

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

NOTE: THIS MEETING WILL BE HELD
VIRTUALLY ONLY VIA WEBINAR.
NO IN-PERSON ATTENDANCE HELD

Wednesday
April 9, 2025
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/83877661472>

Meeting ID: 838 7766 1472

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the March 12, 2025 Building Board meeting.
3. Carol Eling, 7405 N Seneca Rd, proposed resubmittal of breezeway renovation.
4. Susan LaBudde, 7439 N Fairchild Rd, proposed accessory structure.
5. Taylor Buckley, 8125 N Links Way, proposed sunroom.
6. Chris Spies, 6831 N Lake Dr, proposed house remodel.
7. Adjourn.

Posted and Published: April 1, 2025

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, March 12, 2025, at 5:00 pm. Those present included:

Justin Racinowski-Absent
William Feldman
Sharon Celek
Lucille Sells
Brian Tobiczuk
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by Brian Tobiczuk to approve the minutes of February 12, 2025. Motion was seconded by William Feldman. Motion Caried.

AGENDA

1. **Carol Eling, 7405 N Seneca Rd, proposed resubmittal of breezeway renovation.** It was the consensus of the Building Board to Table subject to resubmit plans and elevations that show door placement. Also show possible door and window alignment with skylight.
2. **Bernie Klamecki, 7821 N Santa Monica Blvd, proposed window.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by Sharon Celek. Motion seconded by Lucille Sells. Motion Caried. Building Board adjourned at 5:52 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- 15667

OFFICE USE ONLY	
Issued Date	2-13-25
Zoning	

BUILDING PERMIT

Job Address 7405 N Seneca RD	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work	
<small>patio doors, reframing 2 walls over to 2x6 walls. Adding a new patio door on back side, front side will receive a 30" entry door and a 3' x3' window. Vinyl siding in exposed areas to match siding on second floor, first floor is brick. Laundry plumbing will be added along with a sink for future use, electrical</small>	
<i>Rehabbing existing breezeway, Removing patio doors. building new 2x6 walls. Adding a window and 30" door to front. New patio door to rear. Adding utility sink.</i>	
Estimated Cost of Project \$ 10,500	

Owner/Occupant	
Business Name Monarch Remodeling LLC	Contact Name Carol King
Address 7405 N Seneca RD.	City/State/Zip Fox Point, WI 53217.
Phone 1-715-579-8203	Email

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Monarch Remodeling LLC	Contact Name Greg Lehfeldt
Address W277 N8967 Monarch Dr	City/State/Zip 53029
Phone 262-506-8194	Email monarchremodelingwi@gmail.com
Dwelling Contractor # 1154271	Dwelling Contractor Qualifier # 1154272

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	105.00
Building Board	\$75.00	75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld	\$95.00 minimum plus	\$0.13/sqft
Moving buildings	\$250.00 plus	\$0.13/sqft
Fuel tanks - Per 1,000 gallons		\$25.00
Re-inspection		\$100.00
Work started without permit		Double
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$

Applicant Signature *Greg Zelt*
 Rev 01/22

Date 1/05/2025

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

Receipt No: 22.000063 Jan 14, 2025

7405 N SENECA RD

Previous Balance: .00
LICENSES & PERMITS
BUILDING PERMIT 105.00

Total: 105.00

LICENSES & PERMITS
BUILDING PLANS - FILING 75.00
FEE

Total: 75.00

ONLINE - CREDIT CARD 180.00

Payor:
MONARCH REMODELING
Total Applied: 180.00

Change Tendered: .00

01/14/2025 12:53 PM

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217 414-351-8900

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, March 12, 2025, at 5:00 pm. Those present included:

Justin Racinowski-Absent
William Feldman
Sharon Celek
Lucille Sells
Brian Tobiczuk
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by Brian Tobiczuk to approve the minutes of February 12, 2025. Motion was seconded by William Feldman. Motion Caried.

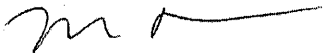
AGENDA

1. **Carol Eling, 7405 N Seneca Rd, proposed resubmittal of breezeway renovation.** It was the consensus of the Building Board to Table subject to resubmit plans and elevations that show door placement. Also show possible door and window alignment with skylight.
2. **Bernie Klamecki, 7821 N Santa Monica Blvd, proposed window.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by Sharon Celek. Motion seconded by Lucille Sells. Motion Caried. Building Board adjourned at 5:52 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, February 12, 2025, at 5:00 pm. Those present included:

Justin Racinowski
William Feldman
Sharon Celek
Lucille Sells
Brian Tobiczky
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by William Feldman to approve the minutes of December 11, 2024. Motion was seconded by Lucille Sells. Motion Carried.

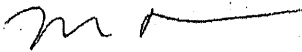
AGENDA

1. **Carol Eling, 7405 N Seneca Rd, proposed breezeway renovation.** It was the consensus of the Building Board to approve subject to additional window to the right side in order to make symmetrical, keep half light door, paint black or dark, storm door full light in white.
2. **Chris Vanderlinden, 390 E Macarther, proposed roof mounted solar.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by William Feldman. Motion seconded by Lucille Sells. Motion Carried. Building Board adjourned at 5:46 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point

To the Fox Point Village Board:

We would like to update our breezeway to be a functional and updated exterior look with all of the following considerations:

1. Energy Efficiency
 - a. Less glass
 - b. Added insulation
 - c. ½ glass door Therma-Tru (decrease energy loss)
 - d. Screen door with ½ glass to match ½ glass main door

2. Functional use of space
 - a. Increase use to all year around
 - b. Increasing front wall space by only 1 window. East side
 - c. Balance East side breezeway entrance with house
 - i. One window and one door. Same style of Therma-Tru door
 - d. Art studio space
 - e. Mudroom space
 - f. Sewing studio space
 - g. Sink and cabinets for garden harvest and for art use.
 - h. Potential laundry area

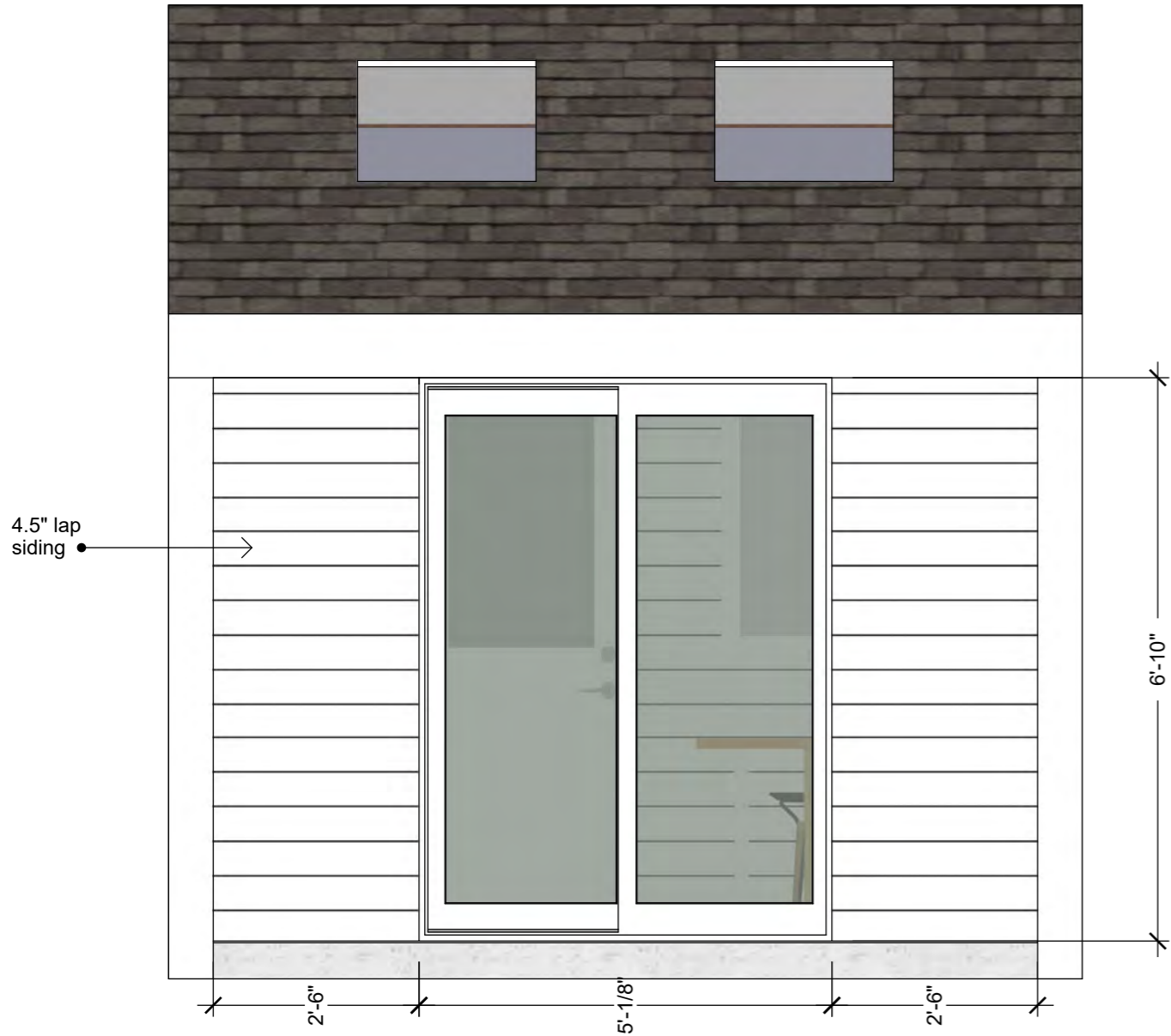
3. Easy Outdoor Maintenance
 - a. White door from Therma true company. No painting upkeep
 - b. Outside matching siding of house.
 - c. Windows with vinyl white trim

4. Increase Privacy
 - a. Less glass
 - b. ½ glass door, more privacy

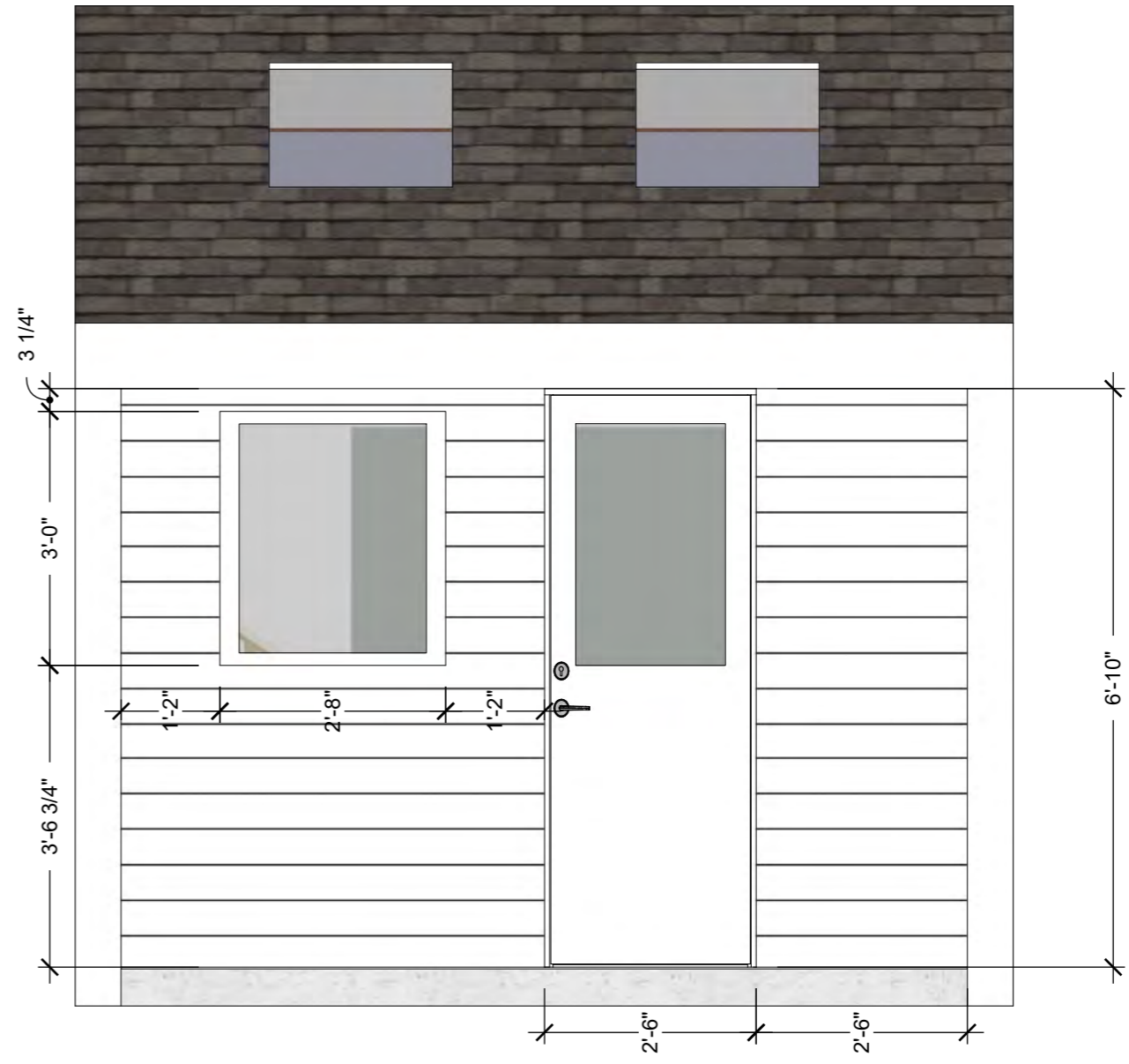
5. Increase security
 - a. East side: A Therma Tru ½ glass security door with screen door.

The outside entrance will have a bench with flower display.

There will be an outside light by East side door. West side already has an outdoor light.



A2 :: West Exterior Elevation
001 scale: 1/2" = 1'-0"



A2 :: East Exterior Elevation
002 scale: 1/2" = 1'-0"

























VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- _____

OFFICE USE ONLY	
Issued Date	
Zoning	C, 60' F.A.R., 45'

BUILDING PERMIT

Job Address	7439 North Fairchild Road	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work		
New construction of an accessory use art studio and single car garage		
Estimated Cost of Project \$ 150,000		

Owner/Occupant	
Business Name	Contact Name Susan LaBudde
Address 7439 North Fairchild Road	City/State/Zip Fox Point, WI 53217
Phone 414.554.8985	Email lovemydawns@icloud.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Wendorf, LLC	Contact Name Matt Wendorf
Address 8333 North Regent Road	City/State/Zip Fox Point, WI 53217
Phone 414.690.5997	Email matt@wendorfbuilds.com
Dwelling Contractor # DC-022000131	Dwelling Contractor Qualifier # DCQ-071700065

Square Footage Under Construction					
1 st Floor	520sf	2 nd Floor	N/A	Garage	320sf
		Basement	N/A	Addition	N/A

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	
Building Board	\$75.00	\$75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ 75.00

Applicant Signature _____
 Rev 01/22

Date 03.21.2025

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061240

Mar 24, 2025

7439 N FAIRCHILD RD

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING BOARD - FEE	

Total:	75.00
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CHECK	Check No: 101	75.00
	Payor: BORELLI WENDORF LLC	

Total Applied:	75.00
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Change Tendered:	.00
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03/24/2025 11:44 AM

LaBUDD E STUDIO

FOX POINT, WISCONSIN

BORELLI | WENDORF

8333 North Regent Road
Fox Point, Wisconsin 53217
www.borelliwendorf.com



SHEET INDEX

- T1.00 TITLE SHEET
- AS.00 PRINCIPAL BUILDING
- AS.01 SITE PLANS
- A1.00 FLOOR & ROOF PLAN
- A2.00 EXTERIOR ELEVATIONS
- A2.01 3D BUILDING VIEWS
- A3.00 BUILDING SECTIONS
- S1.00 FOUNDATION PLAN
- S1.01 FRAMING PLAN

PROJECT DATA

PID: 0970221000
LOT SIZE: 19,652 Square feet
ZONED: C Residence District
BUILDING CODE: Wisconsin UDC
BUILDING AREA:

Building Gross: 920 square feet
Accessory Use: 520 square feet
Garage: 320 square feet

SCOPE:

The project will add an accessory unit and garage to the property.

DESIGN REVIEW SET
NOT FOR CONSTRUCTION

OWNER

SUSAN LaBUDD E
7439 North Fairchild Road
Fox Point, Wisconsin 53217
lovemydawgs@icloud.com
414.554.8985

ARCHITECT

BORELLI | WENDORF
8333 North Regent Road
Fox Point, Wisconsin 53217
matt@borelliwendorf.com
414.690.5997

STRUCTURAL ENGINEER

CORE 4 ENGINEERING, INC
N70W5185 Columbia Road
Cedarburg, Wisconsin 53012
mchristianson@core4engineering.com
262.307.9988

CONTRACTOR

WENDORF, LLC
8333 North Regent Road
Fox Point, Wisconsin 53217
matt@wendorfbuilds.com
414.690.5997

