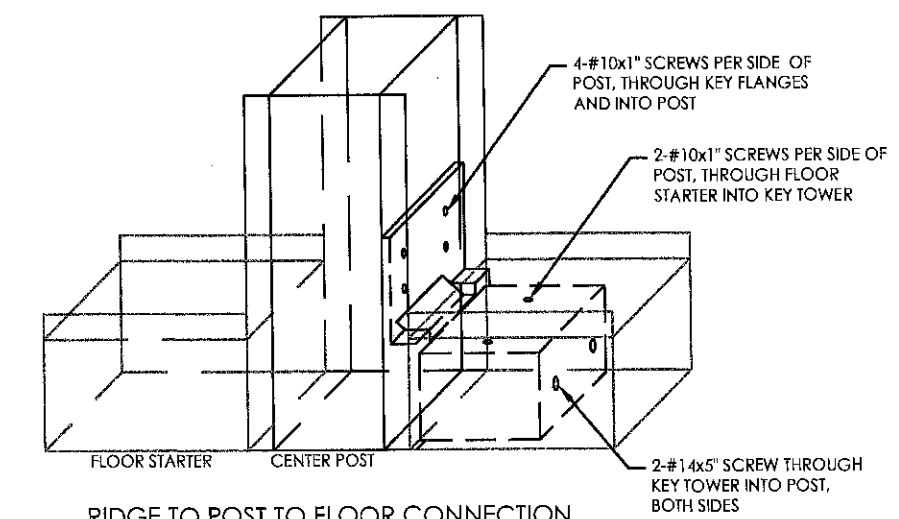
CENTER POST TO FLOOR CONNECTION



CORNER & HEADER CONNECTION



CENTER POST & HEADER CONNECTION



RIDGE TO POST TO FLOOR CONNECTION

SEE SHEET-9 FOR SUNROOM PROFILE DETAILS

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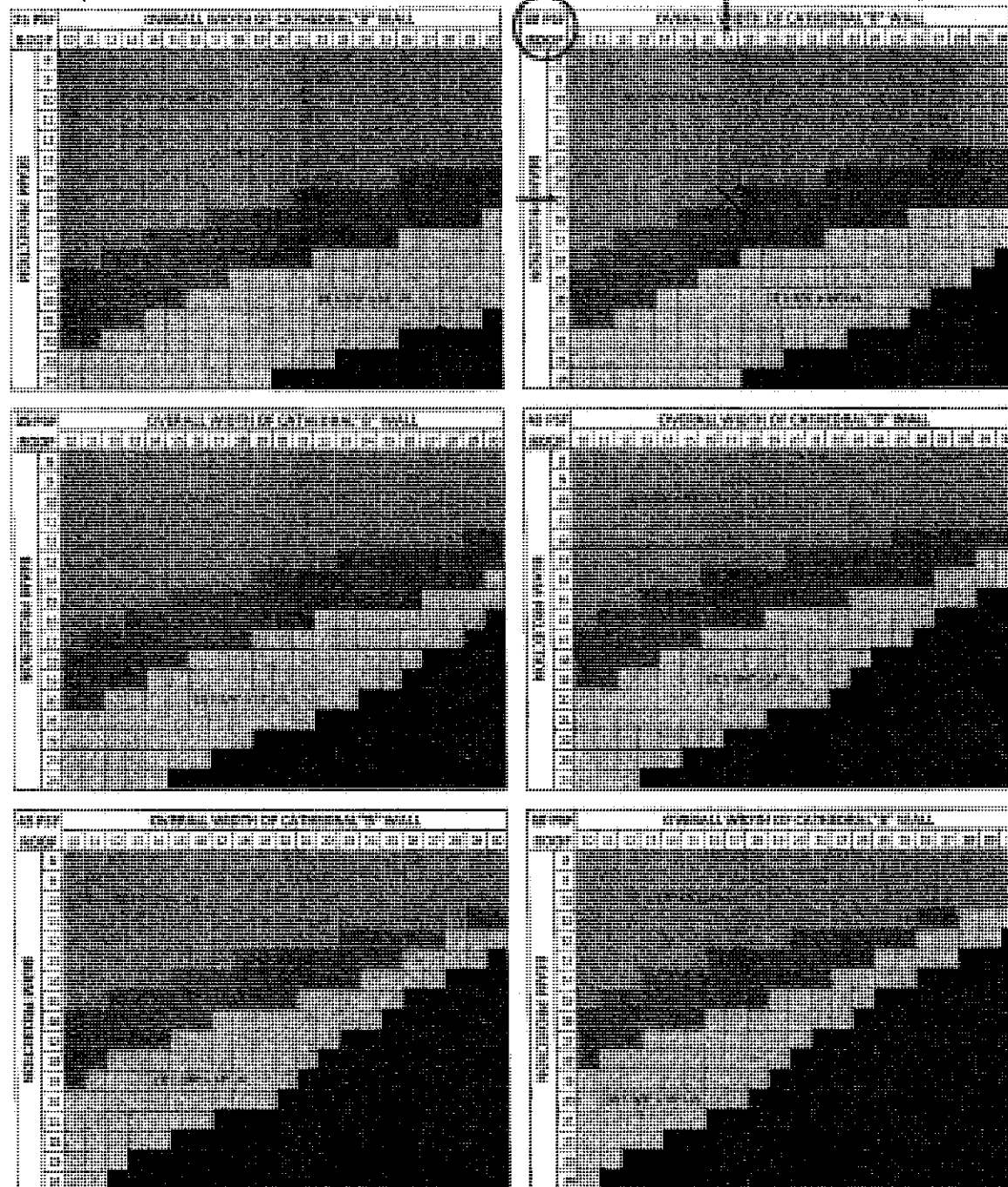
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(BASED ON ROOF SNOW LOAD AND BFSF ROOF DEAD LOAD)