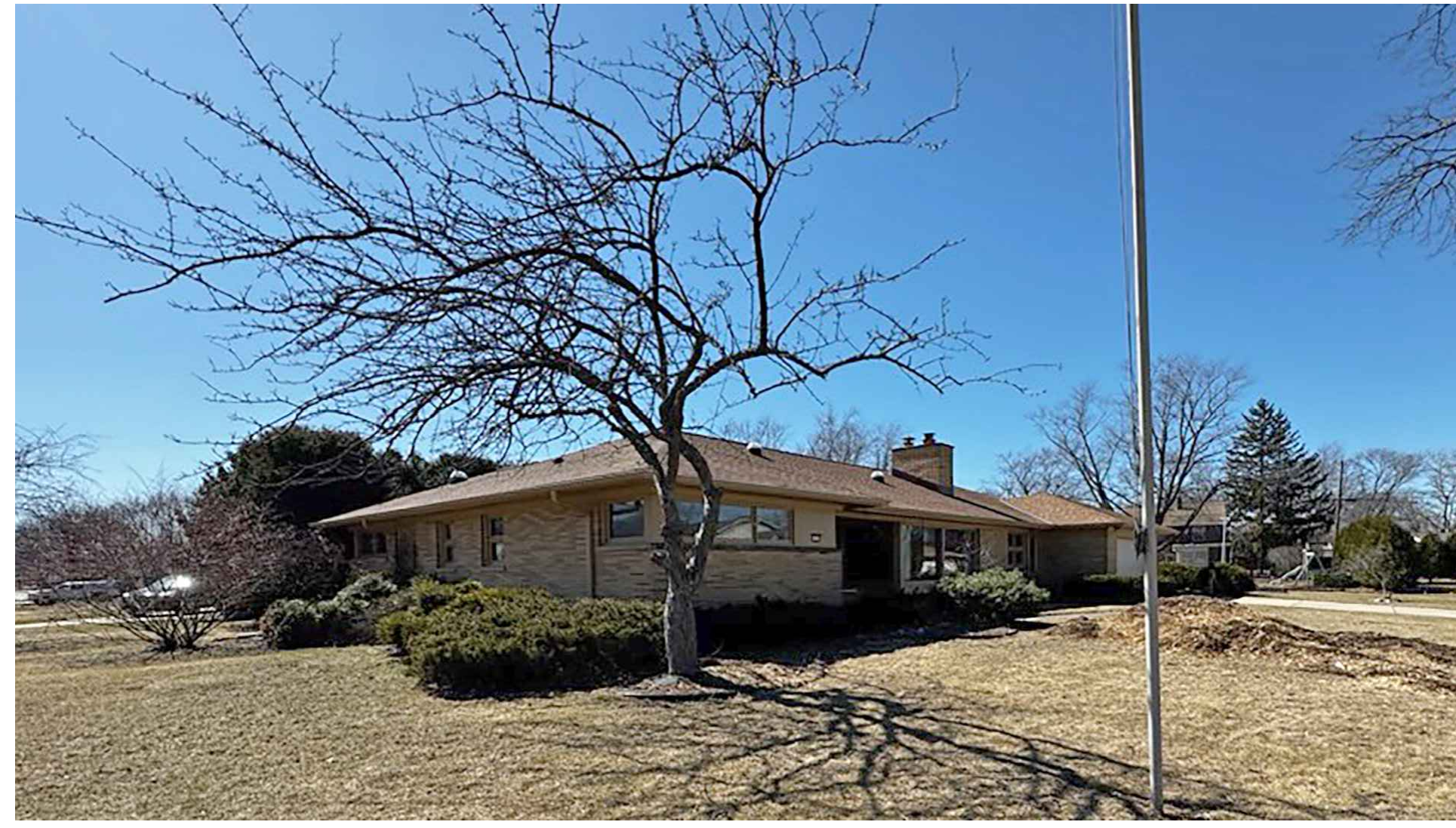
LaBUDD E STUDIO

7439 North Fairchild Road
Fox Point, Wisconsin 53217

DATE: 3.21.2025

TITLE SHEET

T1.00



06 - NORTHEAST VIEW



03 - SOUTHWEST VIEW



05 - EAST VIEW



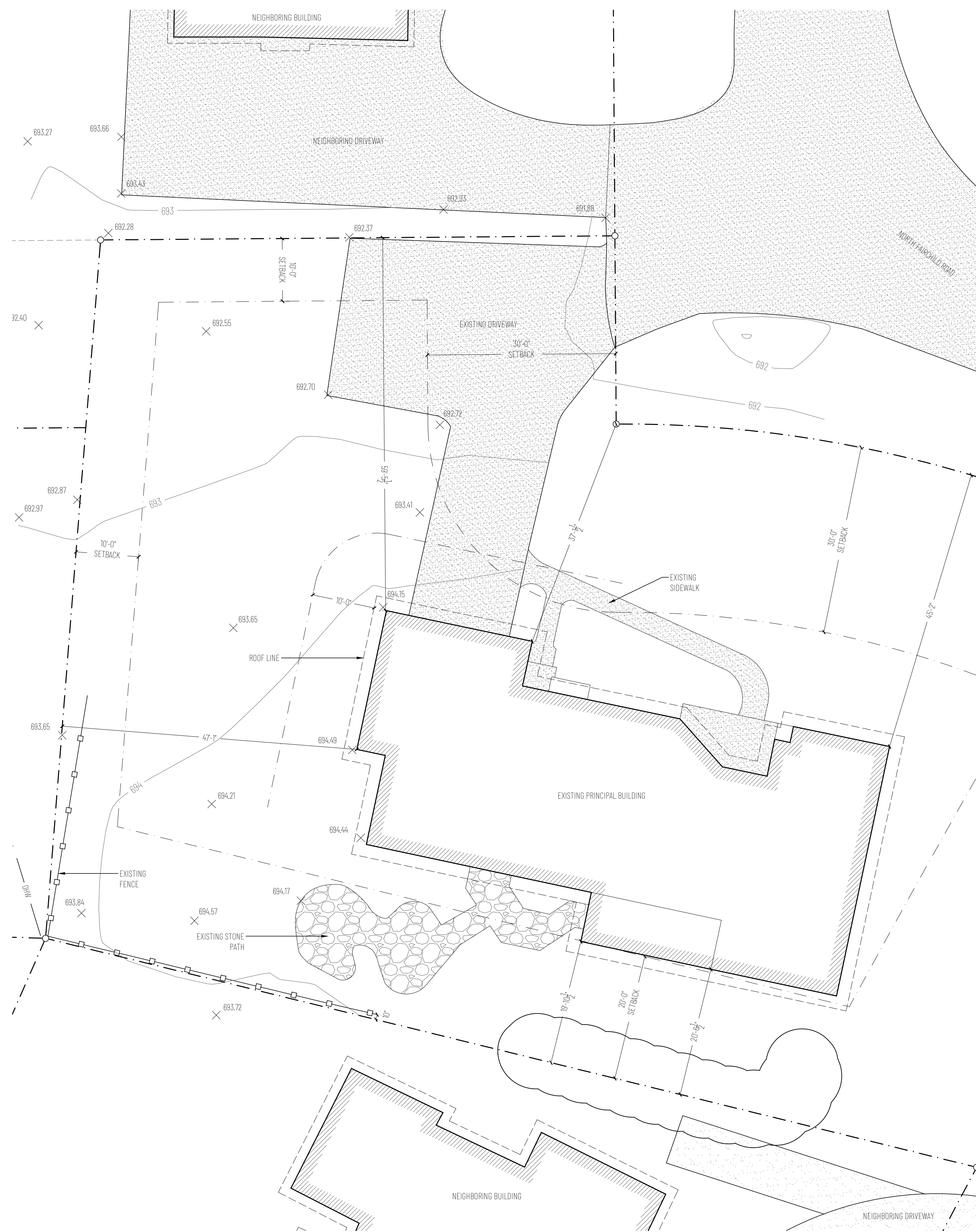
02 - NORTHWEST VIEW



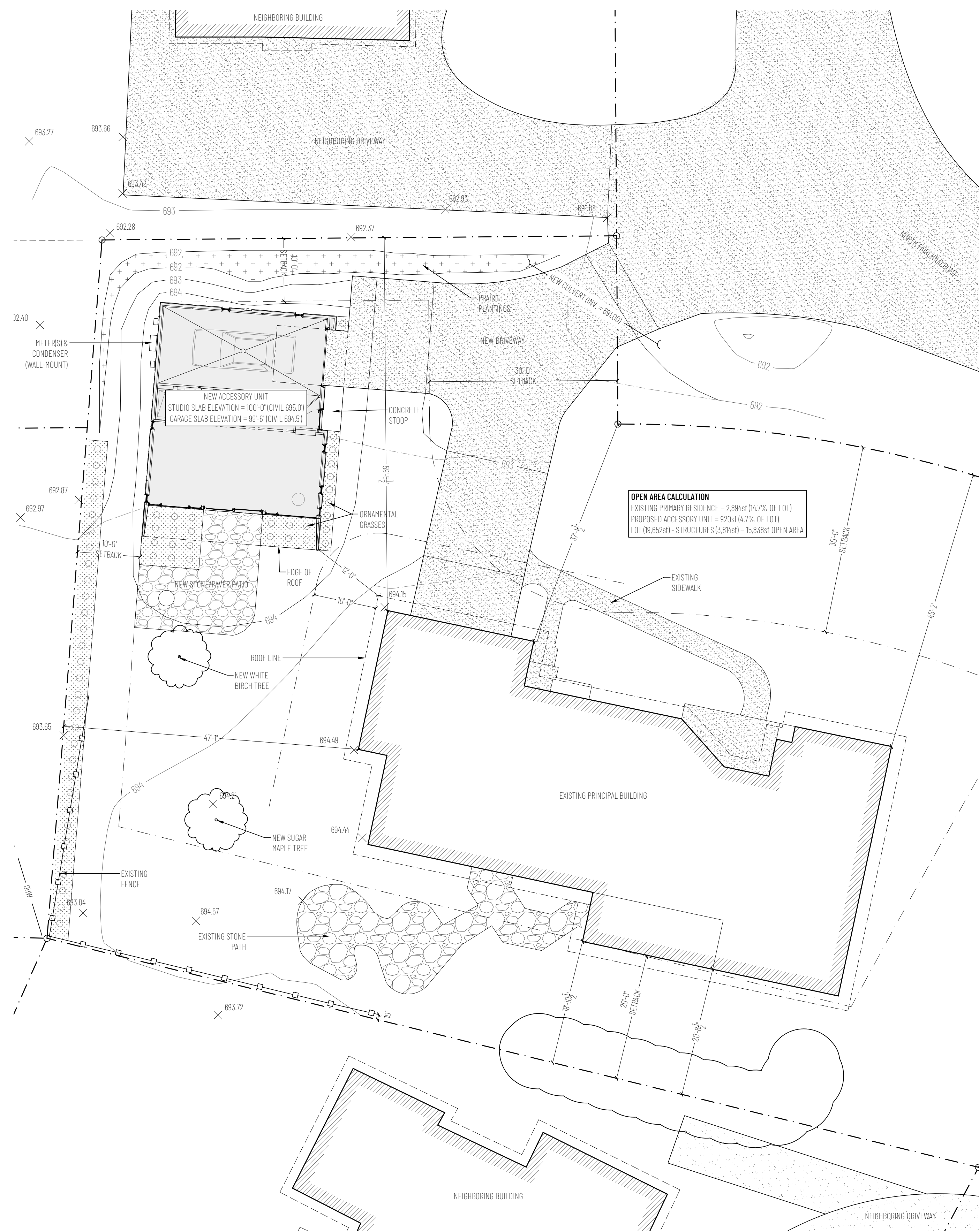
04 - SOUTH VIEW



01 - NORTH VIEW



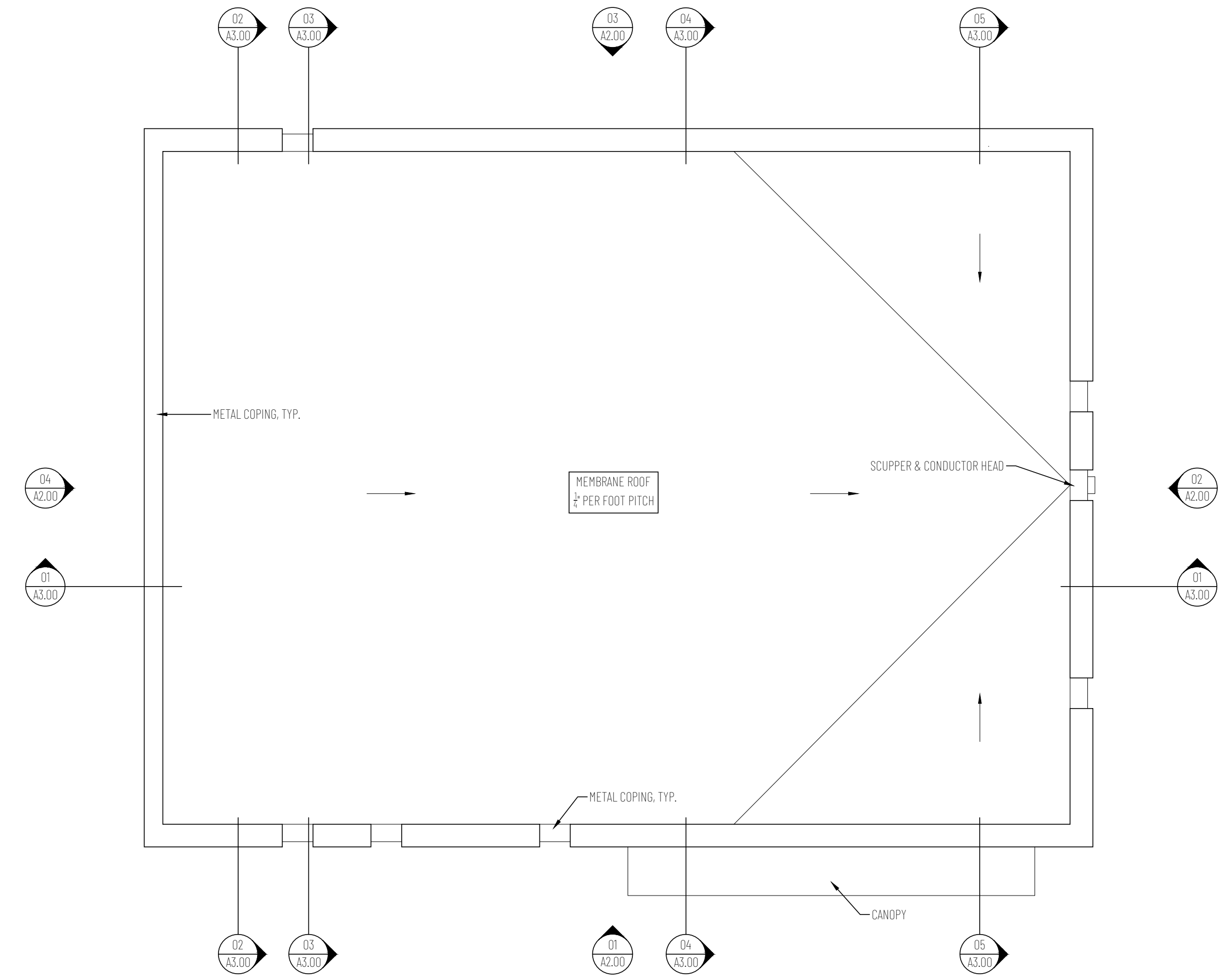
01 - EXISTING SITE PLAN 3/32"=1'-0"



02 - ARCHITECTURAL SITE PLAN 3/32"=1'-0"

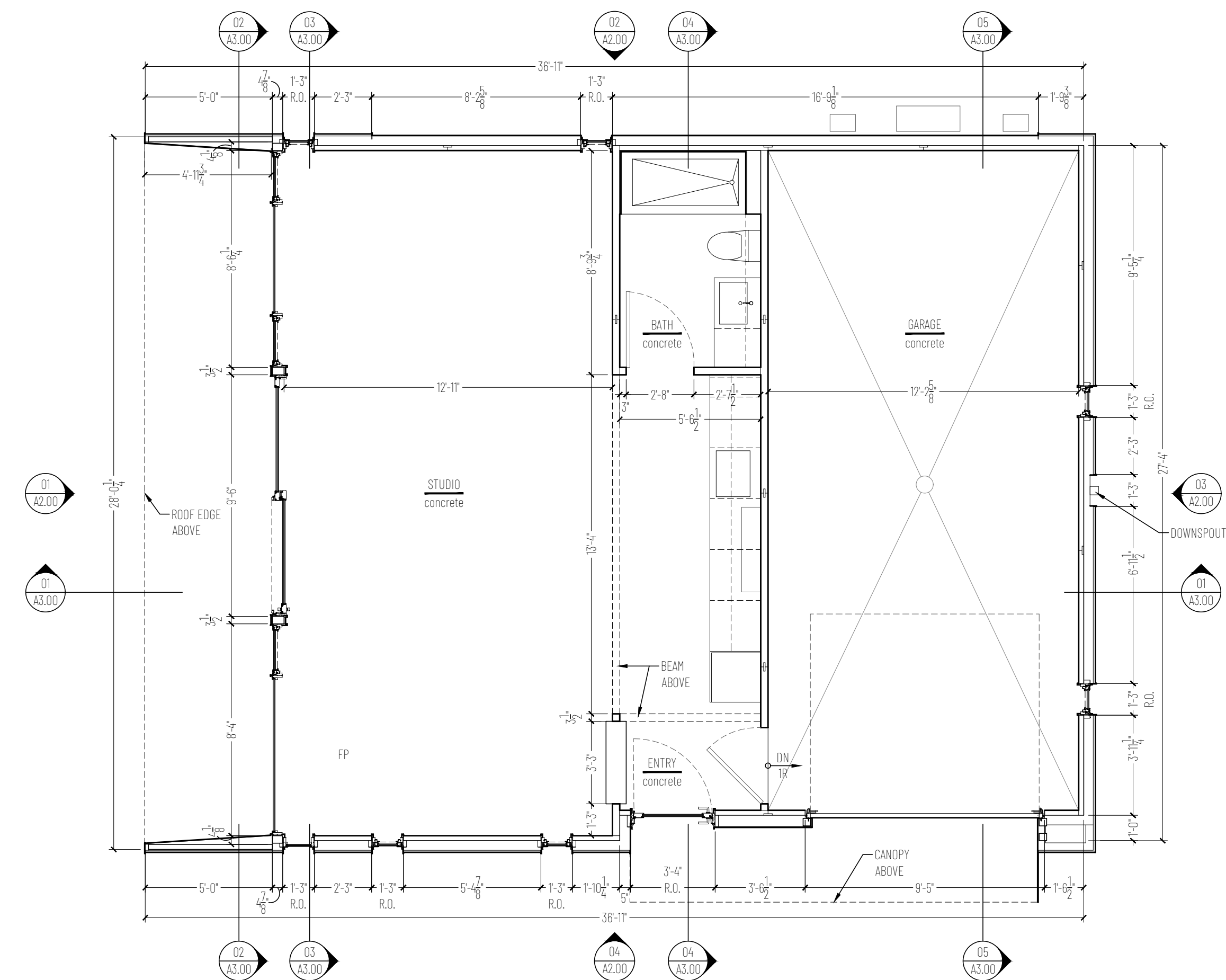
DESIGN REVIEW SET
 NOT FOR CONSTRUCTION

DESIGN REVIEW SET
 NOT FOR CONSTRUCTION



02 - ROOF PLAN

1/4"=1'-0"



01 - FLOOR PLAN

1/4"=1'-0"

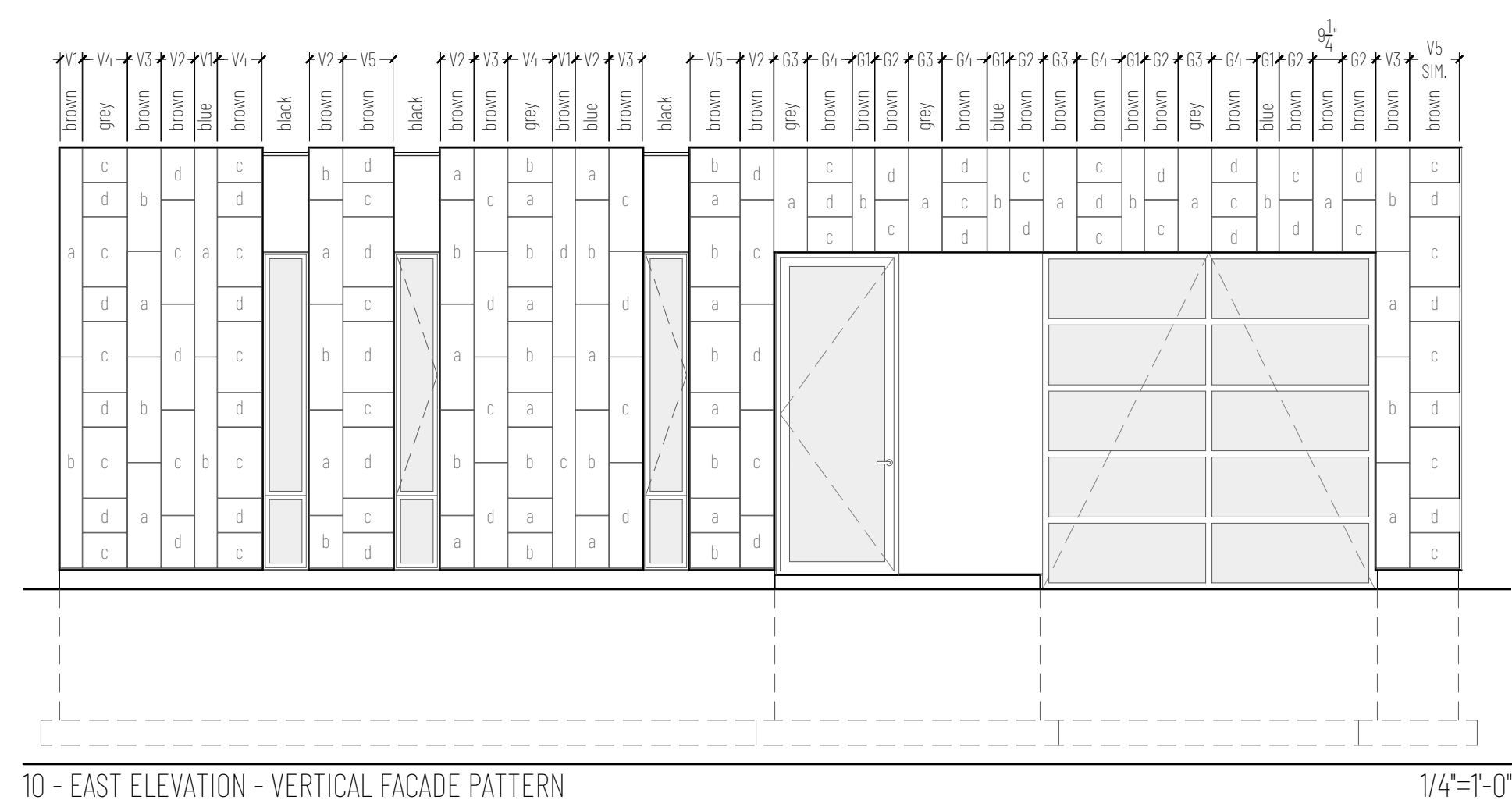
GENERAL NOTE:
 EXT. DIMENSIONS ARE TO FACE OF CLT/SHEATHING
 INT. DIMENSIONS ARE TO FACE OF CLT/WOOD STUDS

LaBUDDE STUDIO
 7439 North Fairchild Road
 Fox Point, Wisconsin 53217

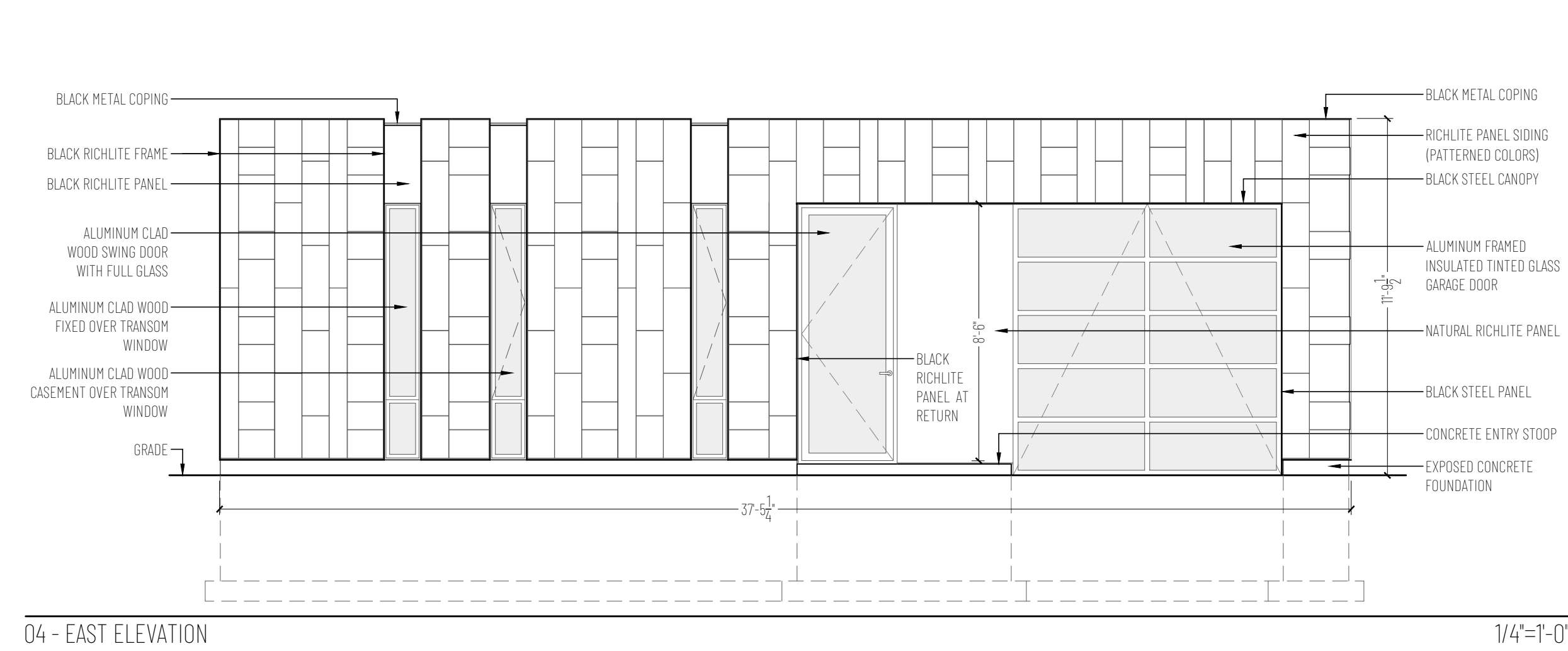
DATE: 3.21.2025

FLOOR & ROOF PLAN

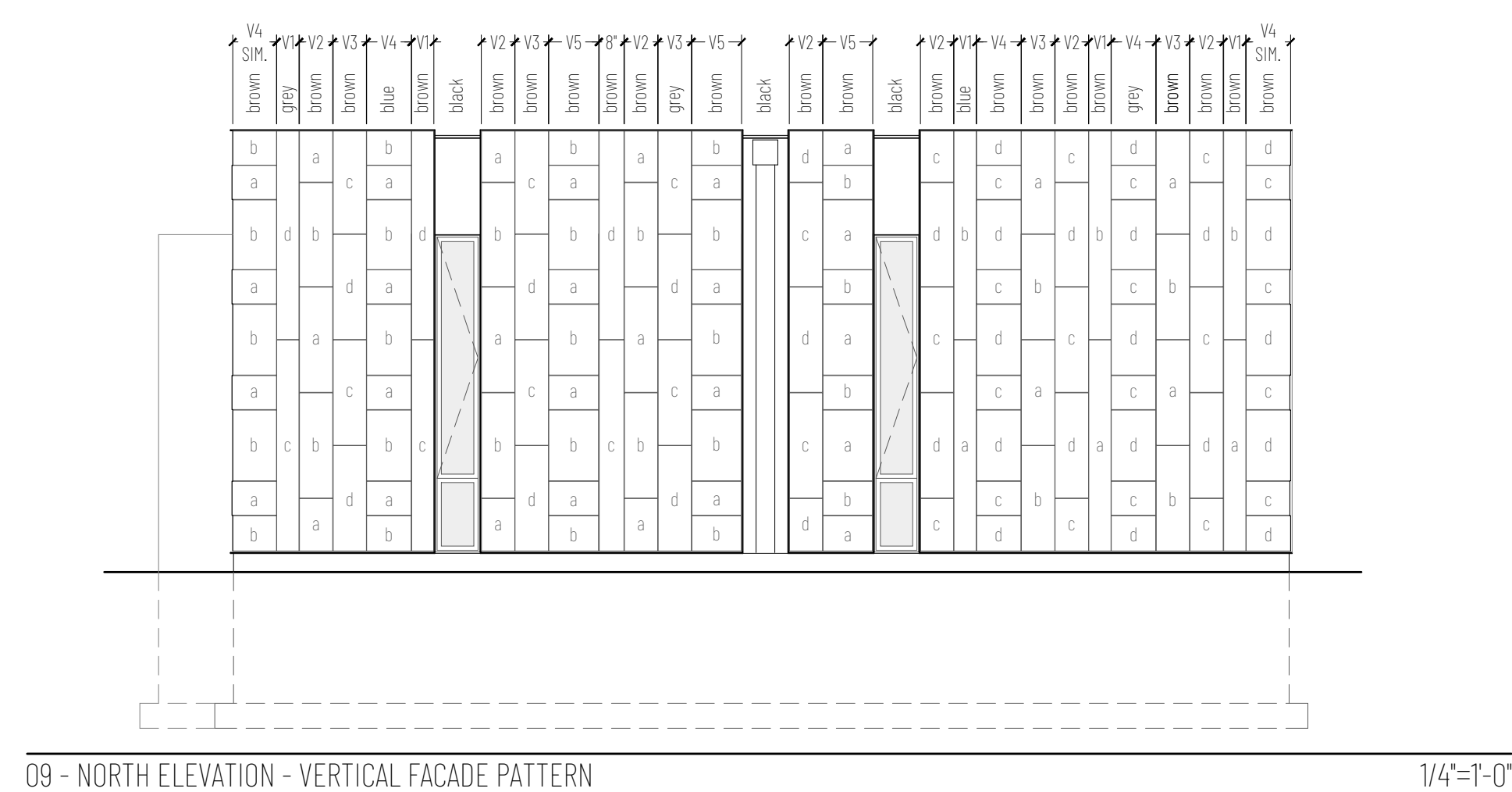
A1.00



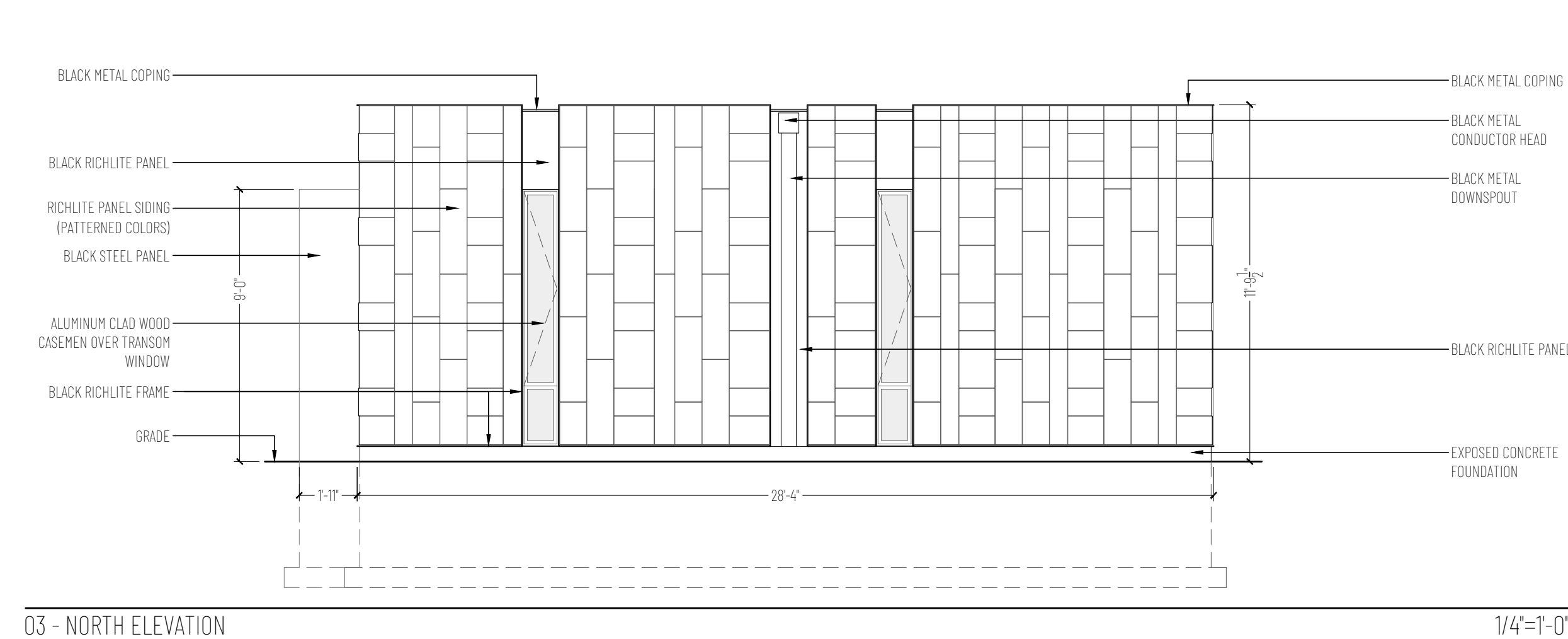
10 - EAST ELEVATION - VERTICAL FACADE PATTERN 1/4"=1'-0"