* = EXCEEDS MAXIMUM STRUCTURAL LIMITS FOR SINGLE BEAM CONSTRUCTION

Beam Specs:

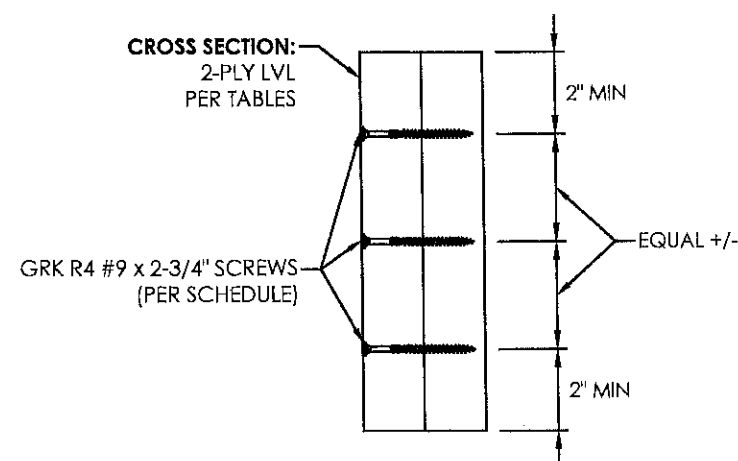
10" Beam = (2) 1-1/2" x 9-1/4" 2.0E DF LVL
12" Beam = (2) 1-3/4" x 11-1/4" 2.0E DF LVL
14" Beam = (2) 1-3/4" x 14" 2.0E DF LVL
Refer to ESR-1210 for additional details.

Fastening Schedule for 2 Ply LVL Ridge Beams:

For 10" & 12" beams, fasten plies together with 3 rows of GRK R4 #9 x 2-3/4" screws @ 12" O.C.

For 14" beams, fasten plies together with 4 rows of GRK R4 #9 x 2-3/4" screws @ 12" O.C.

Screws must be a minimum of 3" off end and 3" O.C.



UNIFORM TRANSVERSE LOADS (ROUNDED TO NEAREST WHOLE NUMBER)

PANEL LENGTH (ft)	6-1/2 Inch Thick SIP			8-1/4 Inch Thick SIP			10-1/4 Inch Thick SIP			12-1/4 Inch Thick SIP		
	Deflection Limit			Deflection Limit			Deflection Limit			Deflection Limit		
	L/180	L/240	L/360	L/180	L/240	L/360	L/180	L/240	L/360	L/180	L/240	L/360
8	68	68	53	75	75	73	79	79	79	83	83	83
9	60	60	43	67	67	60	71	71	71	74	74	74
10	54	52	35	60	60	50	63	63	63	67	67	67
11	46	43	29	55	55	42	58	58	58	61	61	61
12	39	36	24	50	50	36	53	53	51	56	56	56
13	N/A	N/A	N/A	44	44	30	49	49	44	51	51	51
14	N/A	N/A	N/A	38	38	26	43	43	38	46	46	46
15	N/A	N/A	N/A	33	33	22	37	37	33	43	43	43
16	N/A	N/A	N/A	29	29	19	33	33	29	37	37	37
17	N/A	N/A	N/A	26	25	17	29	29	26	33	33	33
18	N/A	N/A	N/A	23	22	15	26	26	23	30	30	30

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 psf = 47.9 Pa.

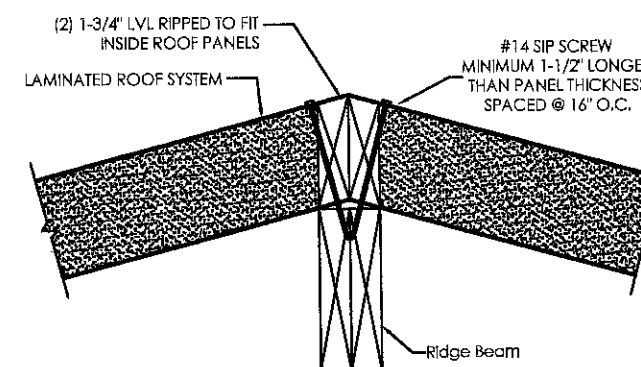
1 The tabulated values are for panels with single span simply supported conditions with the panels supported each end on minimum 1 1/2-inch wide continuous supports in contact with the face of the panels, such as roof and floor panels.

2 Tabulated values are applicable to panels installed with either block or OSB surface splines installed at the longitudinal panel joints.

3 Tabulated values are applicable to panels installed with the strong axis of the OSB panel facers parallel to the panel span.

3 Tabulated values are applicable to panels installed with the strong axis of the OSB panel facers parallel to the panel span.

4 Values printed in italics are based on panel strength rather than stiffness.



ROOF PANEL TO RIDGE BEAM DETAIL



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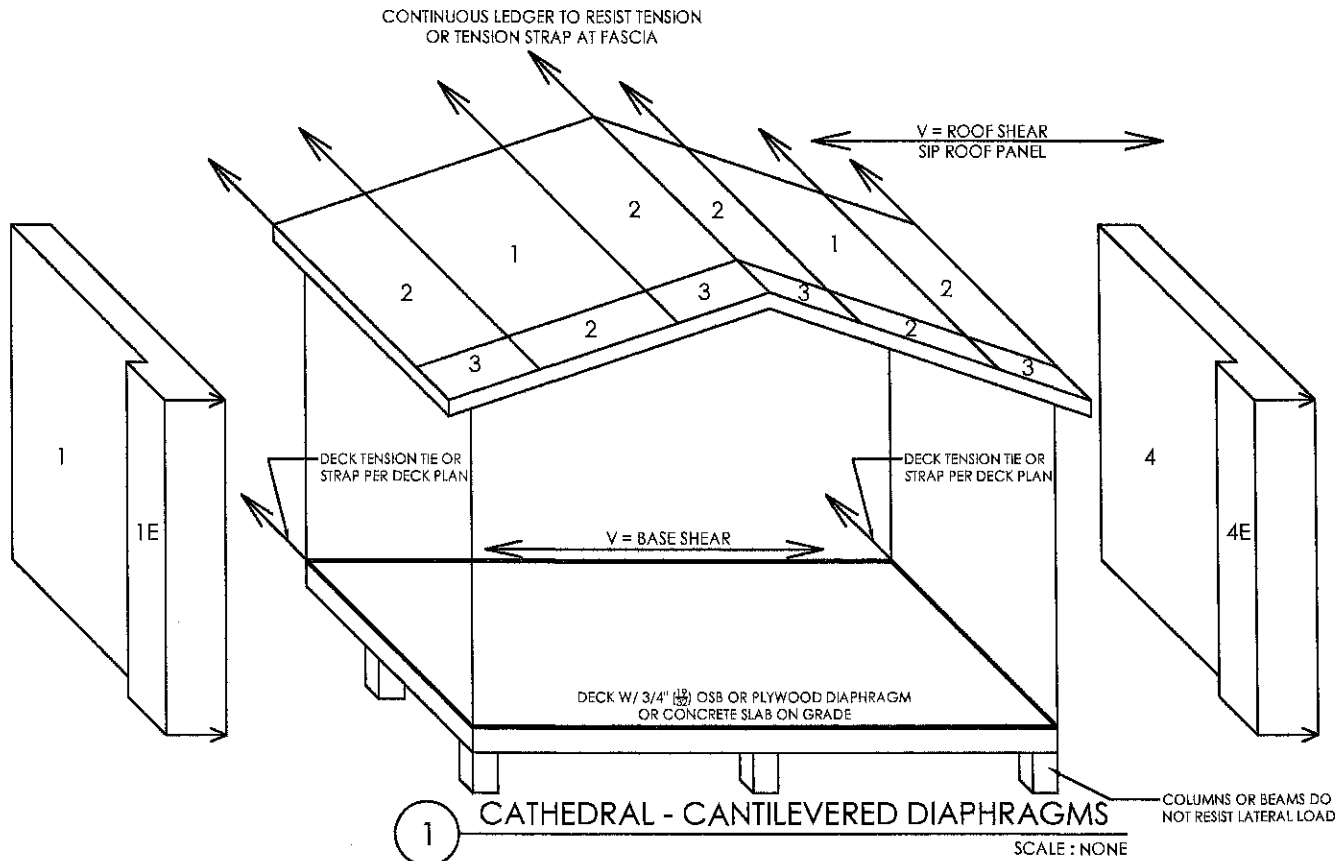