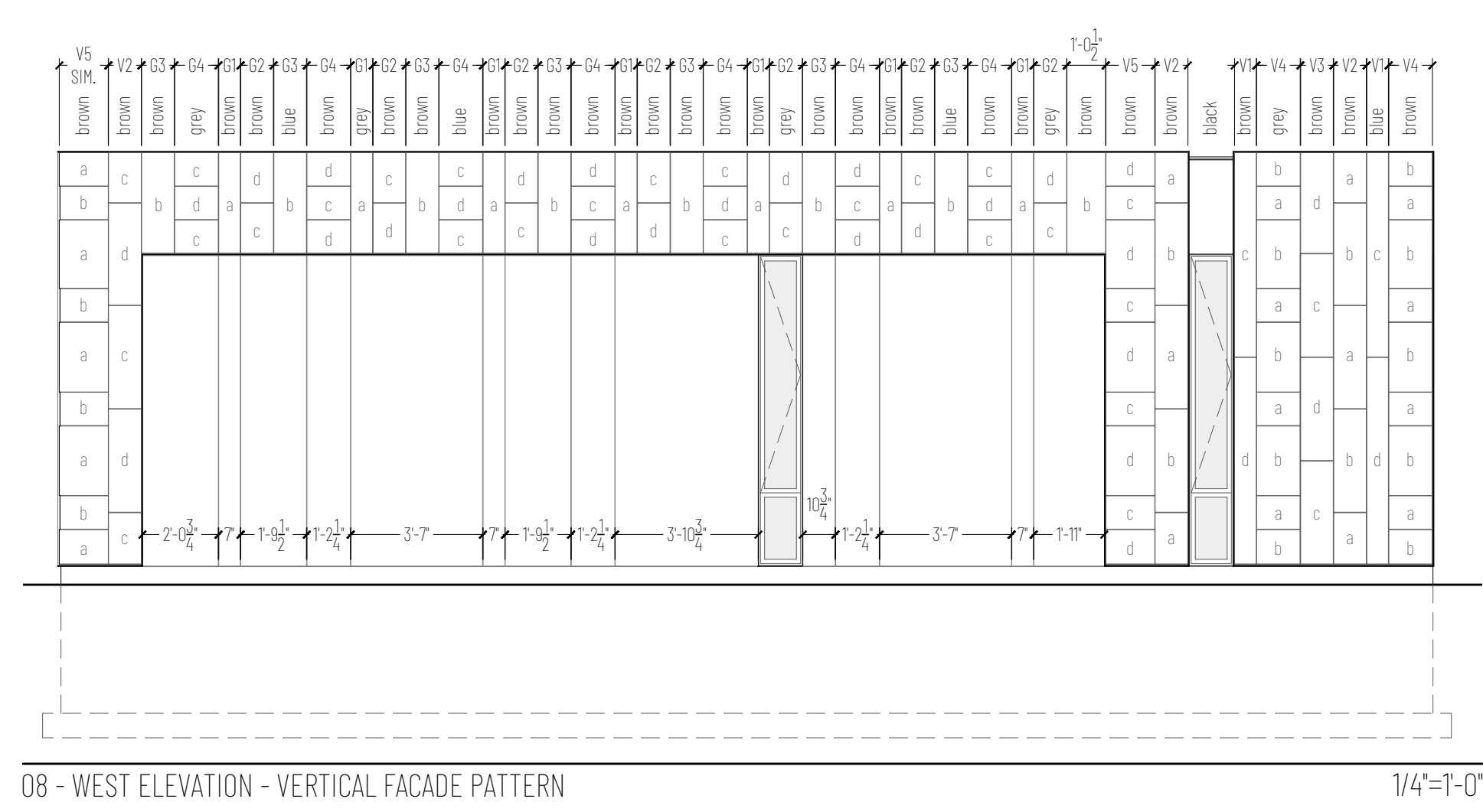
04 - EAST ELEVATION 1/4"=1'-0"



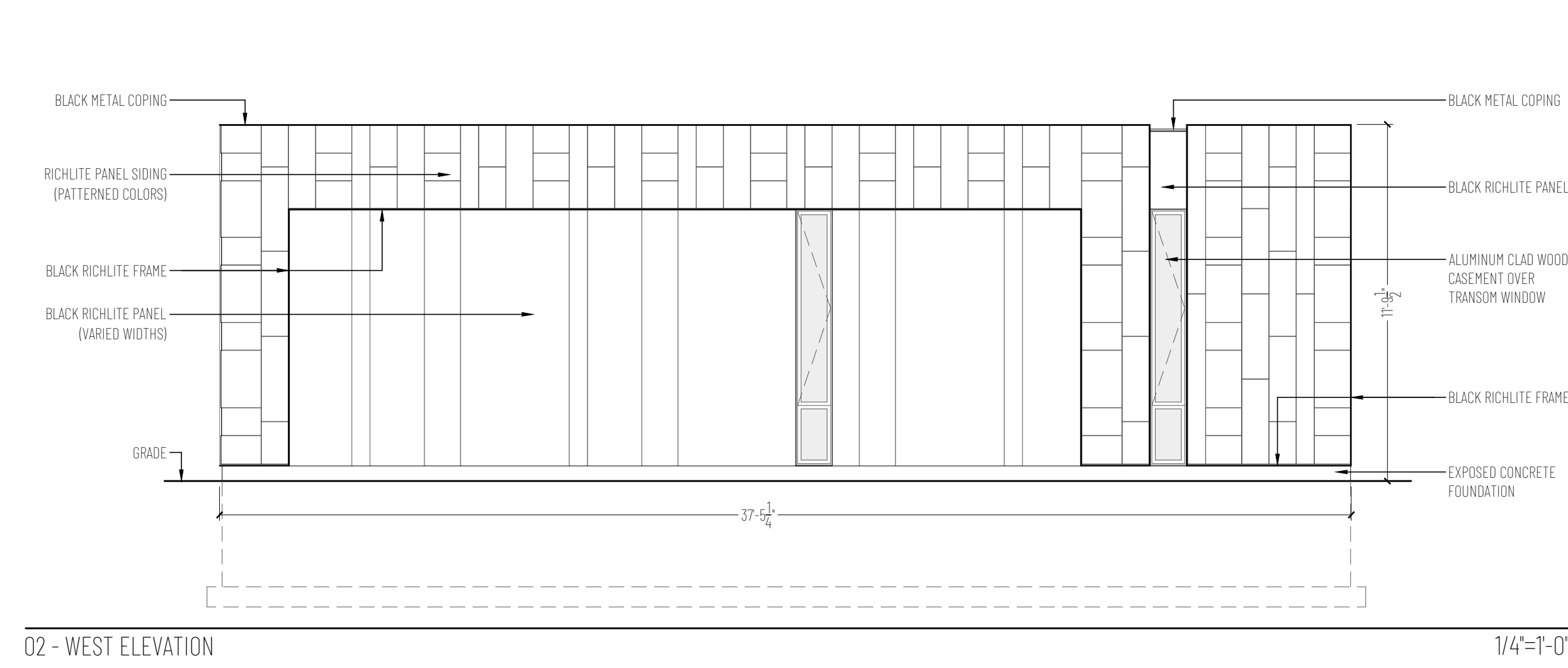
09 - NORTH ELEVATION - VERTICAL FACADE PATTERN 1/4"=1'-0"



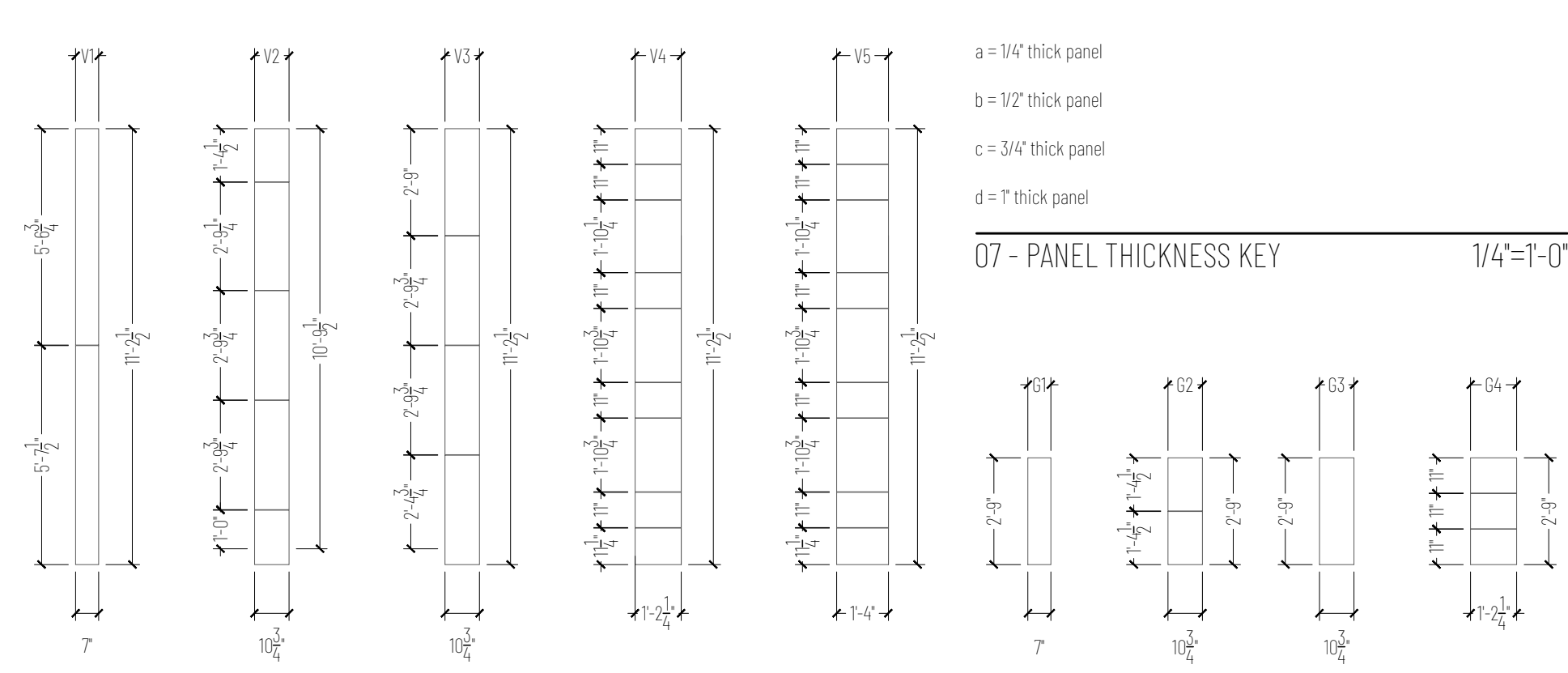
03 - NORTH ELEVATION 1/4"=1'-0"



08 - WEST ELEVATION - VERTICAL FACADE PATTERN 1/4"=1'-0"

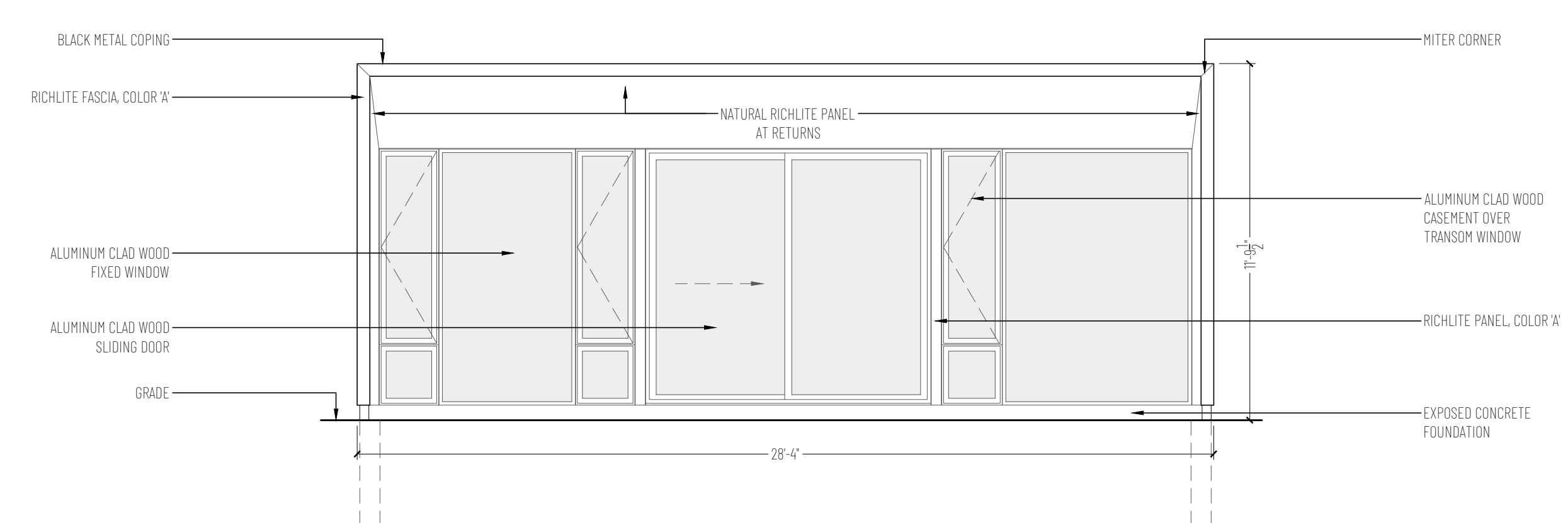


02 - WEST ELEVATION 1/4"=1'-0"



05 - FACADE VERTICAL PANEL COMPONENTS 1/4"=1'-0"

06 - FACADE VERTICAL PANEL COMPONENTS 1/4"=1'-0"



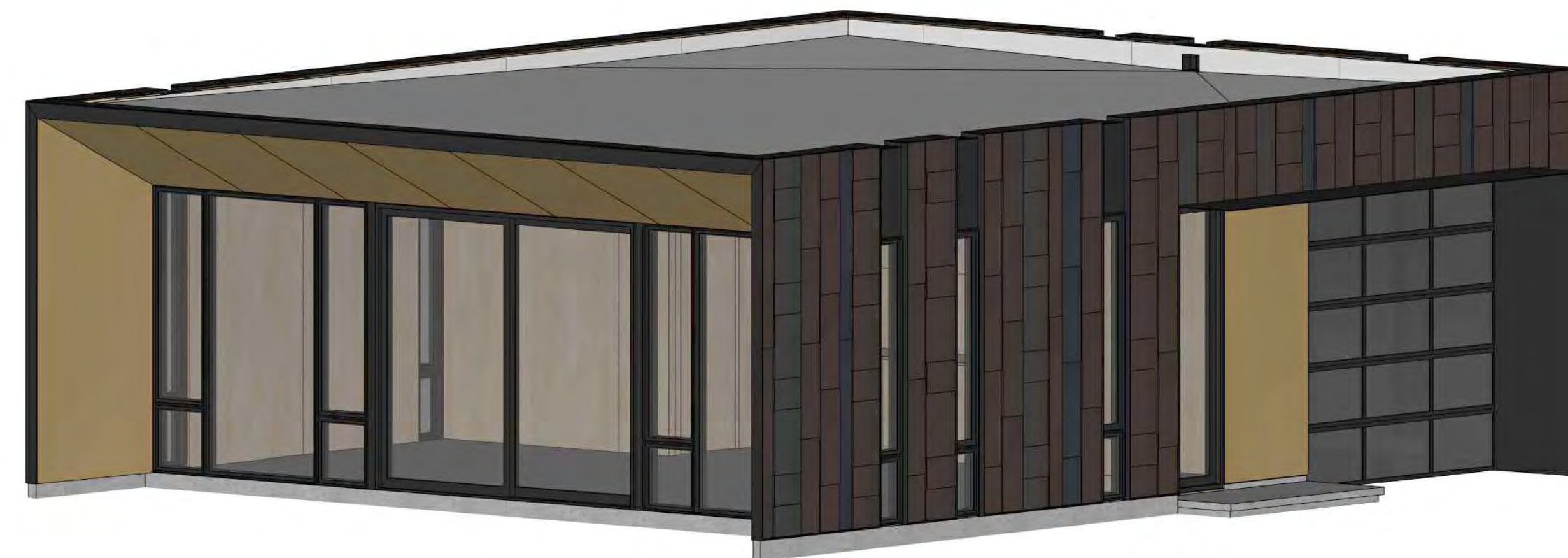
01 - SOUTH ELEVATION 1/4"=1'-0"

DESIGN REVIEW SET
 NOT FOR CONSTRUCTION



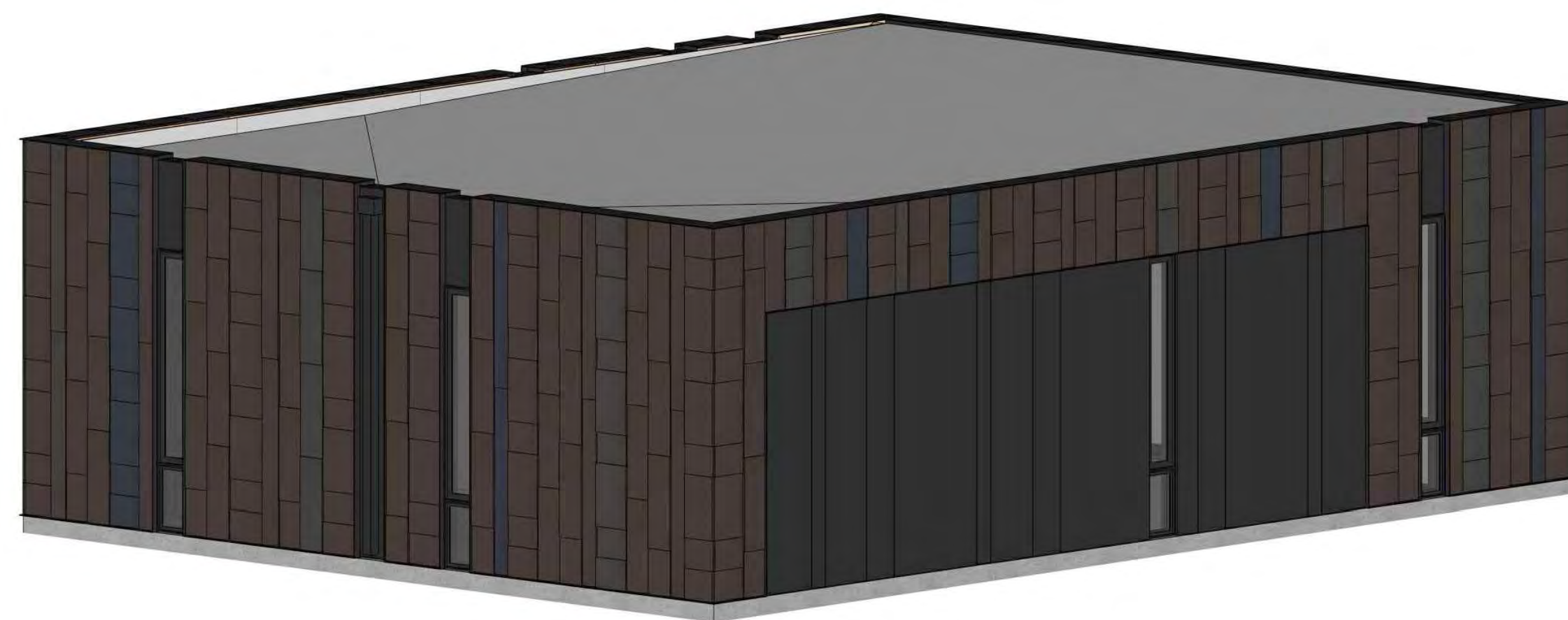
04 - NORTHEAST VIEW

depicts general design intent only



02 - SOUTHEAST VIEW

depicts general design intent only



03 - NORTHWEST VIEW

depicts general design intent only

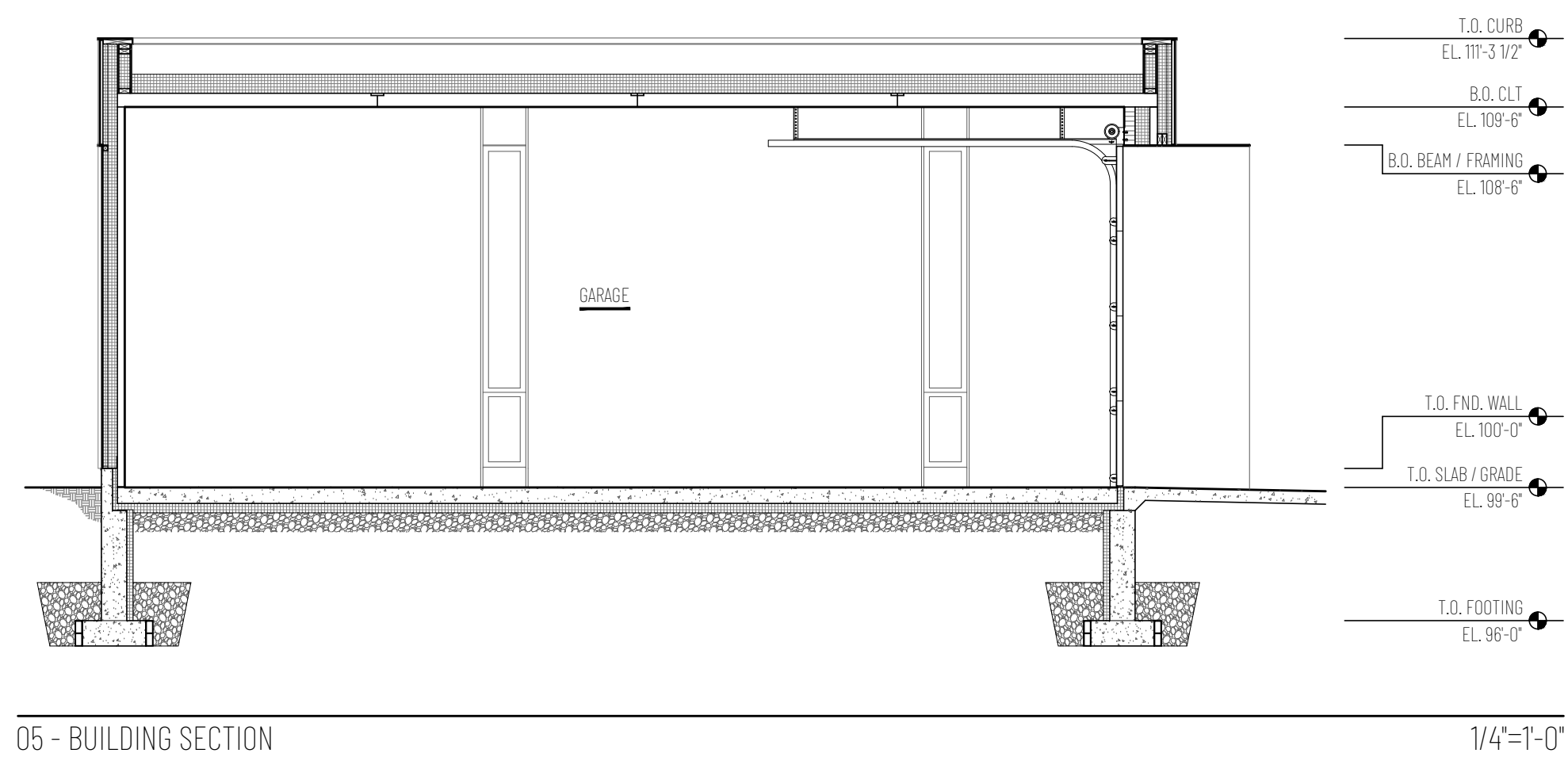


01 - SOUTHWEST VIEW

depicts general design intent only

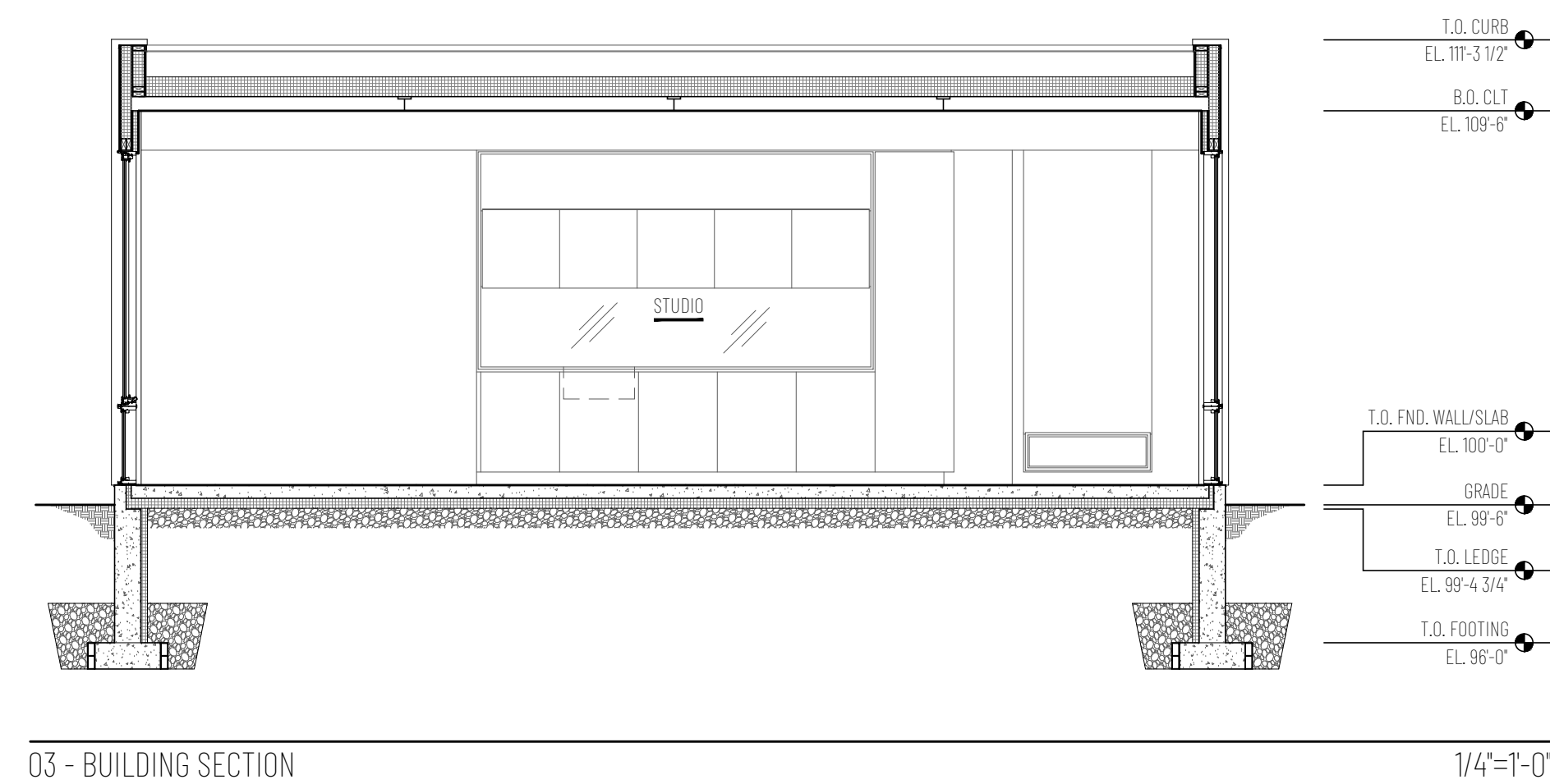
DESIGN REVIEW SET
NOT FOR CONSTRUCTION

DESIGN REVIEW SET
NOT FOR CONSTRUCTION



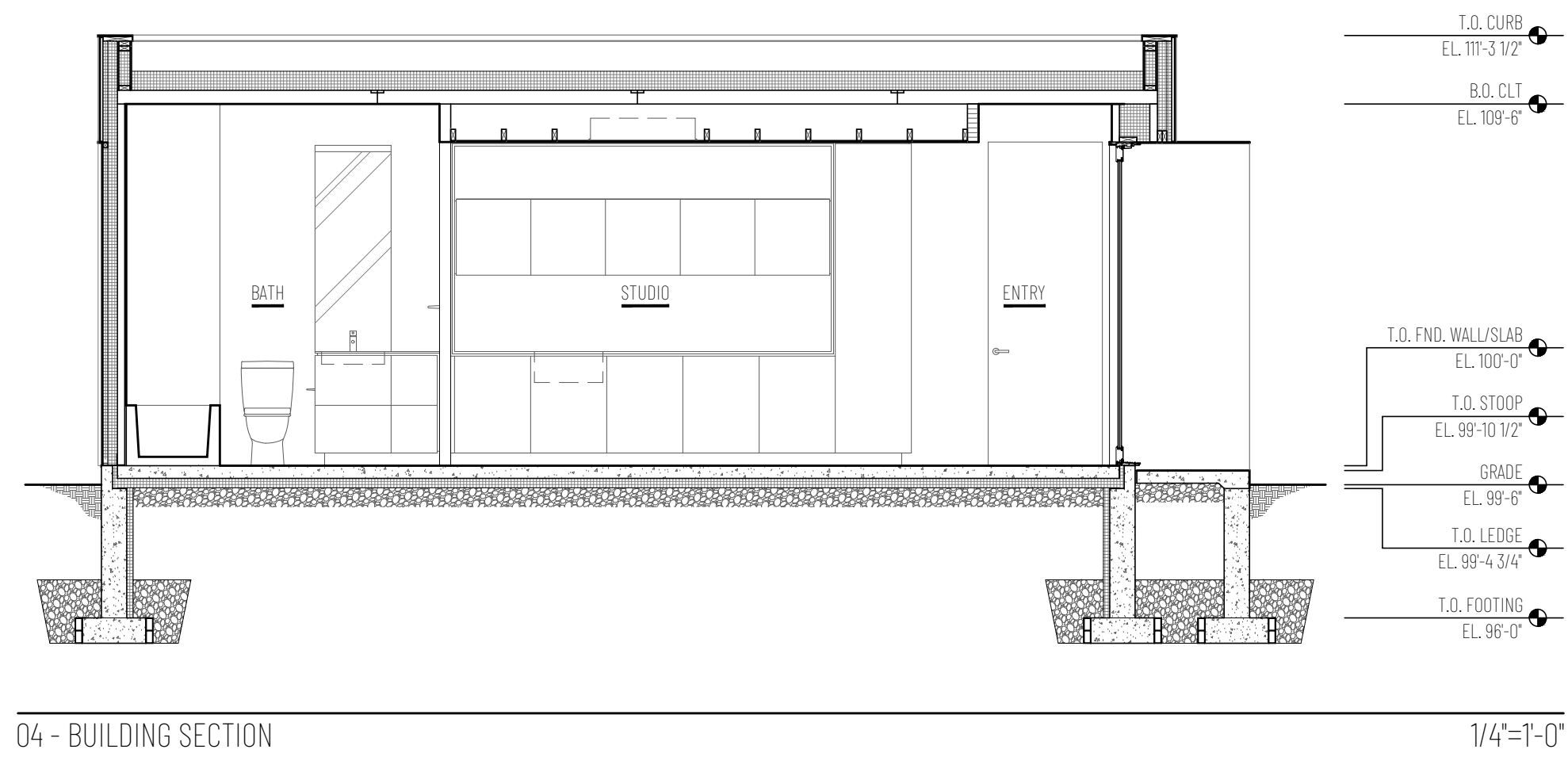
05 - BUILDING SECTION

1/4"=1'-0"



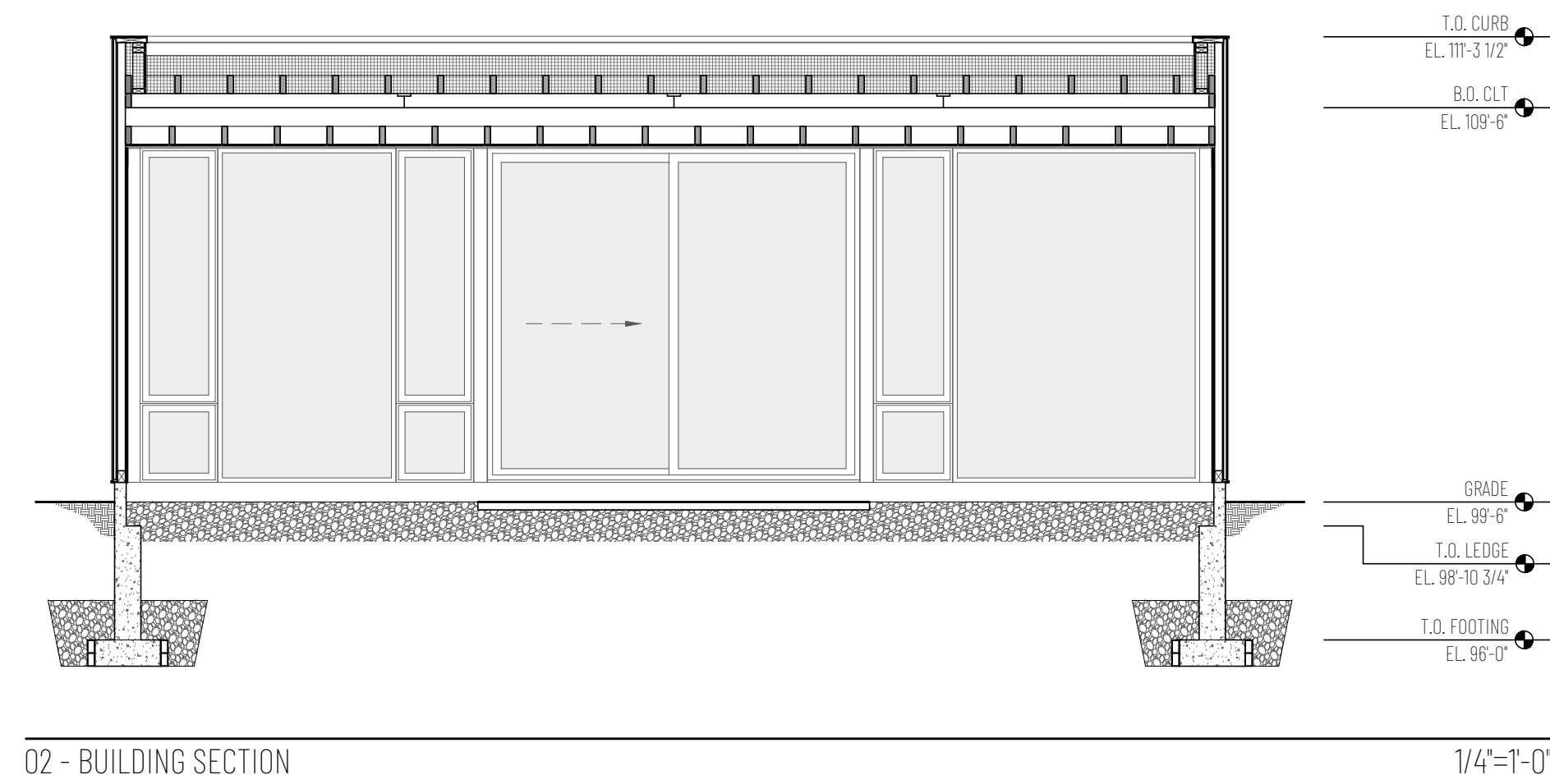
03 - BUILDING SECTION

1/4"=1'-0"



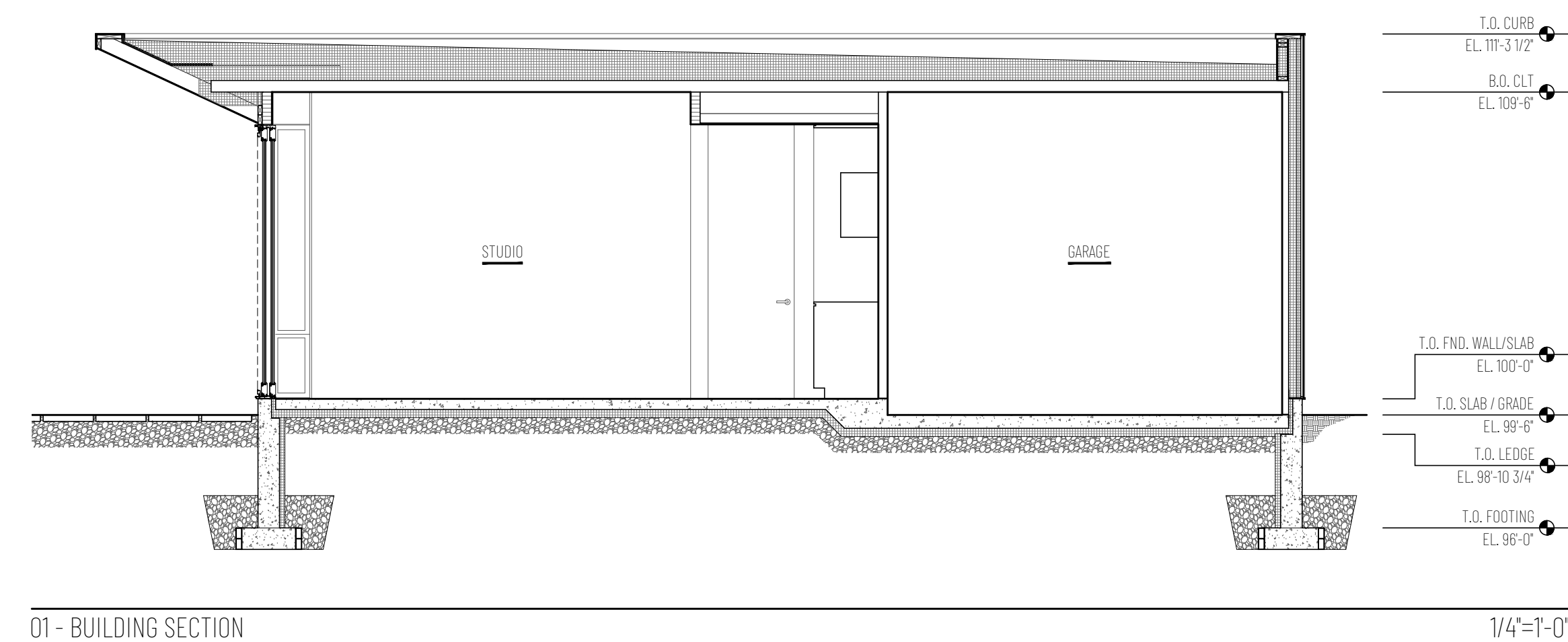
04 - BUILDING SECTION

1/4"=1'-0"



02 - BUILDING SECTION

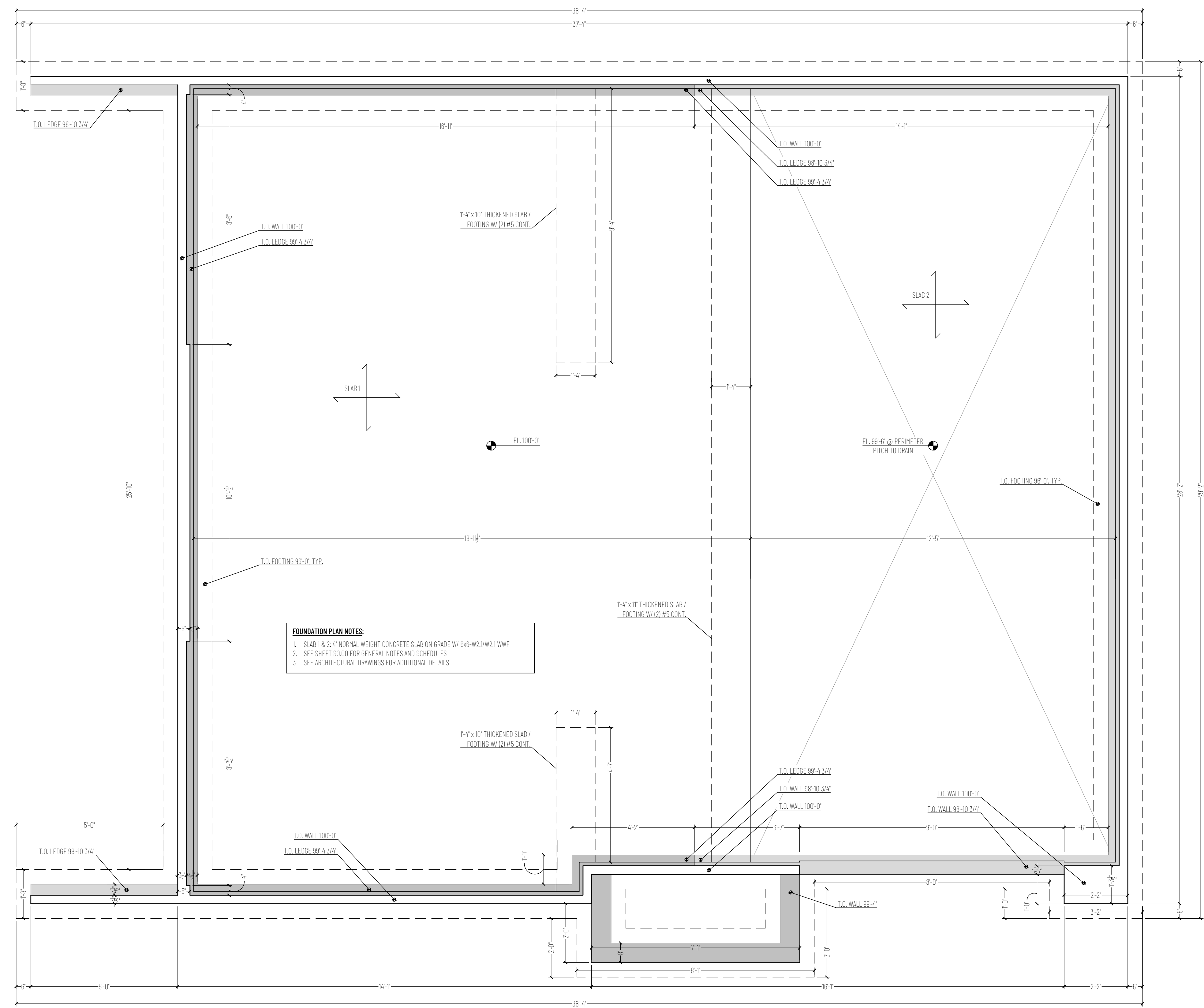
1/4"=1'-0"



01 - BUILDING SECTION

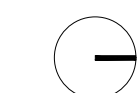
1/4"=1'-0"

DESIGN REVIEW SET
 NOT FOR CONSTRUCTION



01 - FOUNDATION PLAN

1/2"=1'-0"



GENERAL NOTE:
 ALL DIMENSIONS ARE TO FACE OF CONCRETE U.N.O.

LaBUDDE STUDIO
 7439 North Fairchild Road
 Fox Point, Wisconsin 53217

DATE: 3.21.2025

FOUNDATION PLAN
S1.00



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B-_____

OFFICE USE ONLY	
Issued Date	
Zoning	B, 60

BUILDING PERMIT

Job Address <u>8125 N. Links Way</u>	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work <u>Sun room reconstruction and interior remodeling</u>	
Estimated Cost of Project \$ <u>40,000.00</u>	

Owner/Occupant <u>Taylor Buckley</u>	Contact Name <u>Taylor Buckley</u>
Business Name	City/State/Zip <u>Fox Point / WI / 53217</u>
Address <u>8125 N. Links Way</u>	Email <u>taylor.buckley@hotmail.com</u>
Phone <u>414-758-6079</u>	

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name	Contact Name
Address	City/State/Zip
Phone	Email
Dwelling Contractor #	Dwelling Contractor Qualifier #

Square Footage Under Construction				
1 st Floor <u>330</u>	2 nd Floor	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	\$ 400.00
Building Board	\$75.00	\$ 75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		—
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		\$ —)
State Seal	\$75.00	\$ —)
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	\$ —)
Moving buildings \$250.00 plus	\$0.13/sqft	—
Fuel tanks - Per 1,000 gallons	\$25.00	—
Re-inspection	\$100.00	—
Work started without permit	Double	—
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ 475.00

Applicant Signature [Signature] Date 03/25/25
 Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

Receipt No: 22000091 Mar 25, 2025

8125 N LINKS WAY

Previous Balance: .00
LICENSES & PERMITS
BUILDING PLANS - FILING 75.00
FEE

Total: 75.00
=====

LICENSES & PERMITS
BUILDING PERMIT 400.00

Total: 400.00
=====

ONLINE - CREDIT CARD 475.00

Payor:
8125 N LINKS WAY
Total Applied: 475.00

Change Tendered: .00
=====

03/25/2025 2:59 PM

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217 414-351-8900



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

**CAUTIONARY STATEMENT TO OWNERS
 OBTAINING BUILDING PERMITS**

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Taylor Buckley
 Homeowner's Name – PRINTED

8125 N. Links Way
 Property Address

[Signature]
 Homeowner's Signature

03/25/25
 Date

FOR: VILLAGE OF FOX POINT
 WILLIAM G. & CAROL S. BOLTON
 TAX KEY #059-0256-000

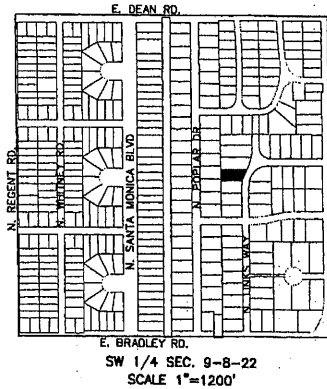
EXHIBIT A

LOT 4, IN BLOCK 4, IN FOX POINT SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SE 1/4 OF THE SW 1/4 AND THE NE 1/4 OF THE SW 1/4 OF SECTION 9, TOWN 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN.
 AND ALSO A REQUIRED PERMANENT DRAINAGE EASEMENT, WHICH IS BOUNDED AND DESCRIBED AS FOLLOWS:

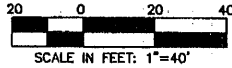
COMMENCING AT A POINT ON A CURVE BEING THE NORTHEAST CORNER OF SAID LOT 4, IN BLOCK 4, IN FOX POINT SUBDIVISION AND THE WEST RIGHT OF WAY LINE OF N. LINKSWAY, SAID CURVE HAVING A RADIUS OF 565.06 FEET AND A CHORD BEARING S27°55'22"W, 12.08 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, 12.08 FEET TO A POINT ON SAID CURVE AND THE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; SAID CURVE HAVING A RADIUS OF 565.06 FEET AND A CHORD BEARING S29°08'14"W, 11.88 FEET; THENCE SOUTHWESTERLY, ALONG THE ARC OF SAID CURVE TO THE RIGHT, 11.88 FEET; THENCE N67°19'48"W, 25.93 FEET; THENCE N89°16'19"E, 29.71 FEET TO THE POINT OF BEGINNING.

SAID PERMANENT DRAINAGE EASEMENT CONTAINS 157 Sq.Ft. OF LAND, MORE OR LESS.

LOCATION MAP



NORTH REFERENCED TO THE WISCONSIN COORDINATE SYSTEM SOUTH ZONE, NAD27. THE EAST LINE OF THE SW 1/4 OF SECTION 9-8-22, BEARING N00°45'26"E.

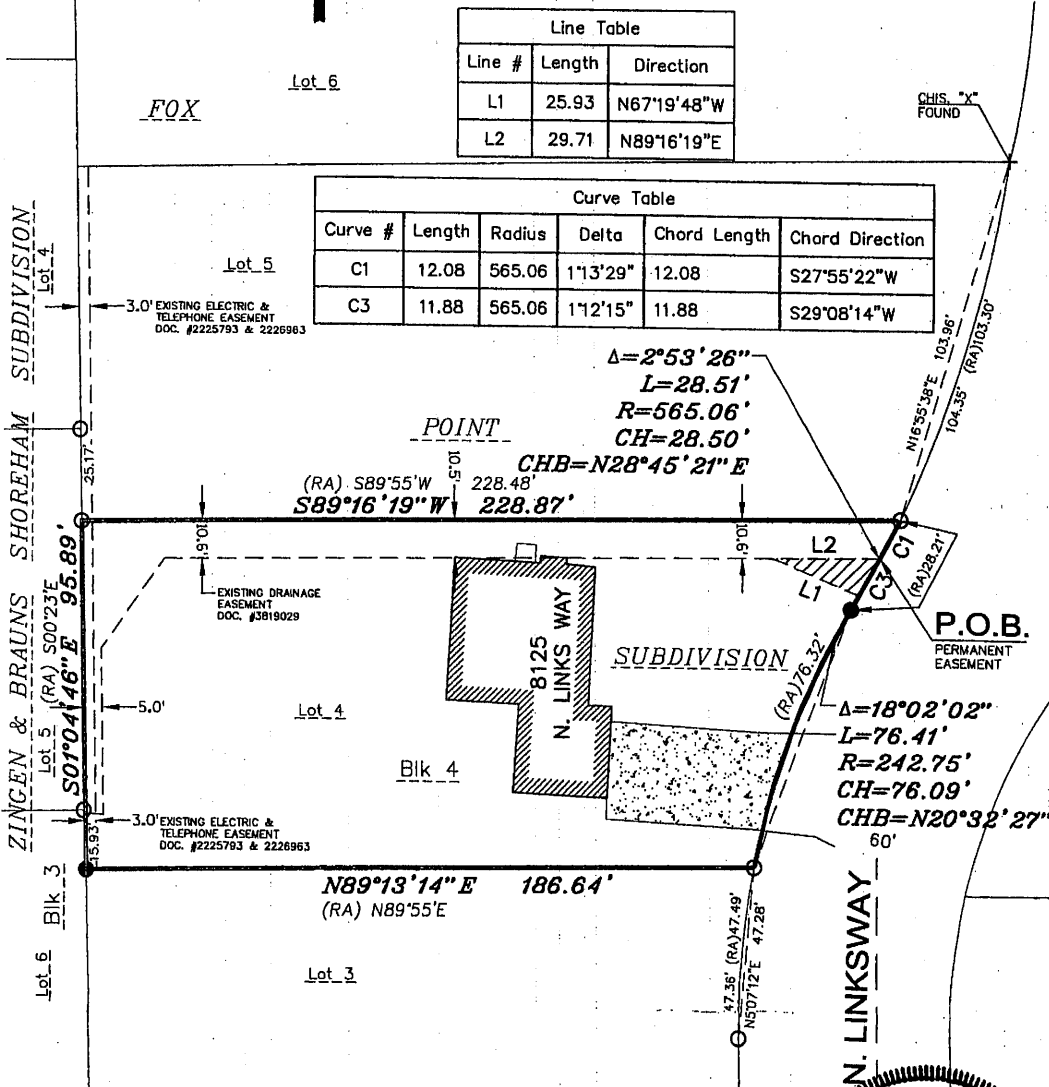


LEGEND:

- = 1-1/4" O.D. X 24" LONG, IRON PIPE SET, WEIGHING 1.68 LBS./FT.
- = IRON PIPE FOUND
- ▨ = REQUIRED PERMANENT DRAINAGE EASEMENT
- (RA) = RECORDED AS

Line Table		
Line #	Length	Direction
L1	25.93	N67°19'48"W
L2	29.71	N89°16'19"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	12.08	565.06	1°13'29"	12.08	S27°55'22"W
C3	11.88	565.06	1°12'15"	11.88	S29°08'14"W



FILENAME: S:\Mh...Co\Foxpoint\Dev\110126-Storm Sewer Buff Drainage Improvements\Survey\110126_exhibits.dwg V.3

LAST SAVED DATE: 8/15/2011

PLDT DATE/TIME: 8/15/2011 5:49 PM

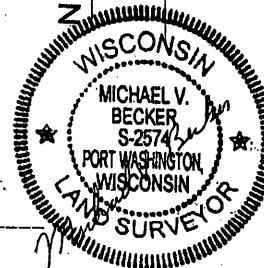
PLOTTED BY: MICHAEL V. BECKER

STATE OF WISCONSIN)
 MILWAUKEE COUNTY) s.s.

I hereby certify that I have made a survey of the land shown and described hereon and that this plat of survey is a correct representation of the boundaries of the land surveyed and the location of buildings on said land; to the best of my knowledge and belief. This survey is made for the exclusive use of the present owner.

Dated this 16th day of August, 2011

Michael V. Becker
 Michael V. Becker S-2574



KAPUR & ASSOCIATES, INC.
 CONSULTING ENGINEERS
 MILWAUKEE, WISCONSIN
 414.251.6668

Address: 8125 N Links Way Fox Point, Wisconsin 53217 Taxed by: Fox Point

MLS #: 1900342



Property Type: Single-Family
Status: Active
County: Milwaukee
Seller Offers Concessions:

List Price: \$479,000
Tax Key: 0590256000
Taxes: \$10,429.69
Tax Year: 2023
Est. Acreage: 0.5

Bedrooms: 5
Total Full/Half Baths: 2 / 2
F/H Baths Main: 2 / 2
F/H Baths Upper:
F/H Baths Lower:
Garage Spaces: 2
Garage Type: Attached

Rooms:
Est. Total Sq. Ft.: 3,040
Est. Year Built: 1960
Zoning: RES

Flood Plain: No

Days On Market: 2

Directions: East on Bradley Rd, North on Links Way

School District: Fox Point J2

High School: Nicolet

Middle School: Bayside

Elem. School: Stormonth

Name	Dim	Level	Name	Dim	Level
Master Bedroom	15 x 16	Upper	Living/Great Room	15 x 25	Main
Bedroom 2	16 x 12	Upper	Kitchen	23 x 10	Main
Bedroom 3	12 x 13	Upper	Dining Room	13 x 13	Main
Bedroom 4	15 x 11	Upper			
Bedroom 5	17 x 11	Upper			
Den	15 x 16	Main			
Mud Room	7 x 5	Main			
Sun/Four Season Room	23 x 14	Main			

Style: 2 Story
Architecture: Colonial
Garage: Electric Door Opener
Driveway: Paved
Exterior: Brick; Vinyl
Basement: Block; Stubbed for Bathroom
Heating Fuel: Natural Gas
H/C Type: Forced Air; Central Air
Bath Description: Off MBR; MBR Bath Walk-in Shower; Shower Over Tub; Shower Stall; Ceramic Tile

Documents: Listing Contract; Seller Condition; LeadPaint Disclosure; Other
Appliances Incl.: Cooktop; Oven; Refrigerator; Dishwasher; Microwave; Washer; Dryer; Freezer
Misc. Exterior: Deck
Misc. Interior: Natural Fireplace; Hot Tub; Wood or Sim. Wood Floors; Walk-thru Bedroom
Water/Waste: Municipal Water; Municipal Sewer
Municipality: Village
Accessibility: Laundry on Main Level; Stall Shower

Remarks: Unlock the potential of this solid, spacious home in Fox Point! Situated on a 1/2 acre, this home offers plenty of vintage flair, but has the bones to be your dream home! Hardwood floors are ready to be revealed under most of the carpet. Mudroom off the attached garage can easily be converted back to the original main floor laundry space. Relax & flex that green thumb in the sunroom with hot tub. Enjoy fires in the large living room with attached den. Upstairs offers 5 large bedrooms (one is a walk-thru) & 2 full baths, 1 attached to the primary. LL has plenty of room for storage, office/workshop space & "water closet". Updates include new roof in 2015, newer furnace & A/C, windows & more. Steps away from Lake Dr, Doctor's Park & near the freeway, your dream home awaits!