TABLE 2—ALLOWABLE IN-PLANE SHEAR STRENGTH (POUNDS PER FOOT)
FOR HORIZONTAL DIAPHRAGMS SUBJECTED TO WIND OR SEISMIC LOADING

MINIMUM NOMINAL SIP CORE THICKNESS (in.)	Minimum Connections			Shear Strength (plf)	Apparent Shear Stiffness, G _a (kips/in.)
	Surface Spline ¹ (Figure 1a)	Support Element (Figure 1b)	Boundary Spline ² (Figure 1c)		
7/8	0.131-in. x 2-1/2-in. nails, 6-in. O.C.	10-in. length, 0.190- in. shank diameter, 0.255-in. thread O.D., 2.750-in. thread length, 0.625-in. head diameter SIP screw, 6-in. O.C.	0.131-in. x 2-1/2-in. nails, 6-in. O.C.	265	13
	0.131-in. x 2-1/2-in. nails, 4-in. O.C.	10-in. length, 0.190- in. shank diameter, 0.255-in. thread O.D., 2.750-in. thread length, 0.625-in. head diameter SIP screw, 4-in. O.C.	0.131-in. x 2-1/2-in. nails, 4-in. O.C.	330	21
	0.131-in. x 2-1/2-in. nails, 2-in. O.C. staggered 3/8-in. (Figure 1c)	10-in. length, 0.190- in. shank diameter, 0.255-in. thread O.D., 2.750-in. thread length, 0.625-in. head diameter SIP screw, 3-in. O.C.	0.131-in. x 2-1/2-in. nails, 2-in. O.C. staggered 3/8-in. (Figure 1c)	575	34

For 8: 1 inch = 25.4 mm; 1 foot = 304.8 mm; 1 kip = 453.6 kg; 1 plf = 14.6 kN/m; 1 psf = 47.9 Pa;
¹Surface or block spline only at interior panel-to-panel joints. Specified fasteners are required on both sides of panel joint through the top surface only, as shown in Figure 1a.
²Boundary spline shall be solid sawn lumber 1-1/2-in. wide minimum and have a specific gravity of 0.42 or greater. Specified fasteners are required through both facings as shown in Figures 1b and 1c.

THE DEPTH OF THE EPS FOAM CORE DOES NOT AFFECT THE CAPACITY OF THE
HORIZONTAL DIAPHRAGM. THE DIAPHRAGM SHEAR IS BASED ON THE CAPACITY OF THE
OUT LAYER OF OSB THAT IS CONSISTENT WITH ALL EPS FOAM CORE DEPTHS.