Private Remarks: Earnest money to be held by seller's title company (TBD). Please allow 48 hours for acceptance. Seller is related to the listing agent. Selling as-is. Closing preferred middle of January. Co-Listed by Laura Bolton - Fathom Realty

Showing Information: Aligned Showings

Inclusions: Refrigerator, Oven/Range, Microwave, Dishwasher, LL Freezer, Hot Tub, Window Treatments

Exclusions: Seller's personal property, staging items, Dining Room Chandelier, Washer & Dryer

Excl. Agency Contract: N

Broker Owned: N

Electronic Consent: Yes

Listing Date: 11/22/2024

Limited/Unserviced: No

Named Prospects: N

Listing Office: Fathom Realty, LLC: of54507

Ph: 414-305-5386

Fax: 608-459-1416

URL: <http://www.fathomrealty.com>

Listing Agent: Gina K Dielen : 41903

Ph: 414-405-6329 Cell: 414-405-6329

Fax: 608-459-1416

Email: gdielen@fathomrealty.com

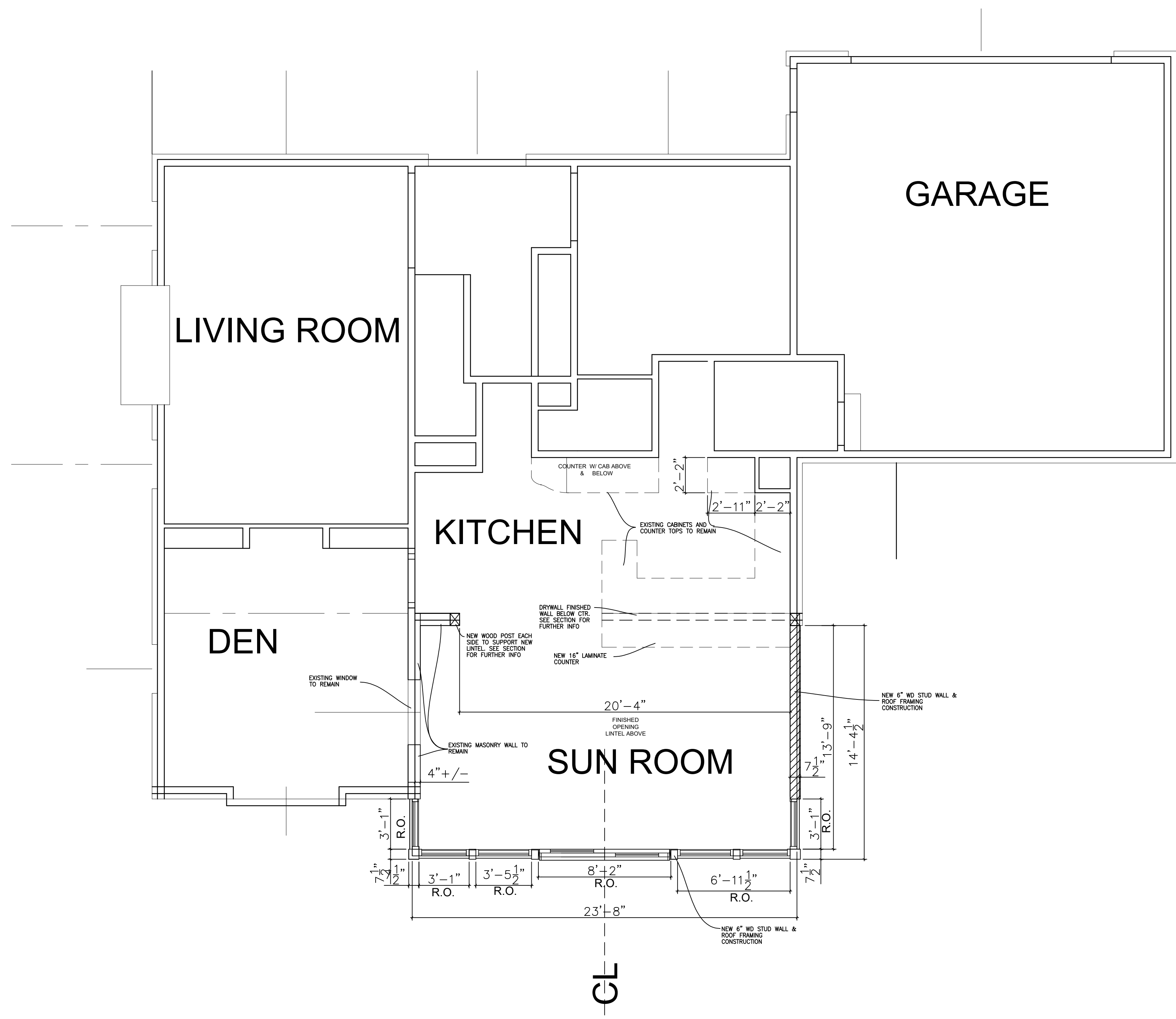
LA Address:

LO License #: 938843-91

LA License #: 93447-94

The information contained herein is provided for general information purposes only. If any of the above information is material or being utilized to determine whether to purchase the property, the buyer should personally verify same or have it confirmed by a qualified expert. The information to independently verify and confirm includes but is not limited to total square footage formula, total square footage / acreage figures, land, building or room dimensions and all other measurements of any sort or type. Equal housing opportunity listing.

Copyright 2024 by Multiple Listing Service, Inc. See copyright notice.



PLAN NOTES:

1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AT JOB SITE PRIOR TO BID ISSUANCE/WORK COMMENCEMENT. ANY DISCREPANCIES BETWEEN JOB SITE AND DRAWINGS HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR CLARIFICATION.

GDG
GONDEK DESIGN
GROUP

REVISION

No.	DATE	DESCRIPTION
1		

PROJECT:
BUCKLEY

AREA:

SHEET TITLE:

**CONSTRUCTION
FLOOR PLAN**

DRAWN BY: PG	SCALE: 1/4"=1'-0"
CHECKED BY: PG	DATE: 3/1/25

SHEET No.
A1-2

LEGEND:

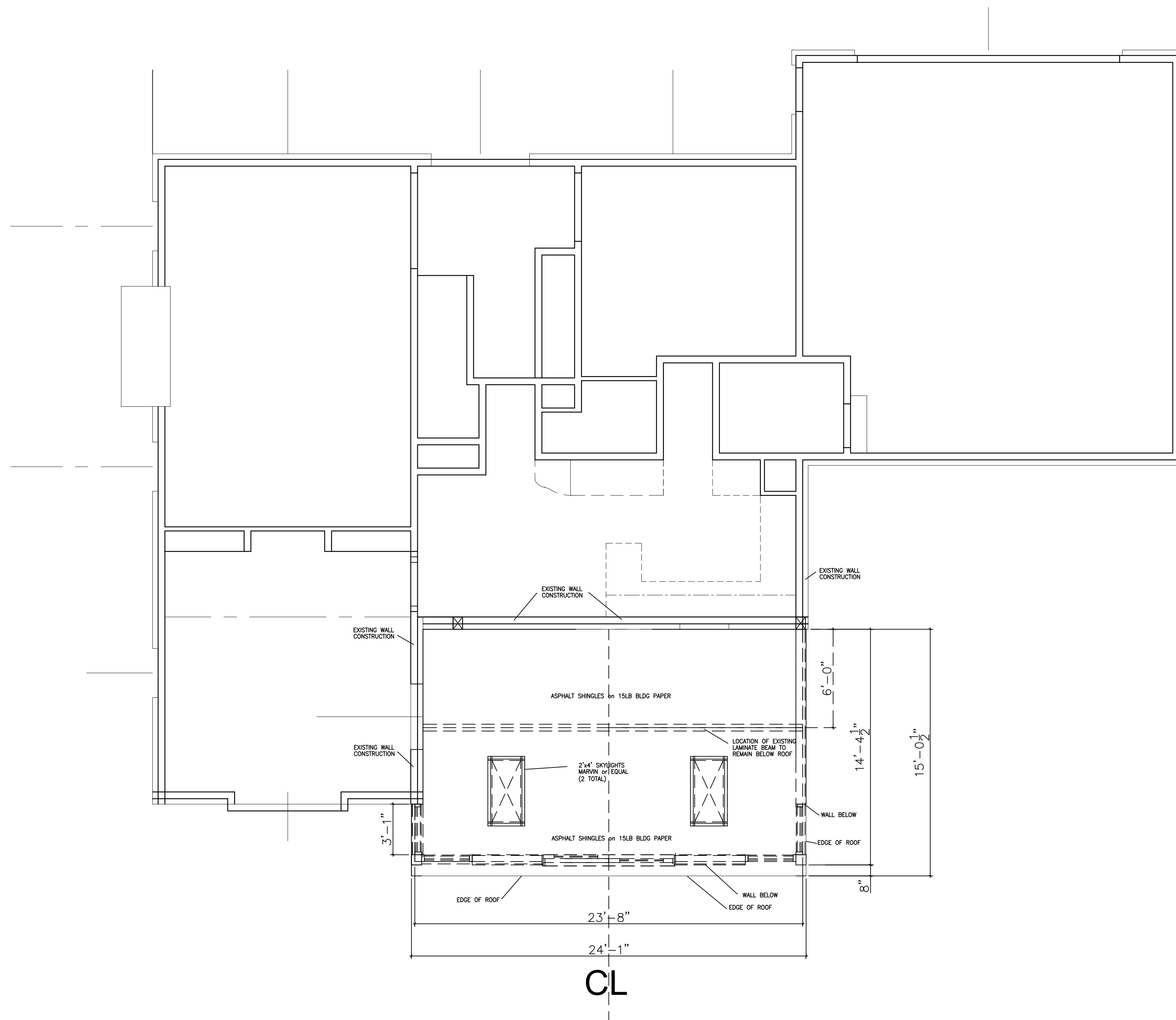
	EXISTING TO REMAIN.
	NEW CONSTRUCTION
	ALIGN SURFACES
	ELEVATION DESIGNATION
	SECTION DESIGNATION

KEYED NOTES:

1
2
3
4
5
6

KEYED NOTES:

KEYED NOTES:



PLAN NOTES:

1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AT JOB SITE PRIOR TO BID ISSUANCE/WORK COMMENCEMENT. ANY DISCREPANCIES BETWEEN JOB SITE AND DRAWINGS HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE TENANT & JCI FOR CLARIFICATION.

GDG
GONDEK DESIGN
GROUP

REVISION

No.	DATE	DESCRIPTION
1		

PROJECT:
BUCKLEY

SHEET TITLE:
**CONSTRUCTION
ROOF PLAN**

DRAWN BY: PG	SCALE: 1/4"=1'-0"
CHECKED BY: PG	DATE: 3/1/25

SHEET No.
A1-3

LEGEND:

- EXISTING TO REMAIN.
- NEW CONSTRUCTION
- EXISTING PARTITION TO BE DEMOLISHED
- ALIGN SURFACES

KEYED NOTES:

- 1
- 2
- 3
- 4
- 5

KEYED NOTES

1. ASPHALT SHINGLES ON 2"x6" WOOD FRAMING @ 16" O.C.
2. BOARD & BATTEN SIDING
3. 4" HORIZONTAL SIDING
4. INSULATED WOOD AWNING STYLE WINDOW
5. INSULATED WOOD SLIDING DOOR

-
-
-
-

GDG
GONDEK DESIGN
GROUP

REVISION		
No.	DATE	DESCRIPTION
1		

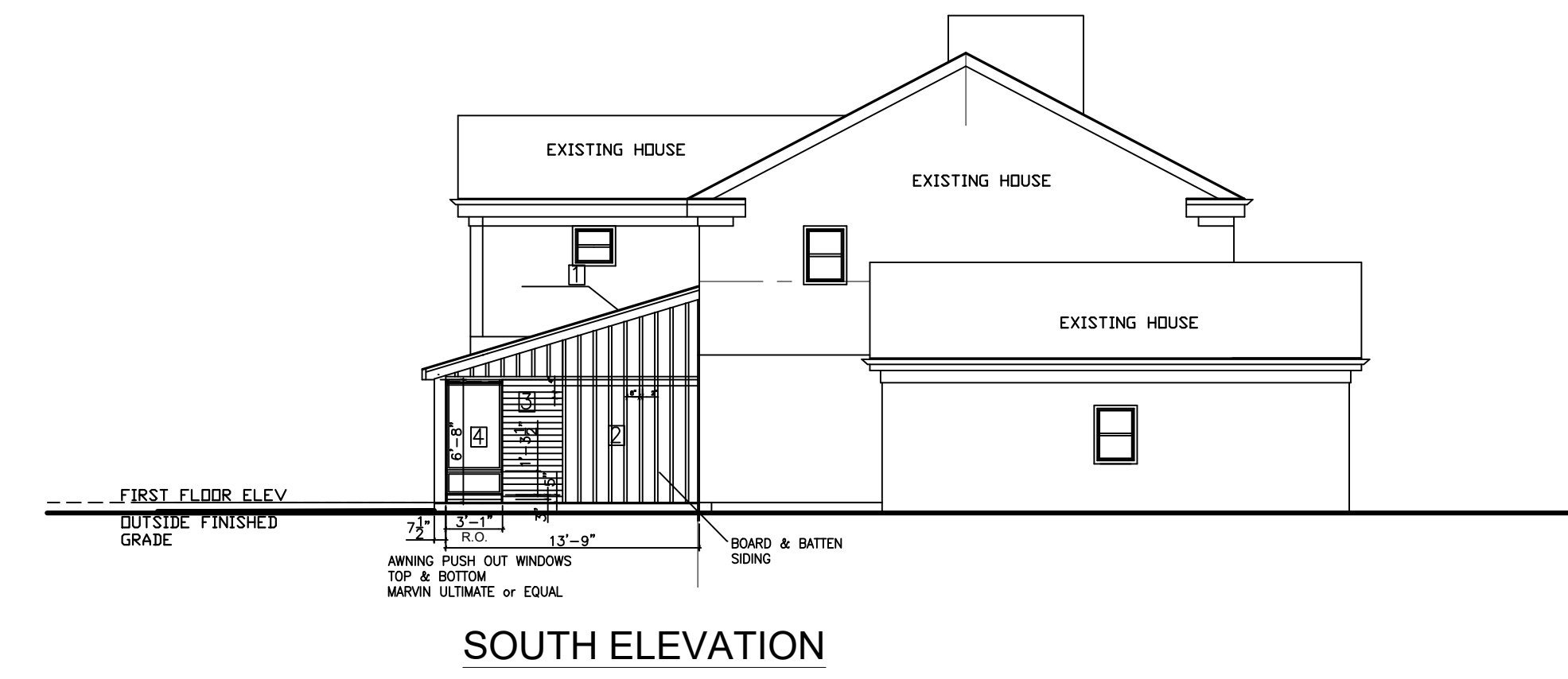
PROJECT:
BUCKLEY

AREA:

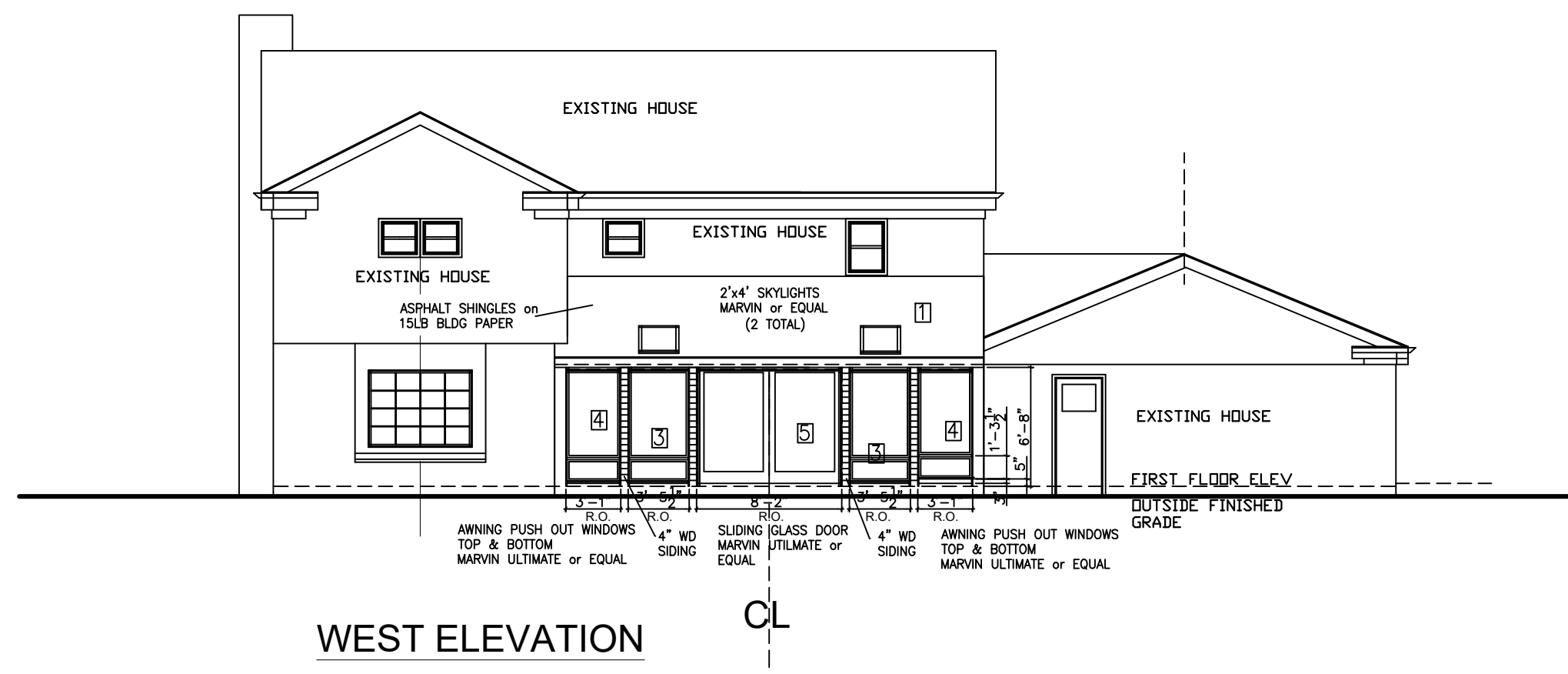
SHEET TITLE:
Elevation Sheet

DRAWN BY: PG	SCALE: 1/8"=1'-0"
CHECKED BY:	DATE: 3/1/25

SHEET No.
A1-4



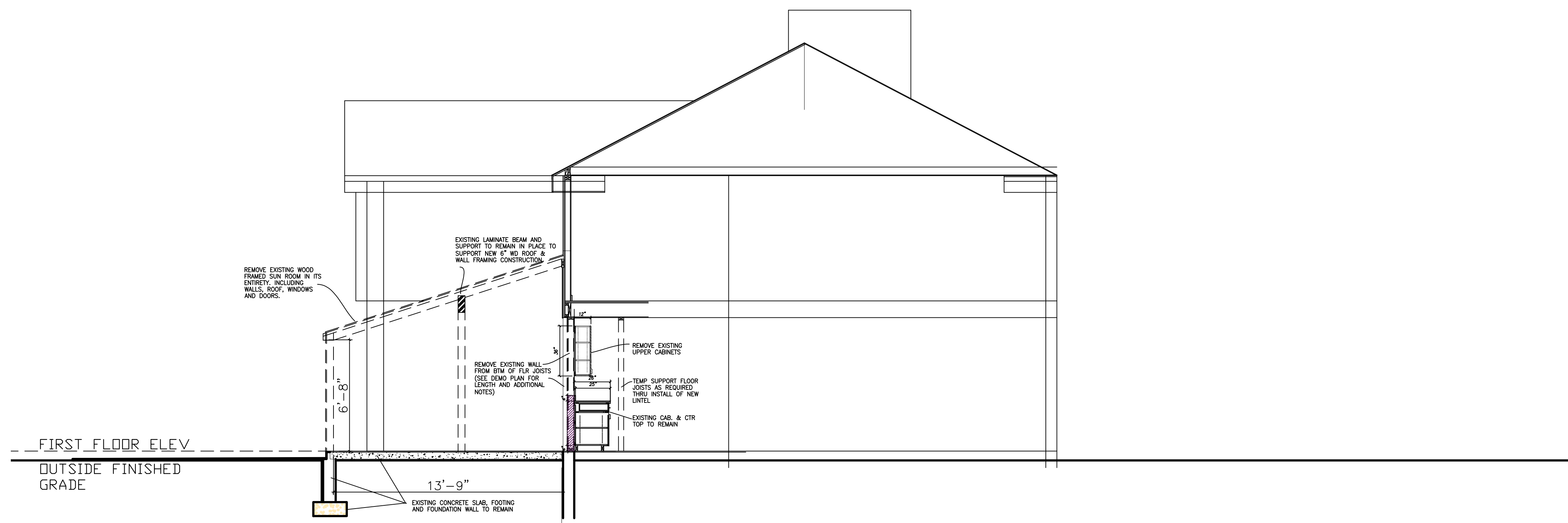
2 1/8" = 1'-0" SOUTH ELEVATION



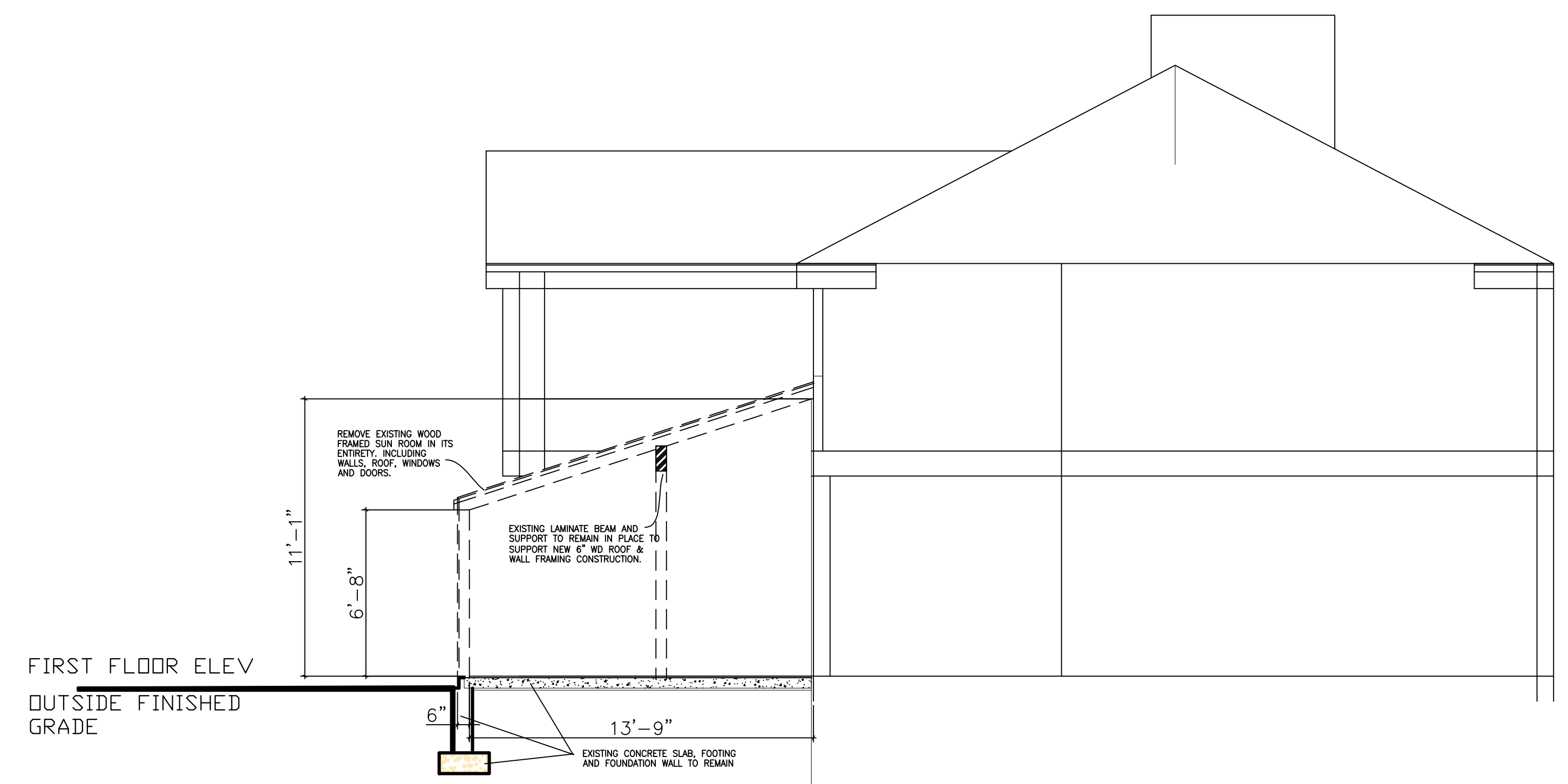
1 1/8" = 1'-0" WEST ELEVATION

4 1/8" = 1'-0" EAST ELEVATION

3 1/8" = 1'-0" NORTH ELEVATION



2 1/4" = 1'-0" DEMO BUILDING DETAIL SECTION THRU EXIST. SUN ROOM



5 1/4" = 1'-0" DEMO BUILDING SECTION THRU EXISTING SUN ROOM



7 1/4" = 1'-0" --- 8 1/4" = 1'-0" ---

KEYED NOTES

□

NEW EXTERIOR WALL CONSTRUCTION TYP.
 PLANK SIDING EXTERIOR SIDE ON AIR/WATER BARRIER ON 1/2" EXTERIOR FIRE RATED SHEATHING ON 6" WOOD FRAMING ON 3/8" TYPE X GYPSUM WALL BOARD INTERIOR SIDE WITH 5-1/2" THICK BATT INSULATION

GDG
 GONDEK DESIGN
 GROUP

REVISION

No.	DATE	DESCRIPTION
1		

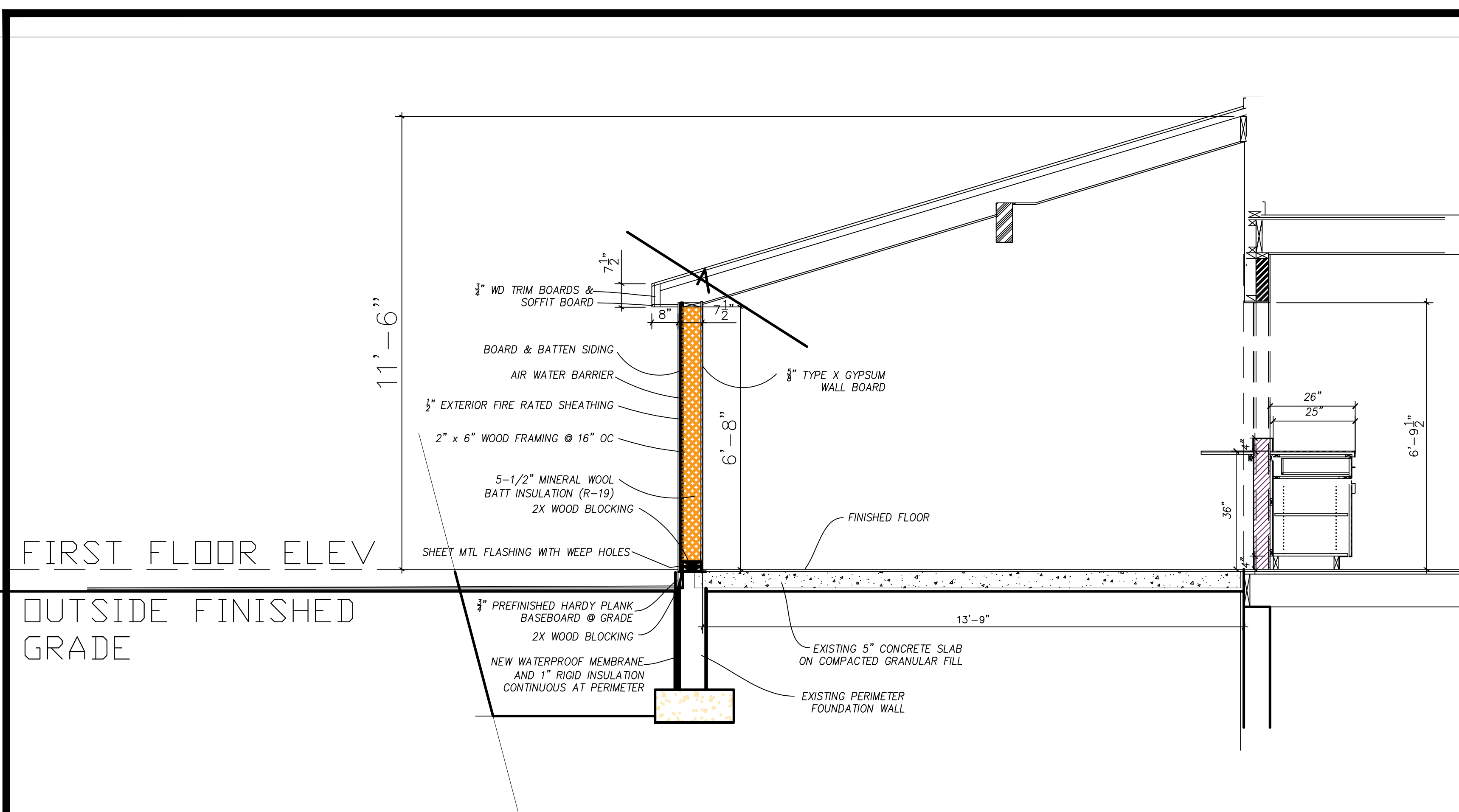
PROJECT:
BUCKLEY

AREA:

SHEET TITLE:
BUILDING SECTIONS DEMO

DRAWN BY: PG	SCALE: 1/4"=1'-0"
CHECKED BY:	DATE: 3/1/25

SHEET No.
A1-5



FIRST FLOOR ELEV

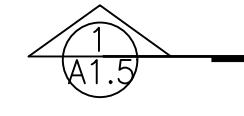
OUTSIDE FINISHED GRADE

SECTION DETAIL THRU NEW WALL & ROOF SCALE: 1/2" = 1'-0"

GENERAL NOTES:

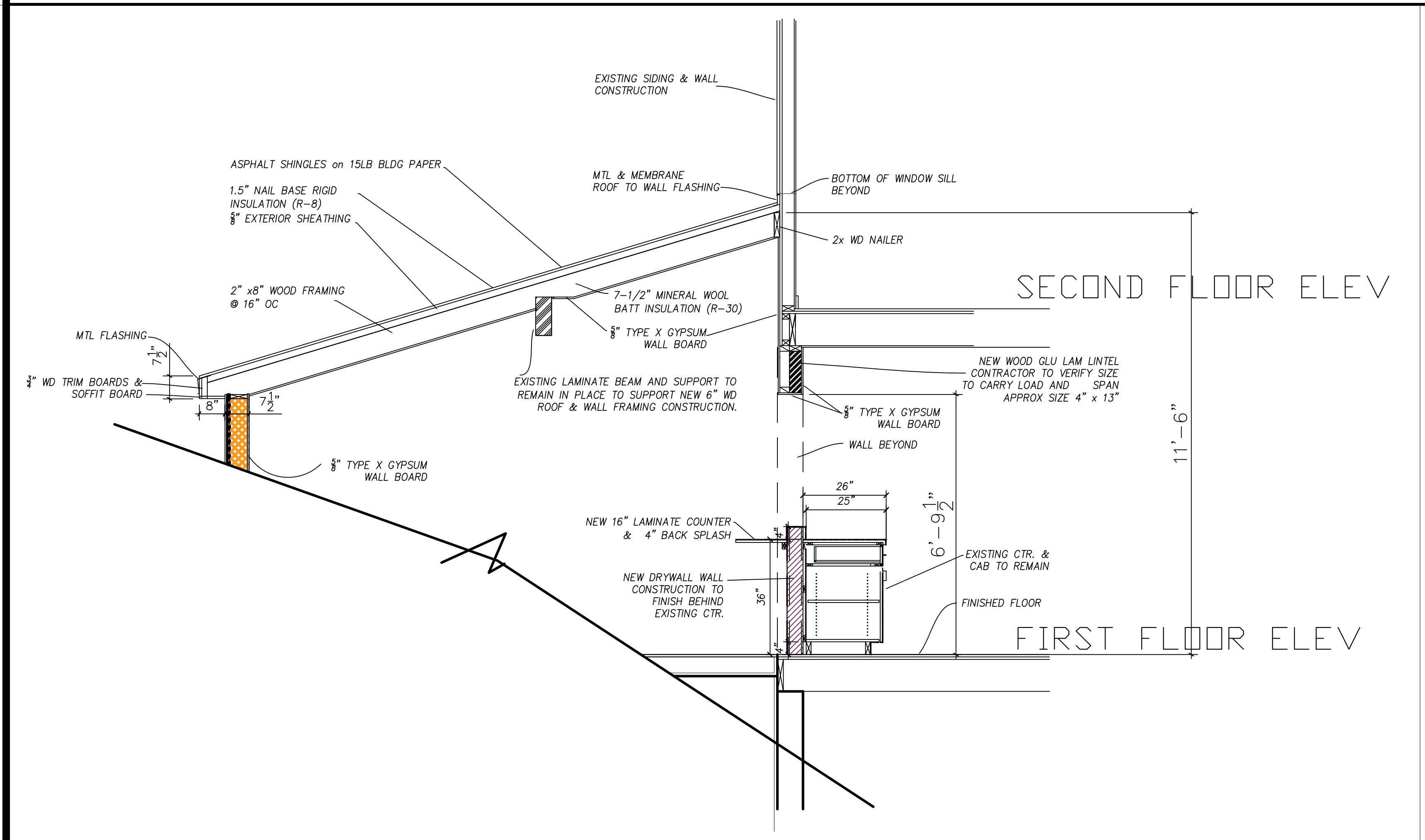
NEW EXTERIOR WALL CONSTRUCTION TYP.
 PLANK SIDING EXTERIOR SIDE ON AIR/WATER BARRIER ON 1/2" EXTERIOR FIRE RATED SHEATHING ON 6" WOOD FRAMING ON 5/8" TYPE X GYPSUM WALL BOARD INTERIOR SIDE WITH 5-1/2" THICK MINERAL WOOL BATT INSULATION (R-19)

NEW EXTERIOR ROOF CONSTRUCTION TYP.
 ASPHALT SHINGLES EXTERIOR SIDE ON 1.5" NAIL BASE INSULATION (R-8) ON 5/8" EXTERIOR FIRE RATED SHEATHING ON 8" WOOD FRAMING ON 5/8" TYPE X GYPSUM WALL BOARD INTERIOR SIDE WITH 7-1/2" THICK MINERAL WOOL BATT INSULATION (R-30)



PROJECT NORTH
 SCALE: SCALE - AS NOTED

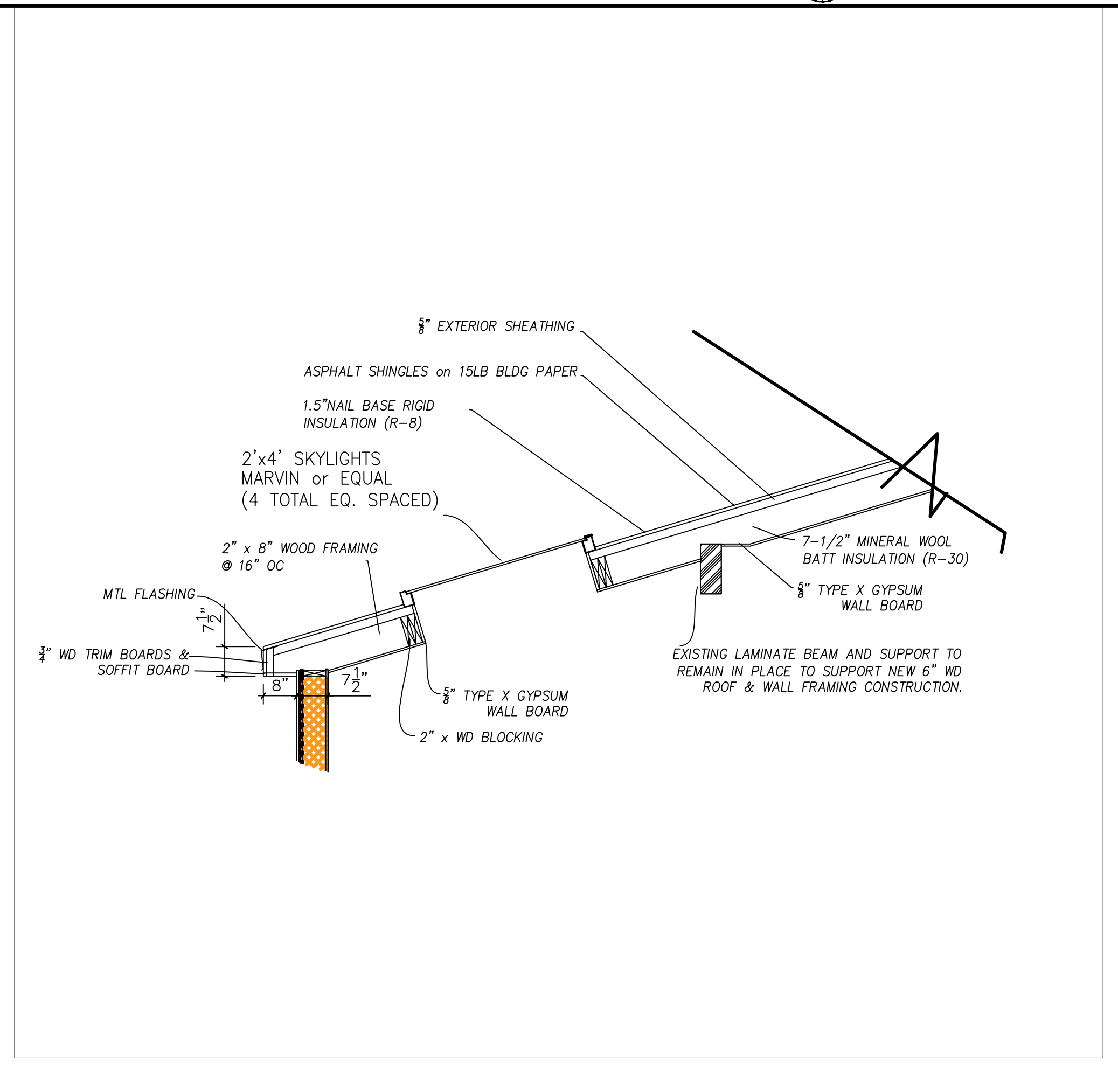
GDG
 GONDEK DESIGN GROUP



SECOND FLOOR ELEV

FIRST FLOOR ELEV

SECTION DETAIL THRU NEW WALL & ROOF SCALE: 1/2" = 1'-0"



SECTION DETAIL THRU SKYLIGHT SCALE: 1/2" = 1'-0"

REVISION

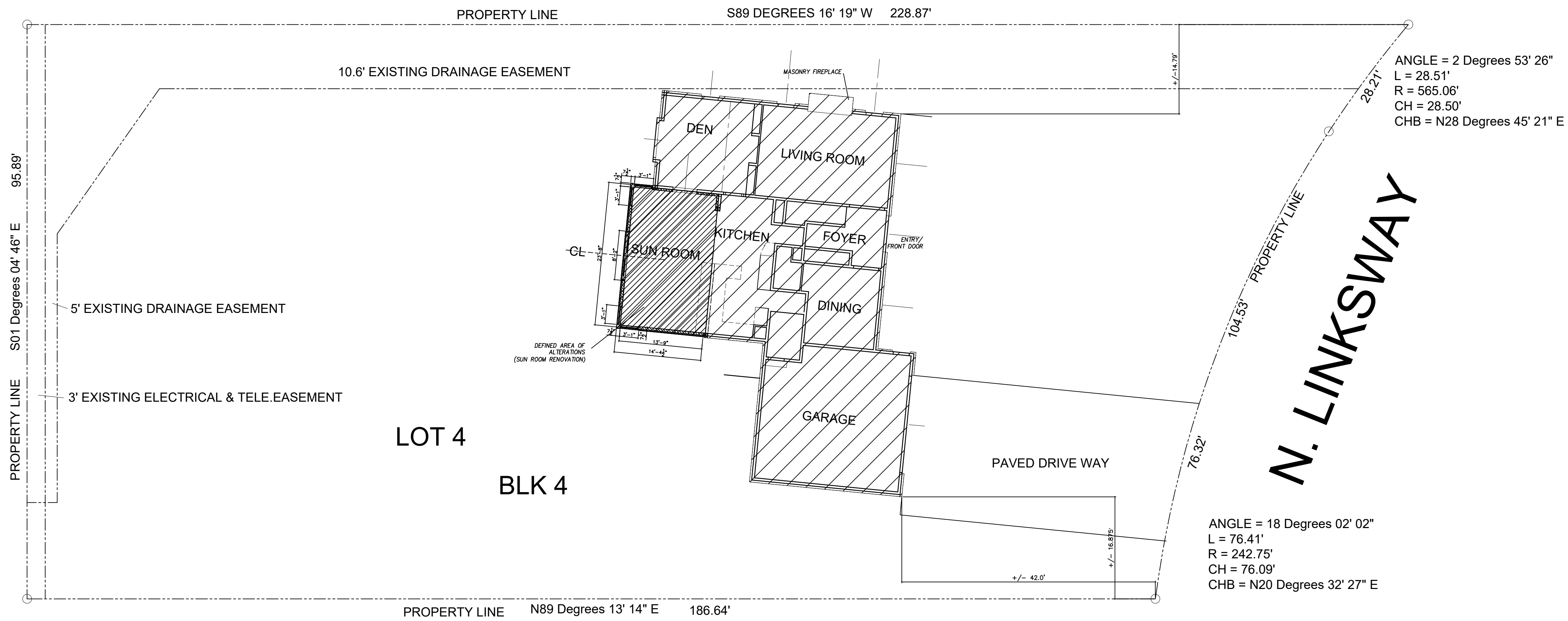
No.	DATE	DESCRIPTION

PROJECT:
 AREA:
 SHEET TITLE:

Detail Sheet

DRAWN BY: PG	SCALE: As Noted
CHECKED BY:	DATE: 3/1/25

SHEET No.
A1-6



LOT AREA - 19,219.8 SF
 (.44 AC)
 FIRST FLOOR COVERAGE- 2,267 SF
 88% OPEN SPACE ON LOT

LEGEND:

- EXISTING TO REMAIN.
- EXISTING TO BE DEMOLISHED
- NEW CONSTRUCTION
- ALIGN
- ALIGN SURFACES

LEGEND

GDG
 GONDEK DESIGN
 GROUP

REVISION		
No.	DATE	DESCRIPTION
1		

GENERAL CONSTRUCTION NOTES:

1. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AT JOB SITE PRIOR TO BID ISSUANCE/WORK COMMENCEMENT. ANY DISCREPANCIES BETWEEN JOB SITE AND DRAWINGS HEREIN SHALL BE BROUGHT TO THE ATTENTION OF OWNER
2. ALL MATERIALS FOR CONSTRUCTION SHALL BE BUILDING STANDARD, UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS INDICATED ON PLAN ARE FROM FACE OF FINISH TO FACE OF FINISH - UNLESS NOTED OTHERWISE.
- 4.
- 5.

KEYED NOTES:

- 1
- 2
- 3
- 4

PROJECT:
 AREA:
 SHEET TITLE:

DRAWN BY: PG	SCALE: 3/32" = 1'-0"
CHECKED BY: PG	DATE: 3/1/25

SHEET No.
A1.7







VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B-_____

OFFICE USE ONLY
Issued Date
Zoning

BUILDING PERMIT

Job Address 6831 N Lake Dr, Fox Point WI 53217	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work First Floor Remodel, Exterior Alterations	
Estimated Cost of Project \$ 650,000	

Owner/Occupant	
Business Name	Contact Name Jennie & Chris Spies
Address 6831 N Lake Dr	City/State/Zip Fox Point, WI 53217
Phone J: 414-550-2380 / C: 414-704-4602	Email jennieg15@aol.com / ckspies@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Refined Renovations	Contact Name Emma Harris
Address 9730 W Bluemound Rd, Ste 10	City/State/Zip Wauwatosa WI 53226
Phone 262-422-5584	Email emma@refinedrenovations.com
Dwelling Contractor # 040000055	Dwelling Contractor Qualifier # 090703275

Square Footage Under Construction				
1 st Floor 2,148 sqft	2 nd Floor _____	Basement _____	Addition _____	Garage _____

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	\$6,500
Building Board	\$75.00	\$75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		_____
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		_____
State Seal	\$75.00	_____
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	_____
Moving buildings \$250.00 plus	\$0.13/sqft	_____
Fuel tanks - Per 1,000 gallons	\$25.00	_____
Re-inspection	\$100.00	_____
Work started without permit	Double	_____
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ 6,575.00

Applicant Signature Date 03-26-2025

Rev 01/22

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

BUILDING BOARD

Building Board typically meets on the second Wednesday of every month at 5:00 p.m. The application deadline is 12:00 p.m., two Fridays prior to the meeting. All applications must be complete and include the proper filing fee.

Building Board meetings will be held via Zoom. **Building Board agenda with the Zoom address will be posted on the website under Agendas & Minutes.**

Examples of projects that must appear before the Building Board: New Construction, Additions, Exterior Improvements, Detached Garage, Decks, Sheds > 100 sq. ft., Window Replacement, New Doors, Patio Doors, Pools, Signs, and Solar Systems.

Complete Building Board Applications must include:

- One set of drawings** to 1/4 inch scale on 24" x 36" maximum size sheets. These shall include all elevations, floor plans, foundation plan, and cross sections.
 - Elevation Drawings shall include all proposed elevations of the building, even if changes to the elevation are not proposed. This is to ensure consistency of all elevations. In cases where a building element may be skewed from another, it may be necessary to draw more than the four primary elevations of the building to clearly explain the intent of the design. All building elevations must be fully dimensioned to indicate heights above grade for all components. If the project is a building addition or remodeling, the original structure should be clearly illustrated as new building versus existing structure.
 - The complete existing elevation should be shown in all cases of additions and remodeling. All building materials must be identified and noted on each elevation drawing. This is to include, but not limited to, type and size of siding, type and size of masonry, window type size and material, roofing material, fascia, rakes, soffits, eaves, and flashing materials. It is recommended to bring material samples and colors.
 - Dimensioned floor plans shall include all floor plans of the proposed building. Each plan must include complete dimensions, and include room names for each space. In the case of an addition, each room shall be tagged either existing or new. In the case where there is a detached garage, a separate plan, fully dimensioned, for the garage must be included.
- Color photos** that includes all elevations of existing home and any accessory structures on the property.
- ~~Survey less than one year old or an accurate survey~~ showing all existing buildings, decks, in-ground pools, hardscaping and any non-pervious paving, prepared by a certified surveyor registered by the State of Wisconsin. **Required for Additions, Accessory Structures, Decks, New Construction, In-ground Pools/Hot Tubs (and pads for above-ground hot tubs), and Solar Panels (Ground mount only).** This must include all property lines with distances bearings, North arrow, exact location of all existing and proposed buildings, parking areas, drives, public improvements, easements, and other key features of the site. Show distances from front, rear and side property lines.
- ~~Site plan include a North arrow and dimensions.~~ **Required for Additions, Accessory Structures, Decks, New Construction, In-ground Pools/Hot Tubs, and Solar Panels (Ground mount only).** This document must include all property lines, utility and access easements, zoning setbacks, exact location of all existing and proposed buildings or additions including roof overhangs, all hard surfaced areas (parking areas, drives, patios, sidewalks, etc.), swimming pools, and other accessory structures.
- ~~Open area calculation required for Additions, Accessory Structures, Decks, New Construction, In-ground Pools/Hot Tubs, and Solar Panels (Ground mount only).~~
- One Electronic copy of entire Building Board packet** emailed to mrakow@villageoffoxpoint.com
- Completed Building Permit Application.**
- Building Board Fee \$75.00** payable to the Village of Fox Point.

A REPRESENTATIVE MUST ATTEND BUILDING BOARD MEETING

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061262

Mar 26, 2025

6831 N LAKE DR

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING BOARD - FEE	
LICENSES & PERMITS - BUILDING PERMIT	6,500.00
24-44460 BUILDING PERMIT	

Total:	6,575.00
--------	----------

CHECK	Check No: 25819	6,575.00
	Payor: REFINED RENOVATIONS	

Total Applied:	6,575.00
----------------	----------

Change Tendered:	.00
------------------	-----

03/26/2025 3:49 PM

SPIES RESIDENCE RENOVATION

6831 N Lake Drive, Fox Point, WI 53217



REFINED
RENOVATIONS

9730 Bluemound Rd, Ste. 10
Wauwatosa, WI 53226
TEL: 262.441.0619
www.refinedrenovations.com

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1 EXISTING EXTERIOR - STREET VIEW
SCALE: N.T.S.