FLOOR DIAPHRAGM:
Table 4.2C Nominal Unit Shear Capacities for Wood-Frame Diaphragms

Unblocked Wood Structural Panel Diaphragms ^{1,2,3,4,5}					A SEISMIC				B WIND	
Sheathing Grade	Common Nail Size	Minimum Fastener Penetration in Framing (in.)	Minimum Nominal Panel Thickness (in.)	Minimum Nominal Width of Nailed Face at Supported Edges and Boundaries (in.)	6 in. Nail Spacing at diaphragm boundaries and supported panel edges				6 in. Nail Spacing at diaphragm boundaries and supported panel edges	
					Case 1		Case 2,3,4,5,6		V _w (plf)	V _w (plf)
					V _e (plf)	G _a (kips/in.)	V _e (plf)	G _a (kips/in.)		
Structural I	6d	1-1/4	5/16	2	330	9.0	250	6.0	460	350
	8d	1-3/8	3/8	2	370	7.0	280	4.5	520	390
	10d	1-1/2	15/32	2	480	8.5	360	6.0	670	505
	10d	1-1/2	15/32	3	530	7.5	400	5.0	740	560
Sheathing and Single-Roof	6d	1-1/4	5/16	2	570	14	430	9.5	800	600
	8d	1-3/8	3/8	2	640	12	480	8.0	895	670
	10d	1-1/2	15/32	2	800	9.0	570	6.5	1095	810
	10d	1-1/2	15/32	3	840	7.0	620	5.0	1155	860
	6d	1-1/4	5/16	2	330	7.5	250	5.0	460	350
	8d	1-3/8	3/8	2	370	6.0	280	4.0	520	390
	10d	1-1/2	15/32	2	480	9.0	360	6.0	670	505
	10d	1-1/2	15/32	3	530	7.5	400	5.0	740	560
	6d	1-1/4	5/16	2	430	7.5	320	6.0	600	450
	8d	1-3/8	3/8	2	480	7.5	360	5.0	670	505
	10d	1-1/2	15/32	2	570	8.5	430	7.5	800	600
	10d	1-1/2	15/32	3	640	7.5	480	6.0	895	670

THE MAIN WIND FORCE RESISTING SYSTEM OF THE
SUNROOM IS COMPOSED OF A CANTILEVERED ROOF
DIAPHRAGM AND FLOOR DIAPHRAGM. THESE ELEMENTS
HAVE BEEN DESIGNED TO TRANSFER LOAD INTO THE MAIN
WIND FORCE RESISTING SYSTEM OF THE EXISTING HOUSE. THE
EXISTING SHEAR WALLS OF THE HOME ARE TO CONSIST OF
15/32" OSB STRUCTURAL SHEATHED WOOD WALLS. BASED
ON OUR ANALYSIS, THE 15/32" OSB SHEAR WALLS ARE
CAPABLE OF SUPPORTING THE APPLIED LOADS EXERTED BY
THE NEW SUNROOM ADDITION.

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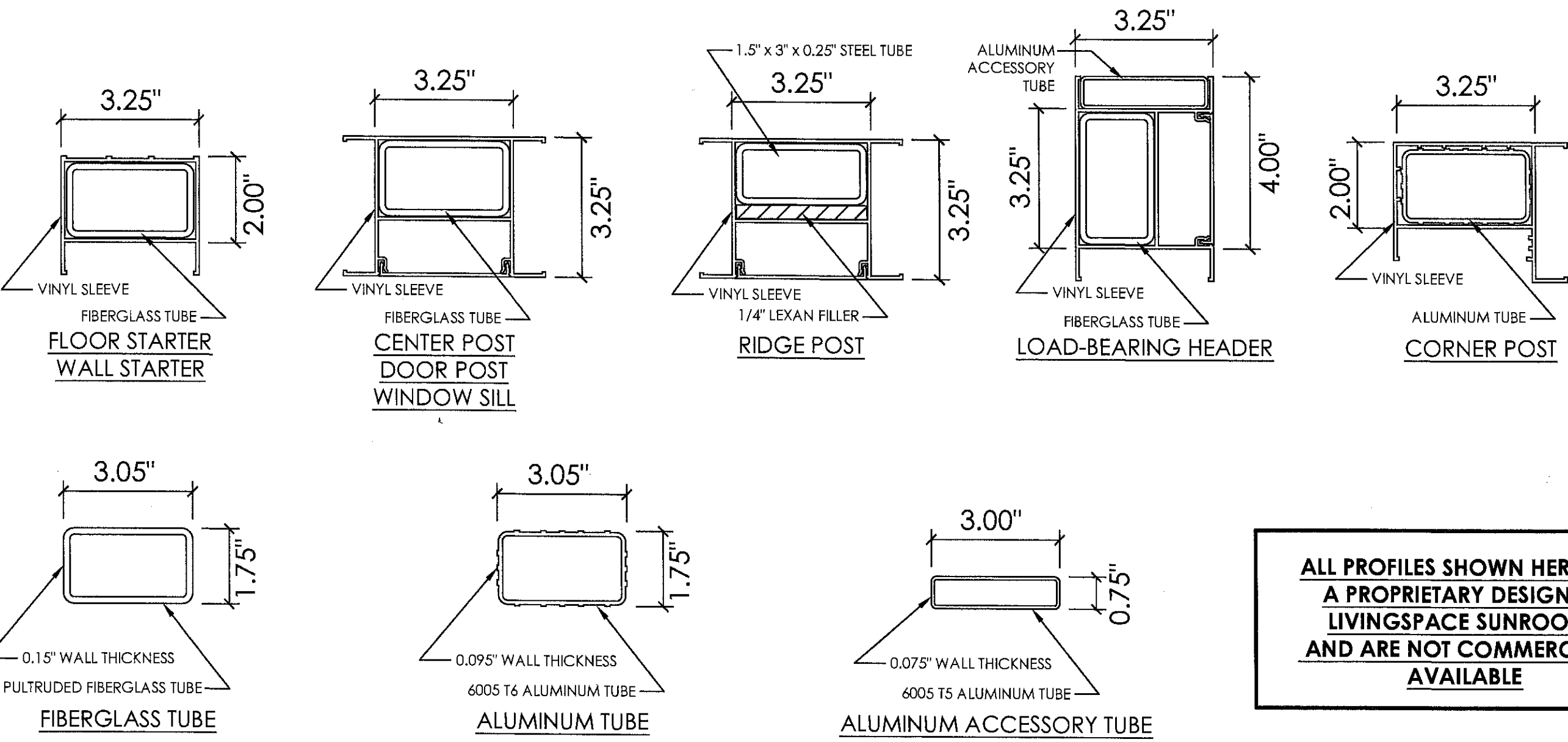
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DATE: 5.28.24
REVISIONS
REV 1: .
REV 2: .
REV 3: .
DRAWN: KW
CHECKED: CM
LIVINGSPACE NO: #27137
SHEET TITLE: CANTILEVERED
DIAPHRAGMS

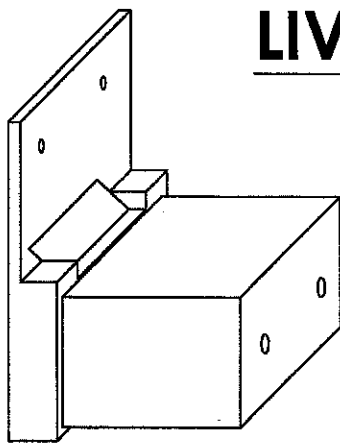
SHEET
8

LIVINGSPLACE SUNROOMS WALL SYSTEM LINEAL DETAIL



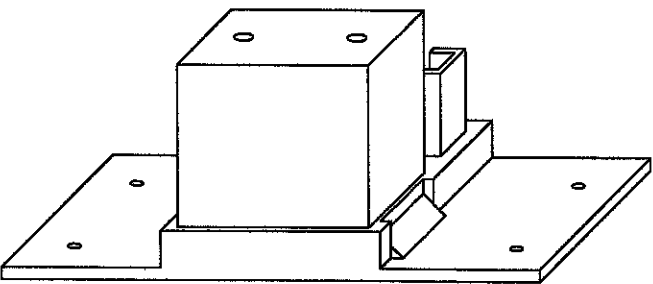
ALL PROFILES SHOWN HERE ARE
A PROPRIETARY DESIGN OF
LIVINGSPLACE SUNROOMS
AND ARE NOT COMMERCIALY
AVAILABLE

LIVINGSPLACE SUNROOMS WALL SYSTEM HARDWARE



END KEY

CONNECTION KEYS
ARE MOLDED FROM
DURETHAN GLASS
FILLED NYLON



MAIN KEY



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North ↑

15x17' sunroom addition