2 EXISTING EXTERIOR - NORTH VIEW
SCALE: N.T.S.



3 EXISTING EXTERIOR - NORTH VIEW
SCALE: N.T.S.



4 EXISTING EXTERIOR - NORTH VIEW
SCALE: N.T.S.



5 EXISTING EXTERIOR - EAST VIEW
SCALE: N.T.S.



6 EXISTING EXTERIOR - EAST VIEW
SCALE: N.T.S.



7 EXISTING EXTERIOR - EAST VIEW
SCALE: N.T.S.



8 EXISTING EXTERIOR - EAST VIEW
SCALE: N.T.S.



9 EXISTING EXTERIOR - SOUTH VIEW
SCALE: N.T.S.



10 EXISTING EXTERIOR - SOUTH VIEW
SCALE: N.T.S.



11 EXISTING EXTERIOR - SOUTH VIEW
SCALE: N.T.S.



12 EXISTING EXTERIOR - WEST VIEW
SCALE: N.T.S.

PROJECT INFO/LOCATION:

The Spies Residence

6831 N Lake Dr, Fox Point, WI 53217

DATE:
3/25/2025

SHEET NAME:
EXISTING EXTERIOR
PHOTOS

SHEET SIZE:
24"x36"

SHEET NUMBER:

A0.0



REFINED RENOVATIONS

9730 Bluemound Rd, Ste. 10
Wauwatosa, WI 53226
TEL: 262.441.0619
www.refinedrenovations.com

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PROJECT INFO/LOCATION:

The Spies Residence

6831 N Lake Dr, Fox Point, WI 53217

DATE:

3/25/2025

SHEET NAME:

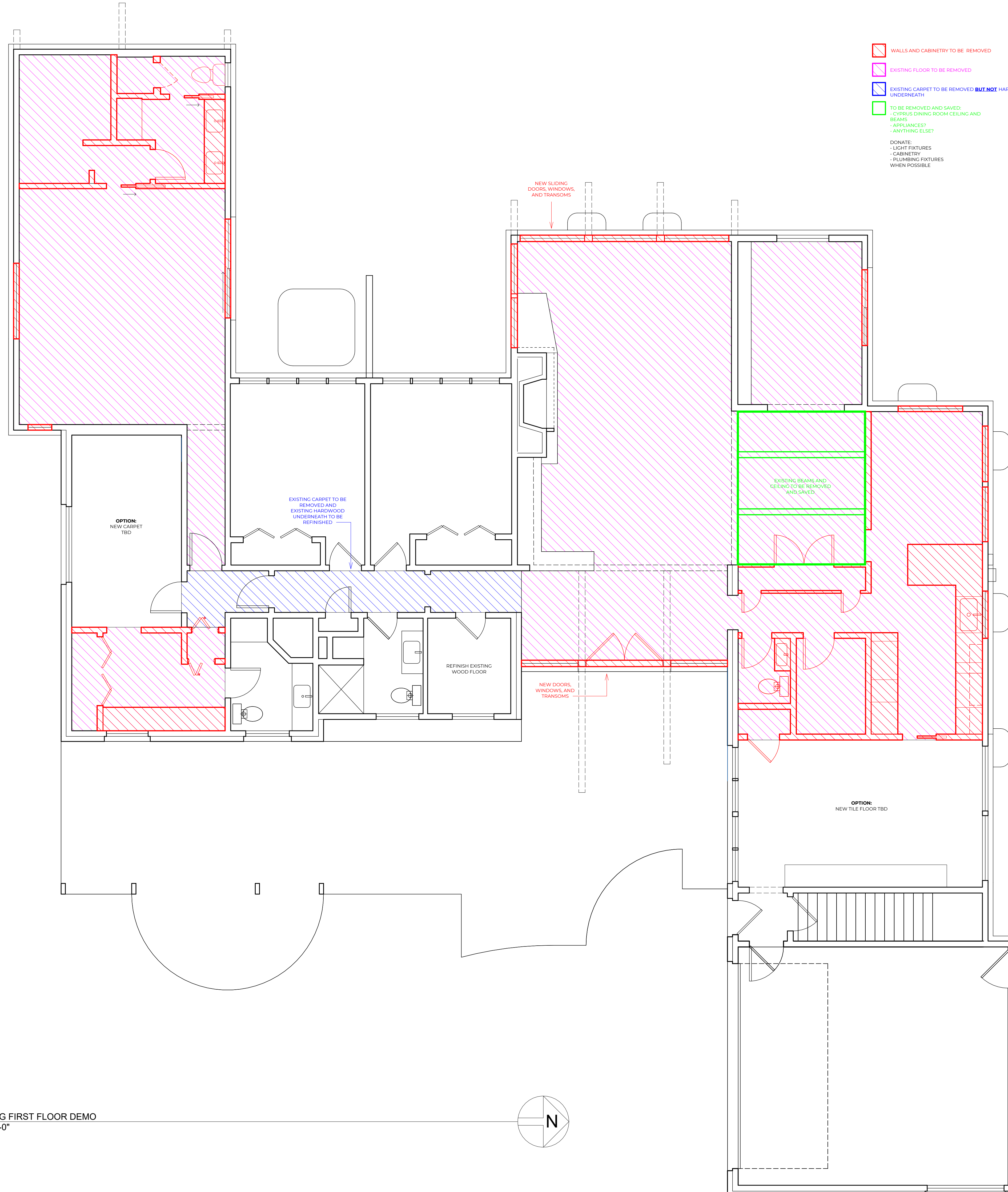
DEMO PLAN

SHEET SIZE:

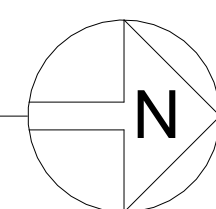
24"x36"

SHEET NUMBER:

A1.0 D



1 EXISTING FIRST FLOOR DEMO
1/4" = 1'-0"





**RACINOWSKI
DESIGN
STUDIO**

7360 NORTH SENECA ROAD
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W: www.racydesign.com

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CLIENT / OWNER:
Jennifer and Christopher Spies

The Spies Residence Whole House Renovation

6831 North Lake Drive (Service Rd), Fox Point, WI 53217

PROJECT INFO / LOCATION:

DATE:
12/30/2024

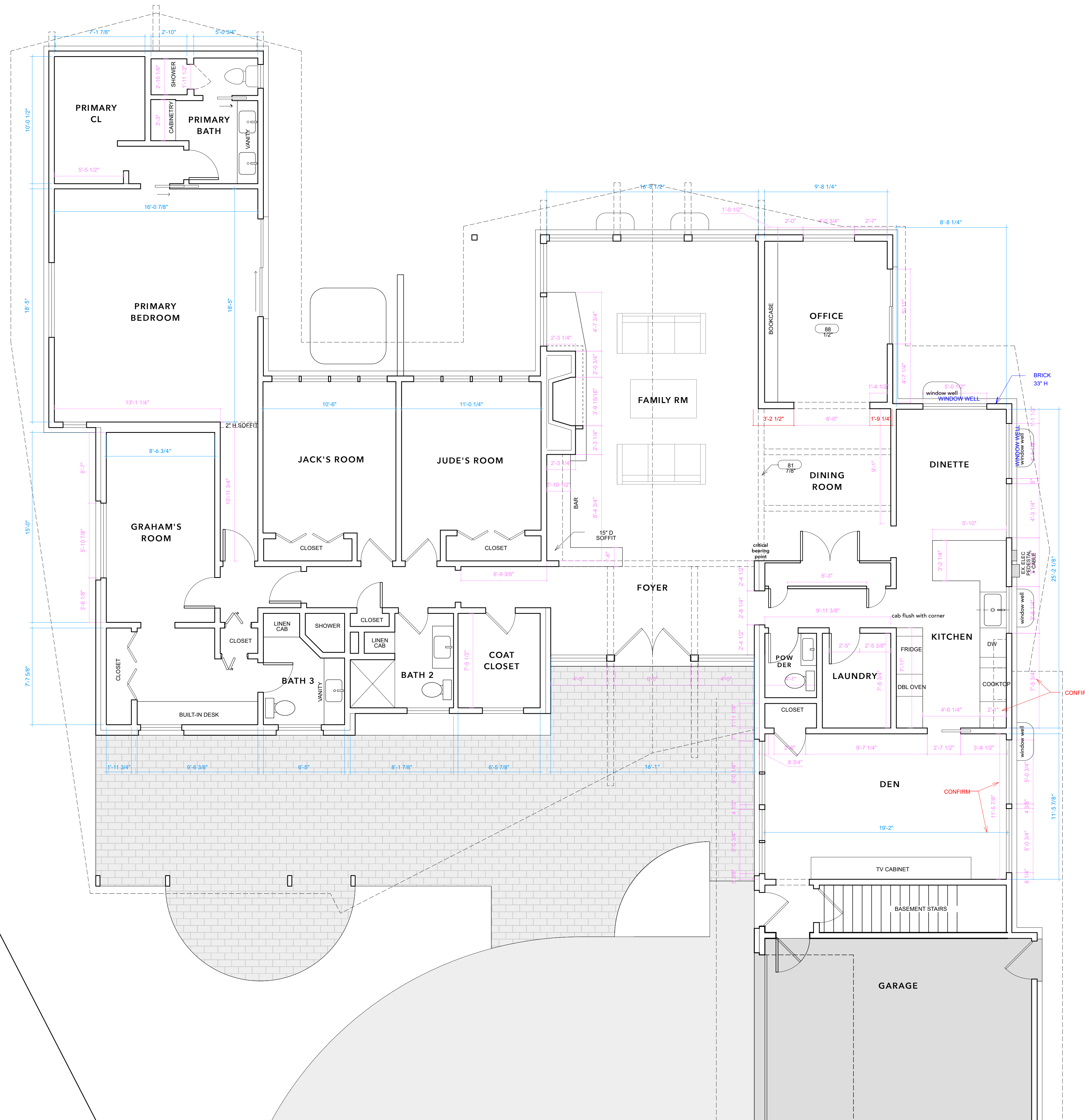
REVISIONS:
1
2

SHEET TITLE:

**Existing
1st Floor Plan**

SHEET: 36X24

A1.0





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The Spies Residence

6831 N Lake Dr, Fox Point, WI 53217

PROJECT INFO/LOCATION:

DATE:
3/25/2025

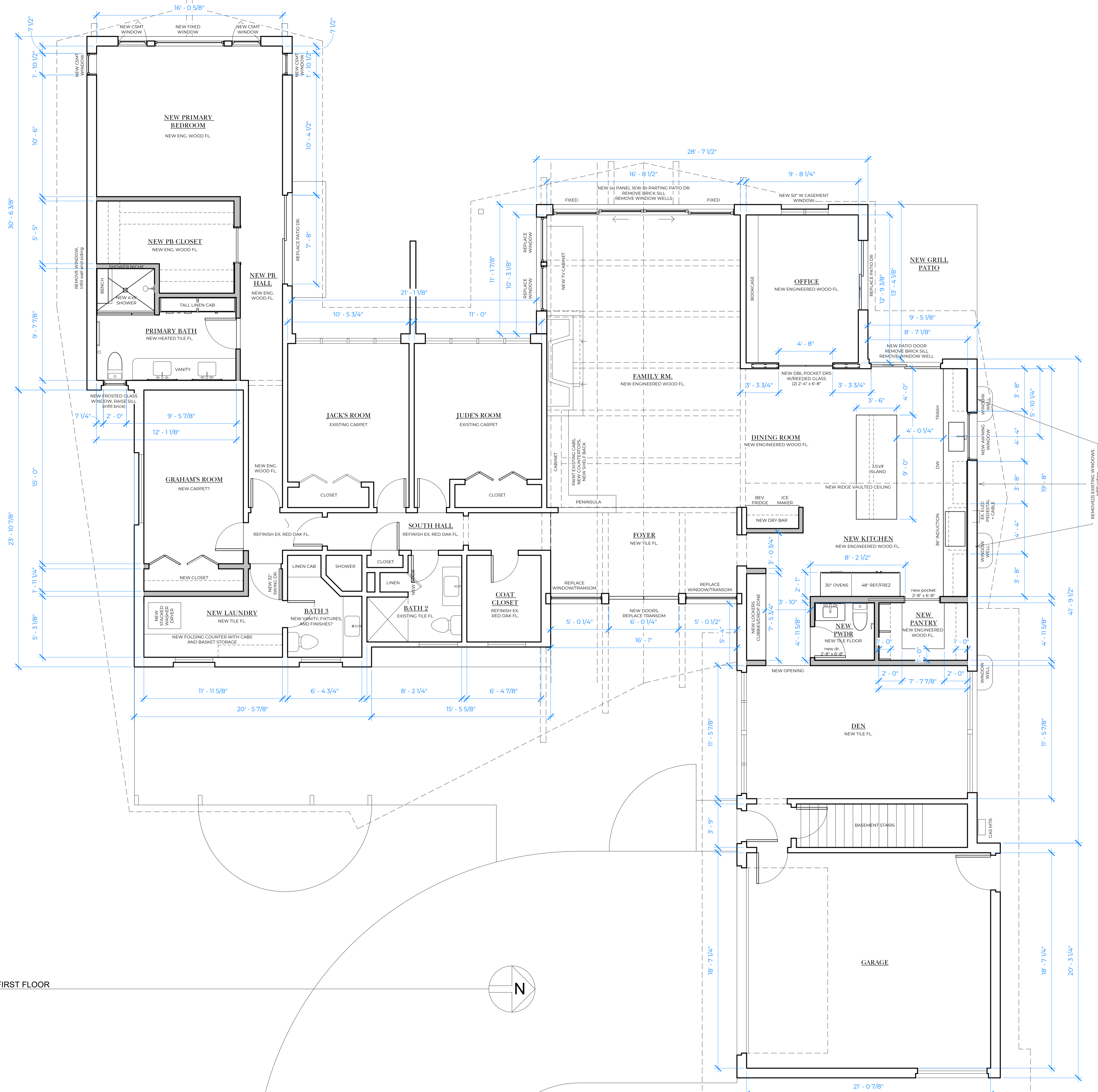
SHEET NAME:
NEW FLOOR PLAN

SHEET SIZE:
24"x36"

SHEET NUMBER:

A1.1

1 PROPOSED FIRST FLOOR
1/4" = 1'-0"





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PROJECT INFO/LOCATION:

The Spies Residence

6831 N Lake Dr, Fox Point, WI 53217

DATE:

3/25/2025

SHEET NAME:

ELECTRICAL PLAN

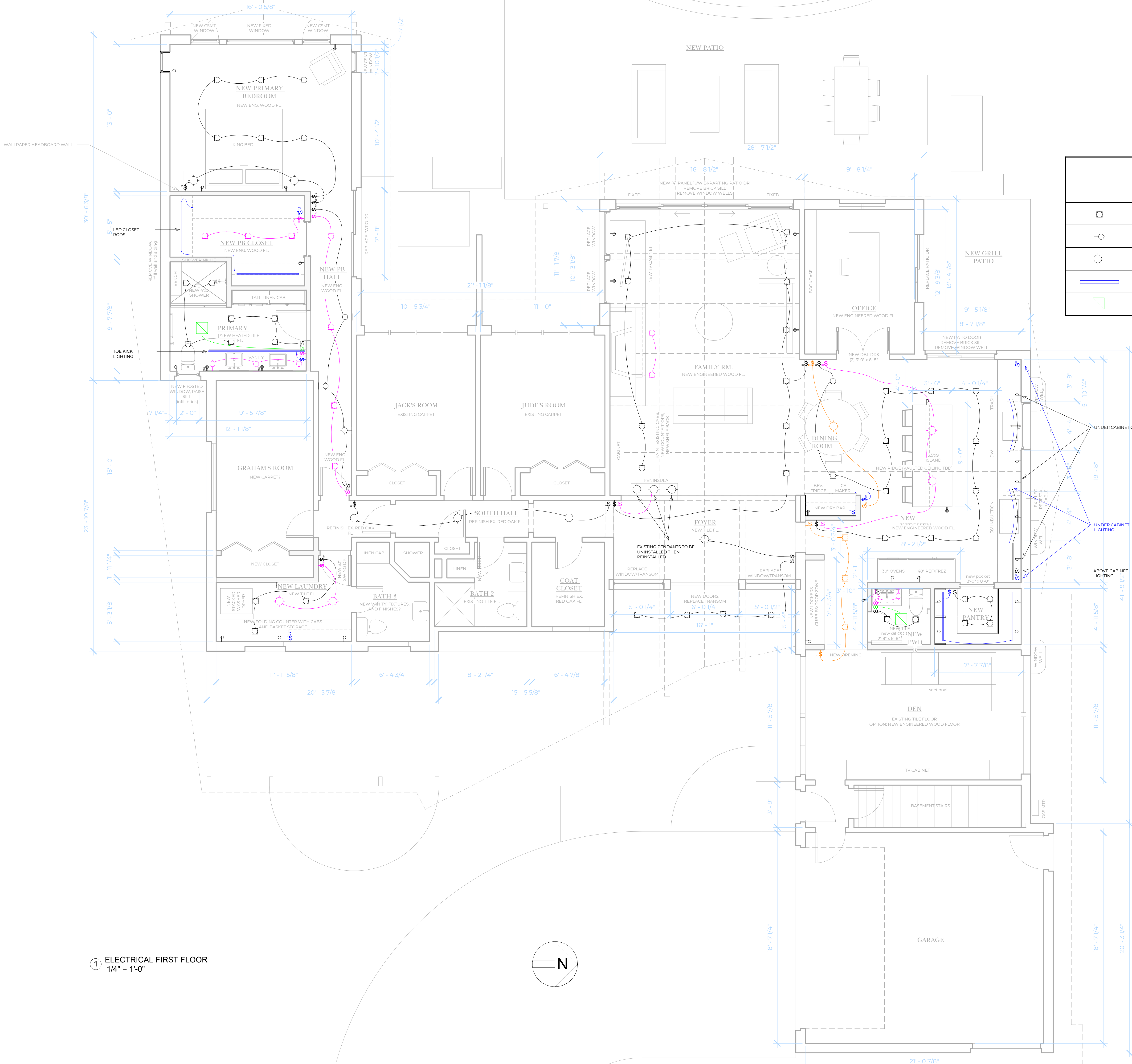
SHEET SIZE:

24"x36"

SHEET NUMBER:

A1.2

ELECTRICAL KEY			
	3" Recessed Can Light		Outlet
	Wall Sconce		Outlet, Ground Fault Circuit Interrupter
	Ceiling Pendant		Single Pole Switch
	LED Strip Light		3-Way Switch
	Vent Fan		Dimmer Switch



Perform the new electrical work as follows, as per plan:
 Procure the Electrical Permit
 Remove or re-route wiring as necessary
 Switch/receptacle trim finishes per plan
 New receptacles to be "tamper resistant" and install "arc fault" breakers for required circuits per 2008 NEC
 Provide and install new receptacles as necessary per code.

Foyer
 Wire & install (1) decorative ceiling pendant, operated by (1) Buster & Punch switch
 Supply & install (4) 3" LED recessed can lights at Exterior entry overhang, operated by (1) Buster & Punch switch

Family Room
 Supply & install (0) 3" LED recessed can lights, operated by (2) Buster & Punch switches
 Supply & install (2) 3" LED directional recessed can lights at fireplace, operated by (1) Buster & Punch switch
 Supply & install (2) receptacles
 Supply & install (2) receptacles inside TV cabinet

Dining Room
 Supply & install (2) 3" LED recessed can lights, operated by (2) Buster & Punch switches
 Wire & install (1) decorative ceiling pendant, operated by (2) Buster & Punch switches

Dining Dry Bar
 Supply & install (1) LED under cabinet strip light, operated by (1) Buster & Punch switch
 Supply & install (1) receptacle at backplash

Kitchen
 Supply & install (0) 3" LED recessed can lights, operated by (2) Buster & Punch switches
 Wire & install (2) decorative ceiling pendants, operated by (2) Buster & Punch switches
 Supply & install receptacles for (1) refrigerator/freezer, (2) wall ovens, (1) induction cooktop, (1) dishwasher
 Supply & install (3) GFCI under cabinet receptacle strips
 Supply & install (2) receptacles at island
 Supply & install (3) LED under cabinet strip lights, operated by (1) under cabinet switch
 Supply & install (3) LED above cabinet strip lights, operated by (1) under cabinet switch

Pantry
 Supply & install (4) 3" LED recessed can lights, operated by (1) switch
 Wire & install (2) LED under cabinet strip lights, operated by (1) switch
 Supply & install receptacles for (1) microwave
 Supply & install (4) receptacles

Powder Room
 Supply & install (2) 3" LED recessed can lights, operated by (1) switch
 Wire & install (2) decorative sconces, operated by (1) switch
 Supply & install (1) bath fan, operated by (1) switch
 Supply & install (1) GFCI receptacle

Mudroom
 Supply & install (3) 3" LED recessed can lights, operated by (1) switch, and (1) Buster & Punch switch
 Supply & install (1) receptacle

South Hall
 Wire & install (1) decorative ceiling pendants, operated by (1) switch, and (1) Buster & Punch switch

Laundry
 Wire & install (2) decorative ceiling pendants, operated by (1) switch
 Supply & install (3) 3" LED recessed can lights, operated by (1) switch
 Supply & install (1) LED under cabinet strip lights, operated by (1) under cabinet switch
 Supply & install (1) under cabinet receptacle strip
 Supply & install (3) receptacles
 Supply & install receptacles for stacked washer/dryer

Primary Bedroom Hall
 Supply & install (4) 3" LED recessed can lights, operated by (2) switches
 Wire & install (3) decorative sconces, operated by (2) switches

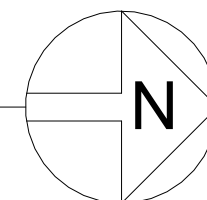
Primary Bathroom
 Supply & install (7) 3" LED recessed can lights, operated by (1) switch
 Wire & install (3) decorative sconces, operated by (1) switch
 Supply & install (2) LED toe kick strip lights, operated by (1) switch
 Supply & install (1) bath fan, operated by (1) switch
 Supply & install (2) GFCI receptacles
 Supply & install (1) receptacle for smart toilet

Primary Closet
 Supply & install (3) 3" LED recessed can lights, operated by (1) switch
 Supply & install (4) LED closet rods, operated by (1) switch
 Supply & install (1) receptacle

Primary Bedroom
 Supply & install (6) 3" LED recessed can lights, operated by (1) switch
 Wire & install (2) decorative sconces, operated by (2) switches
 Supply & install (4) receptacles

* OPTION OUT:
 BATH 3
 Supply & install (6) 3" LED recessed can lights, operated by (1) switch
 Wire & install (2) decorative sconces, operated by (1) switch
 Supply & install (1) bath fan, operated by (1) switch
 Supply & install (2) GFCI receptacles

1 ELECTRICAL FIRST FLOOR
1/4" = 1'-0"





FRONT - East Elevation



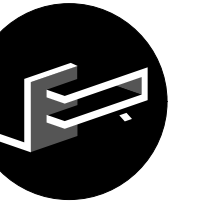
FRONT - Southeast Elevation



FRONT ENTRANCE - East Elevation



SIDE - South Elevation



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TEL: 262.441.0619
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CLIENT / OWNER:
Jennifer and Christopher Spies

PROJECT INFO / LOCATION:
**The Spies Residence
Whole House Renovation**
6831 North Lake Drive (Service Rd), Fox Point, WI 53217

DATE:
3/25/2025

REVISIONS:
△
△
△

PERMIT SET

SHEET TITLE:
Renderings

SHEET: 36X24

A2.0



BACK - West Elevation



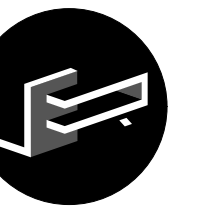
BACK Living Room Wall - West Elevation



SIDE - Northwest Elevation



BACK Primary Suite Wall - West Elevation



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6831 North Lake Drive (Service Rd), Fox Point, WI 53217

DATE:
3/25/2025

REVISIONS:
△
△

PERMIT SET

SHEET TITLE:
Renderings

SHEET: 36X24

A2.1



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PROJECT INFO / LOCATION:

**The Spies Residence
Whole House Renovation**
6831 North Lake Drive (Service Rd), Fox Point, WI 53217

DATE:
3/25/2025

REVISIONS:

①
②

PERMIT SET

SHEET TITLE:
**Exterior
Elevations**

SHEET: 36X24

A3.1



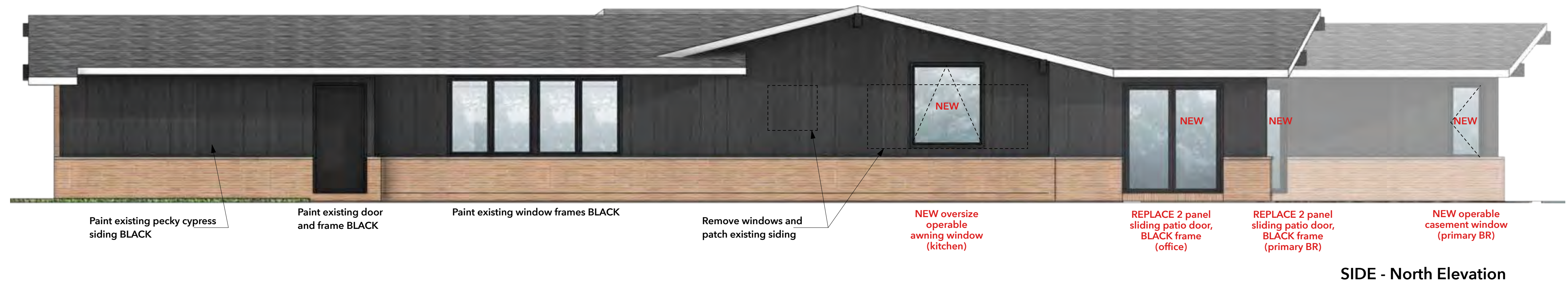
FRONT - East Elevation



BACK - West Elevation



SIDE - South Elevation



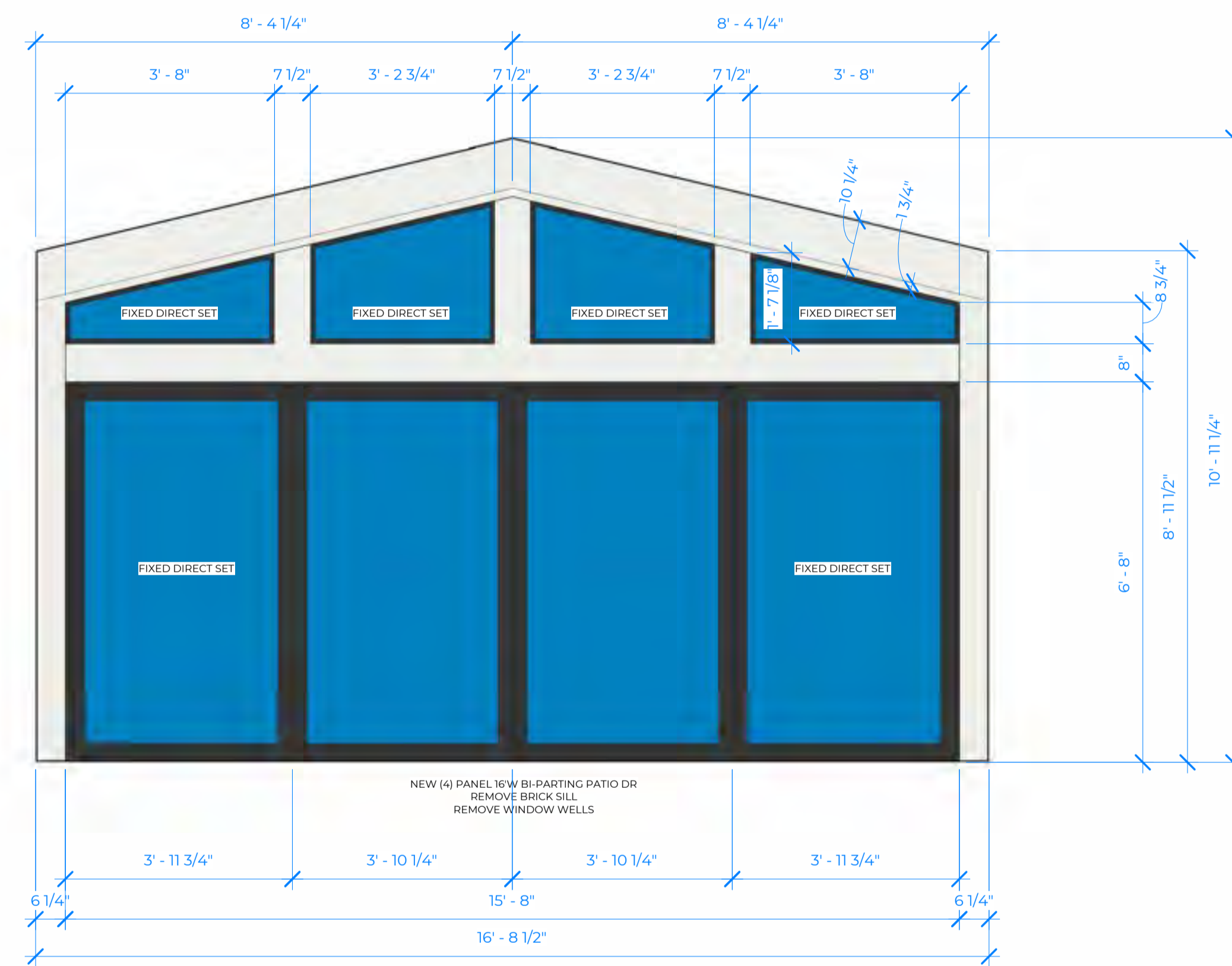
SIDE - North Elevation



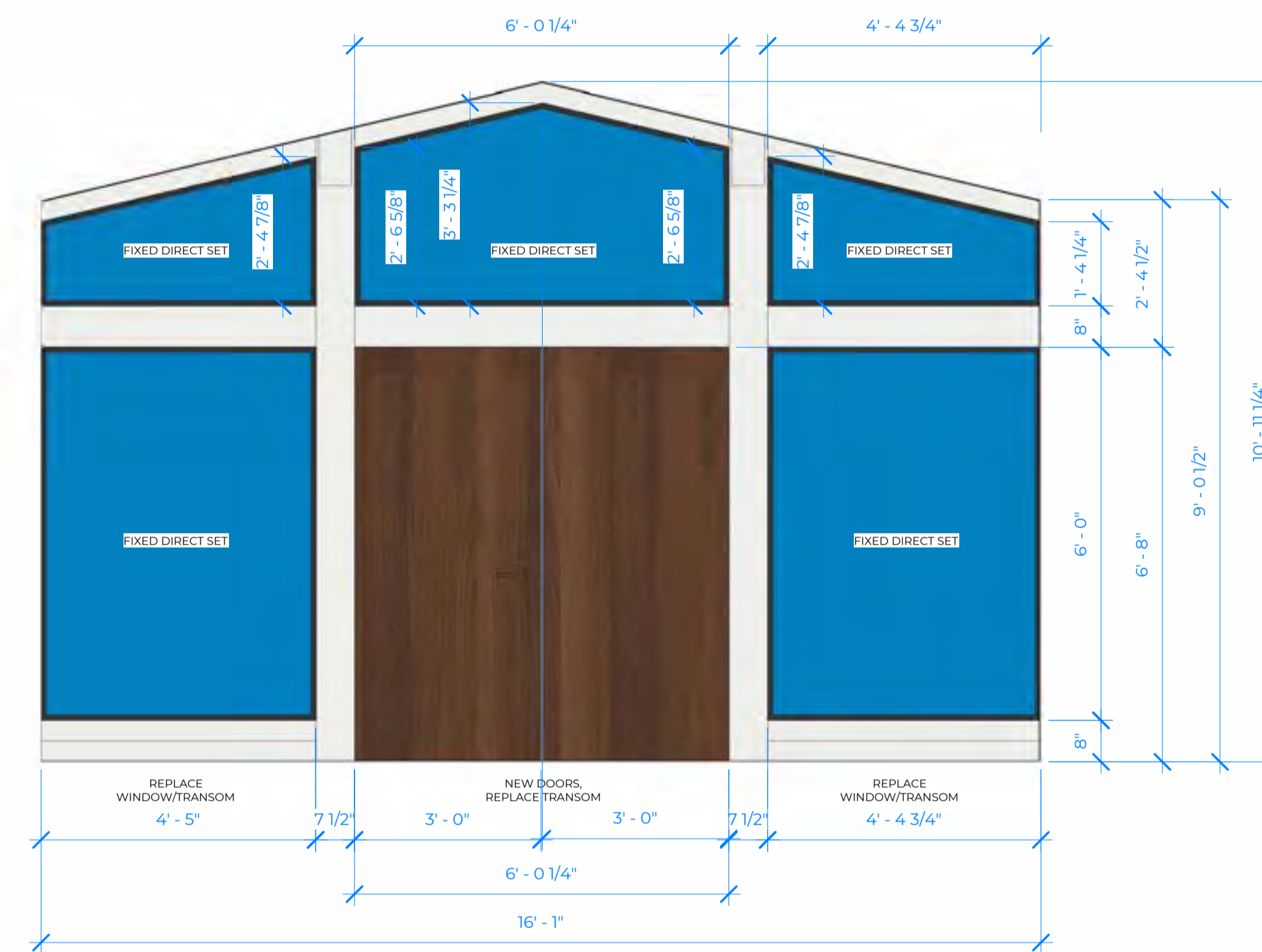
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1 INTERIOR - WEST FAMILY ROOM ELEVATION
1/2" = 1'-0"



2 INTERIOR EAST FOYER ELEVATION
1/2" = 1'-0"

PROJECT INFO/LOCATION:

The Spies Residence

6831 N Lake Dr, Fox Point, WI 53217

DATE:
3/25/2025

SHEET NAME:
FOYER & LIVING ROOM INTERIOR ELEVATIONS

SHEET SIZE:
24"x36"

SHEET NUMBER:

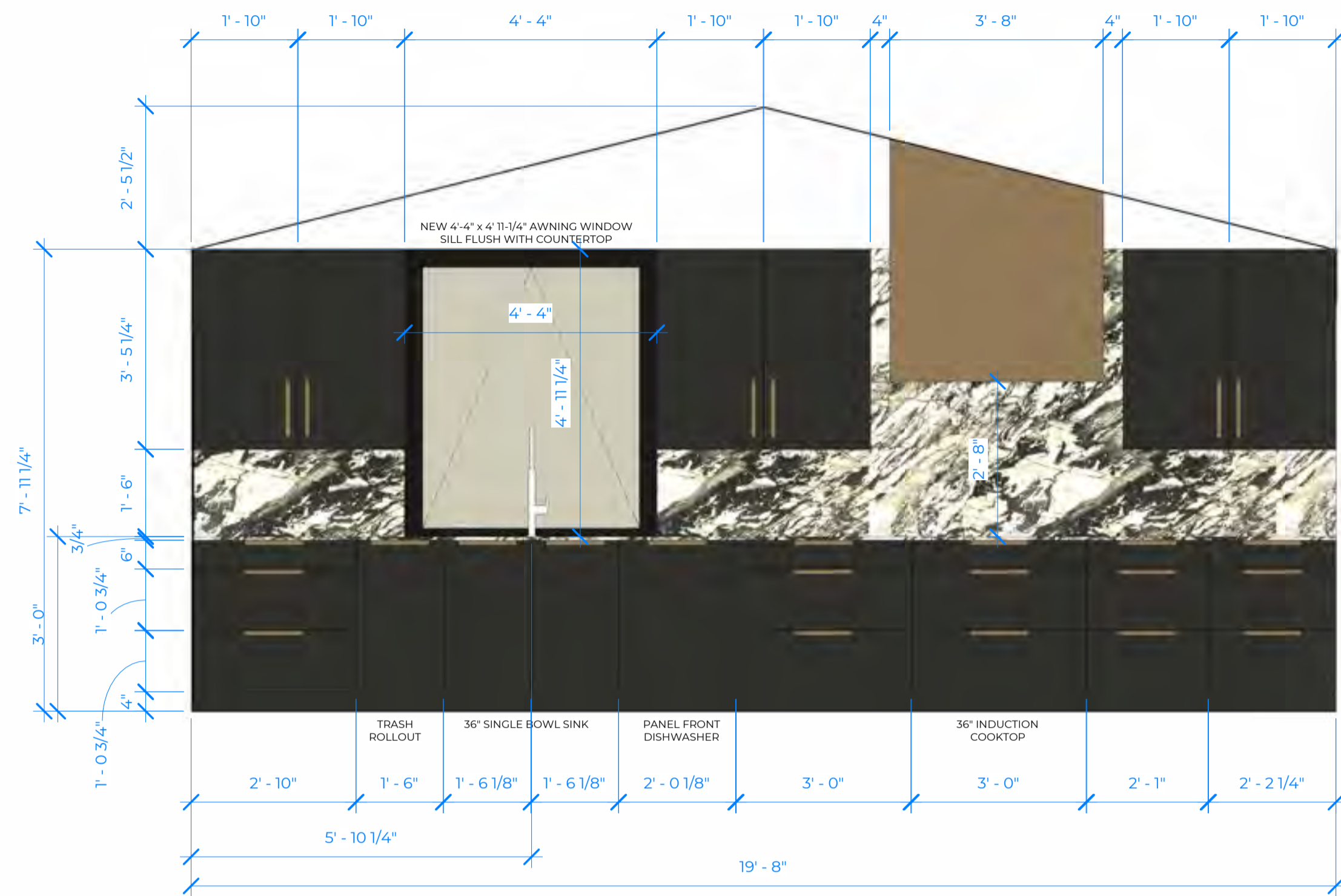
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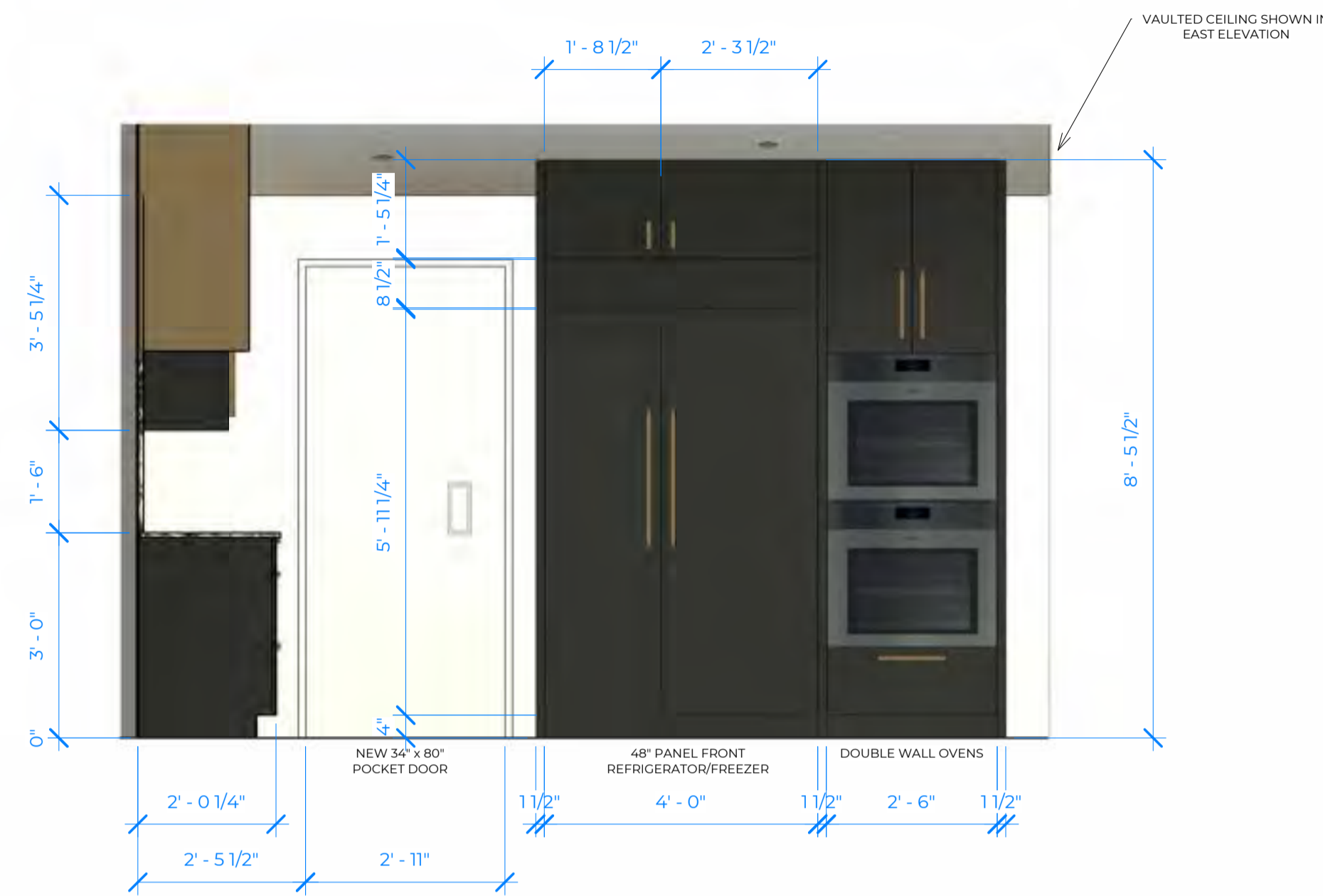
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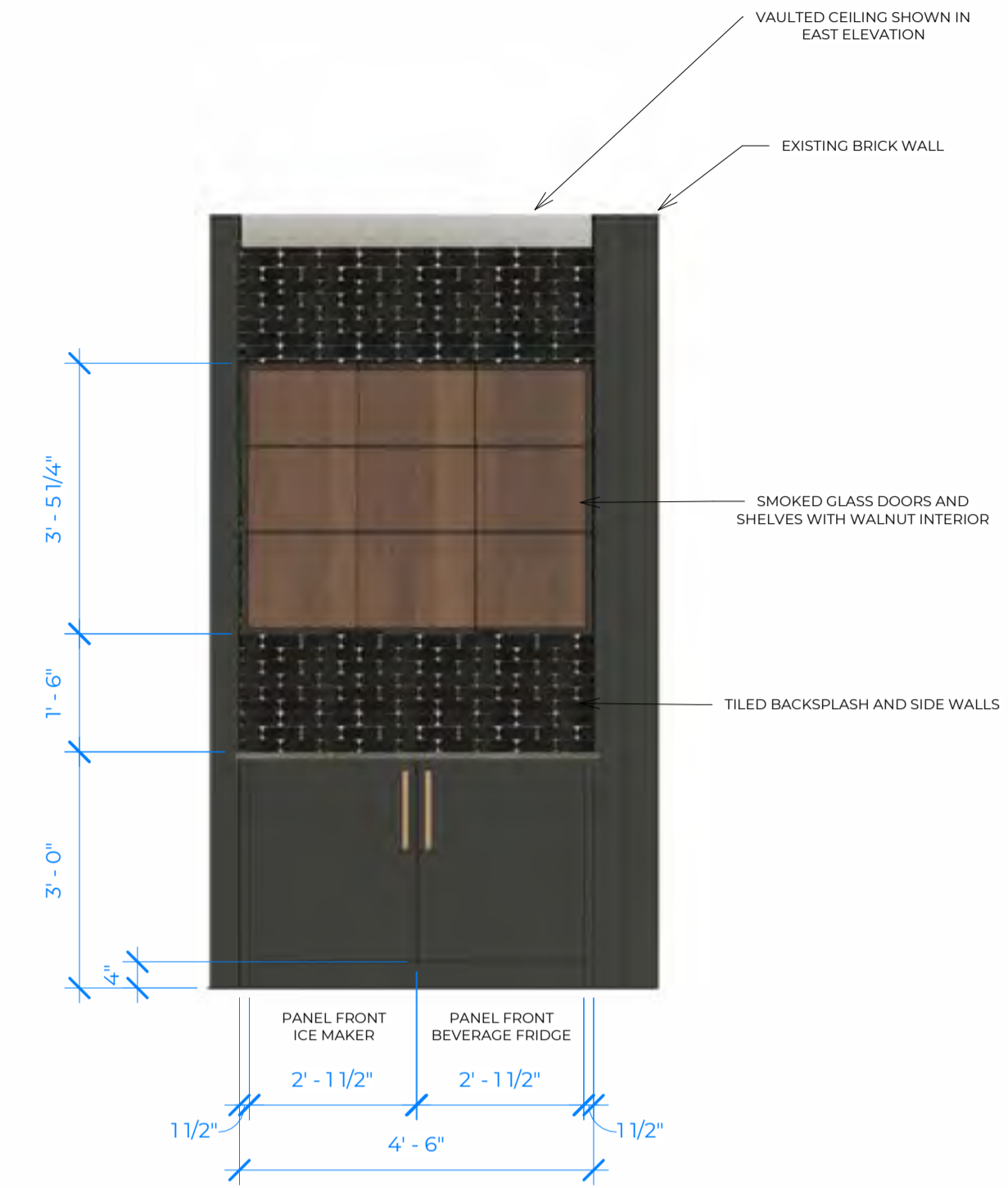
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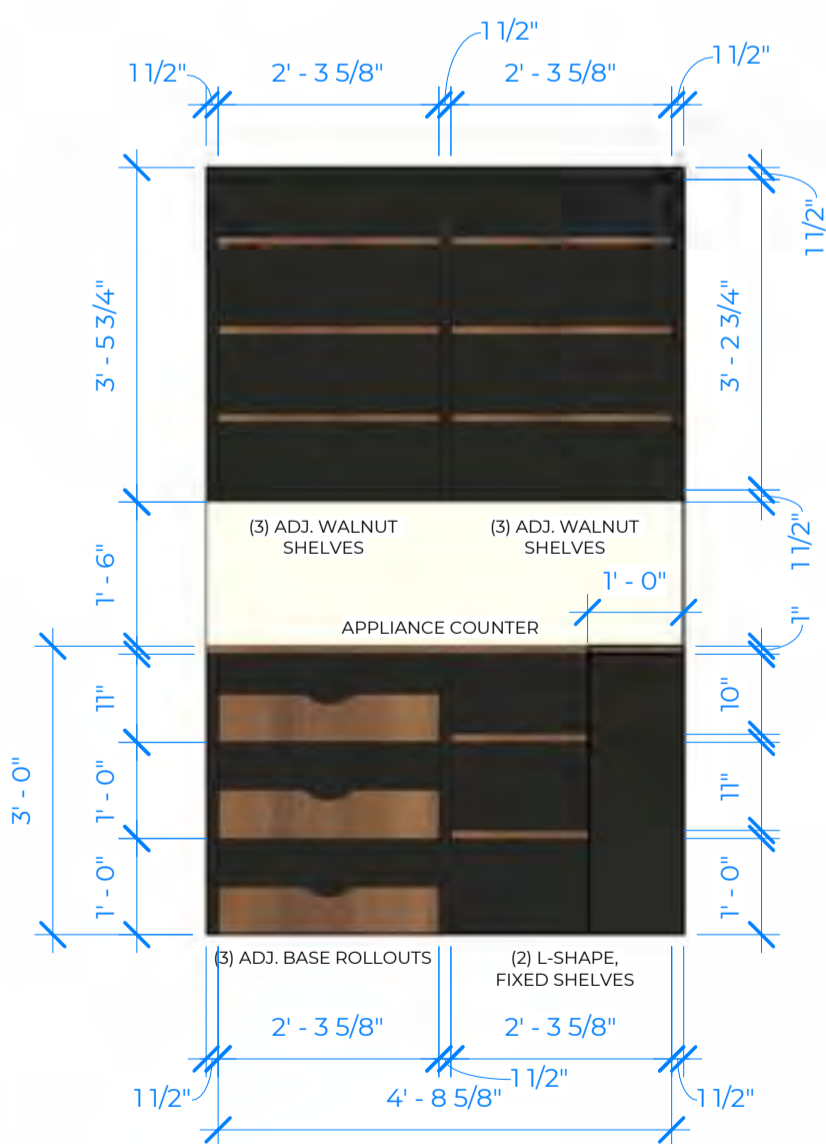
6 NORTH KITCHEN ELEVATION
1/2" = 1'-0"



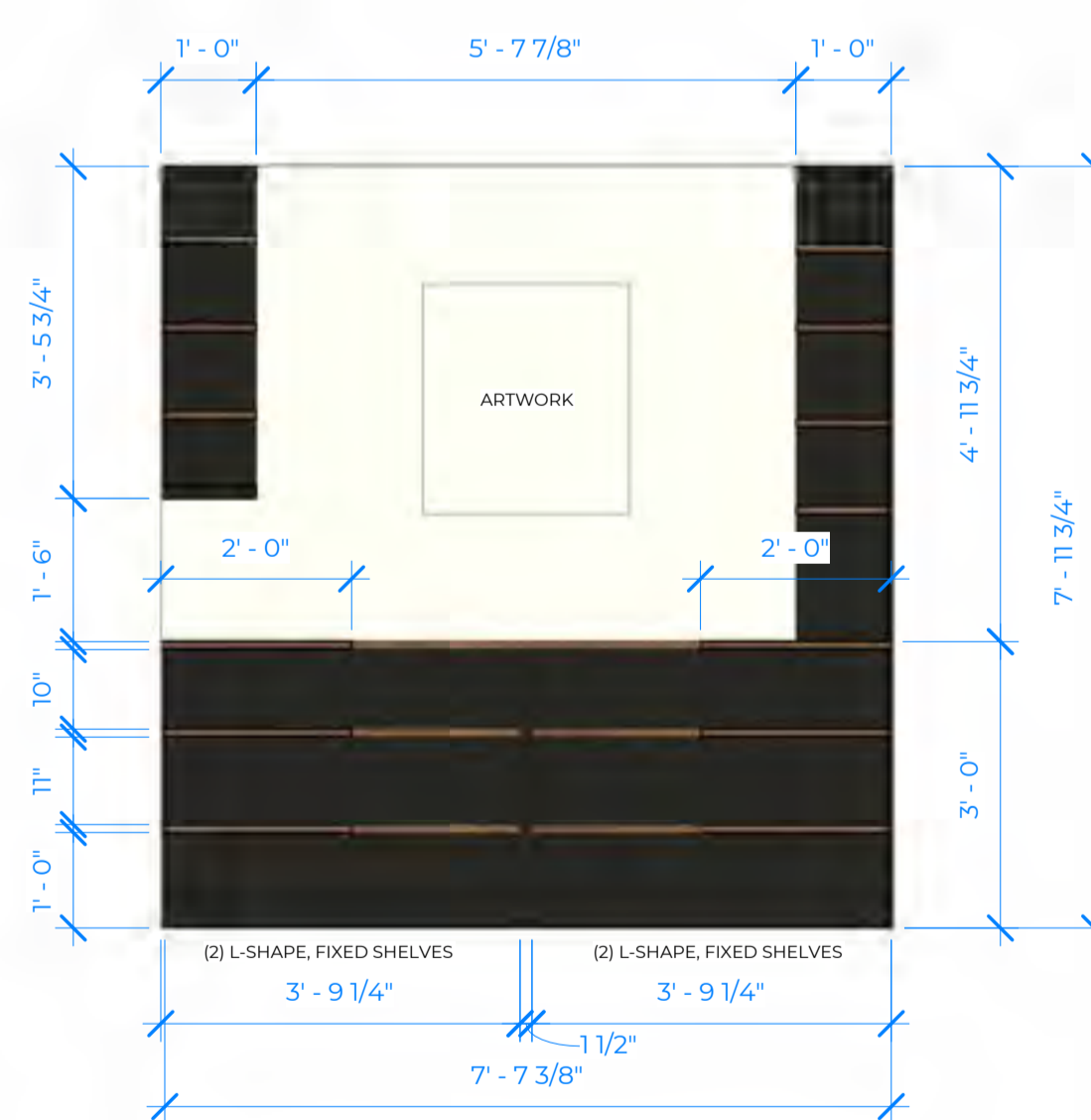
2 EAST KITCHEN ELEVATION
1/2" = 1'-0"



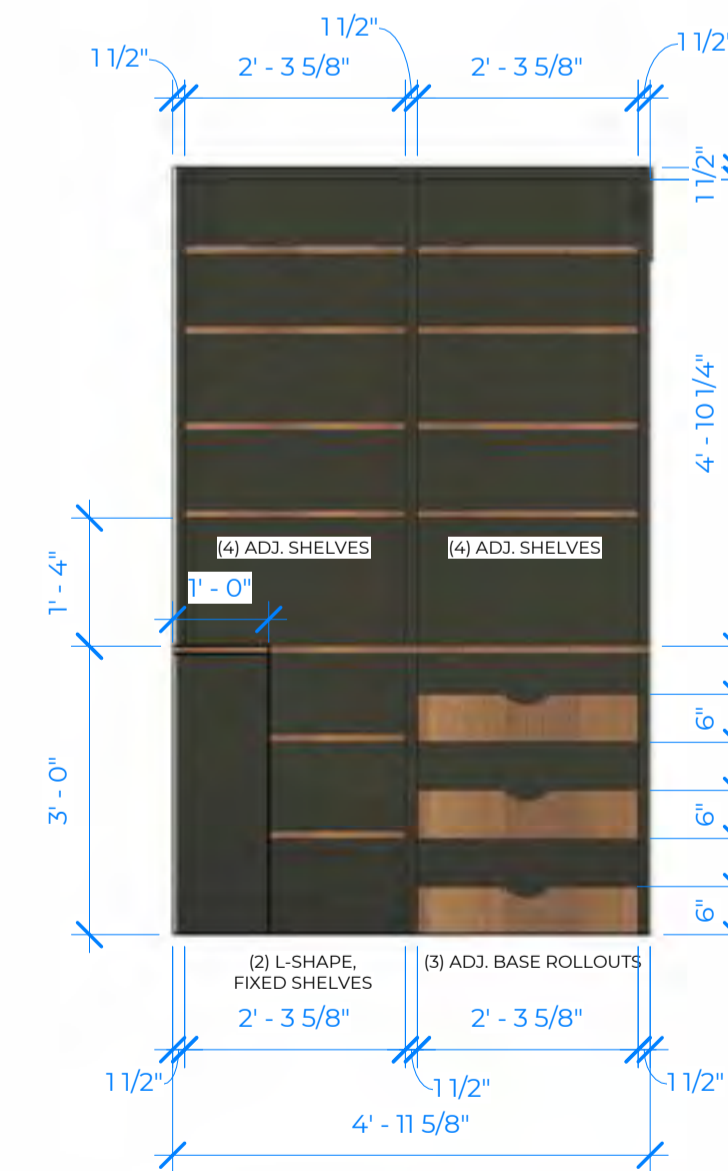
1 EAST KITCHEN BAR ELEVATION
1/2" = 1'-0"



5 NORTH PANTRY ELEVATION
1/2" = 1'-0"



3 EAST PANTRY ELEVATION
1/2" = 1'-0"



4 SOUTH PANTRY ELEVATION
1/2" = 1'-0"

PROJECT INFO/LOCATION:

The Spies Residence

6831 N Lake Dr, Fox Point, WI 53217

DATE:
3/25/2025

SHEET NAME:
KITCHEN & PANTRY
INTERIOR
ELEVATIONS

SHEET SIZE:
24"x36"

SHEET NUMBER:

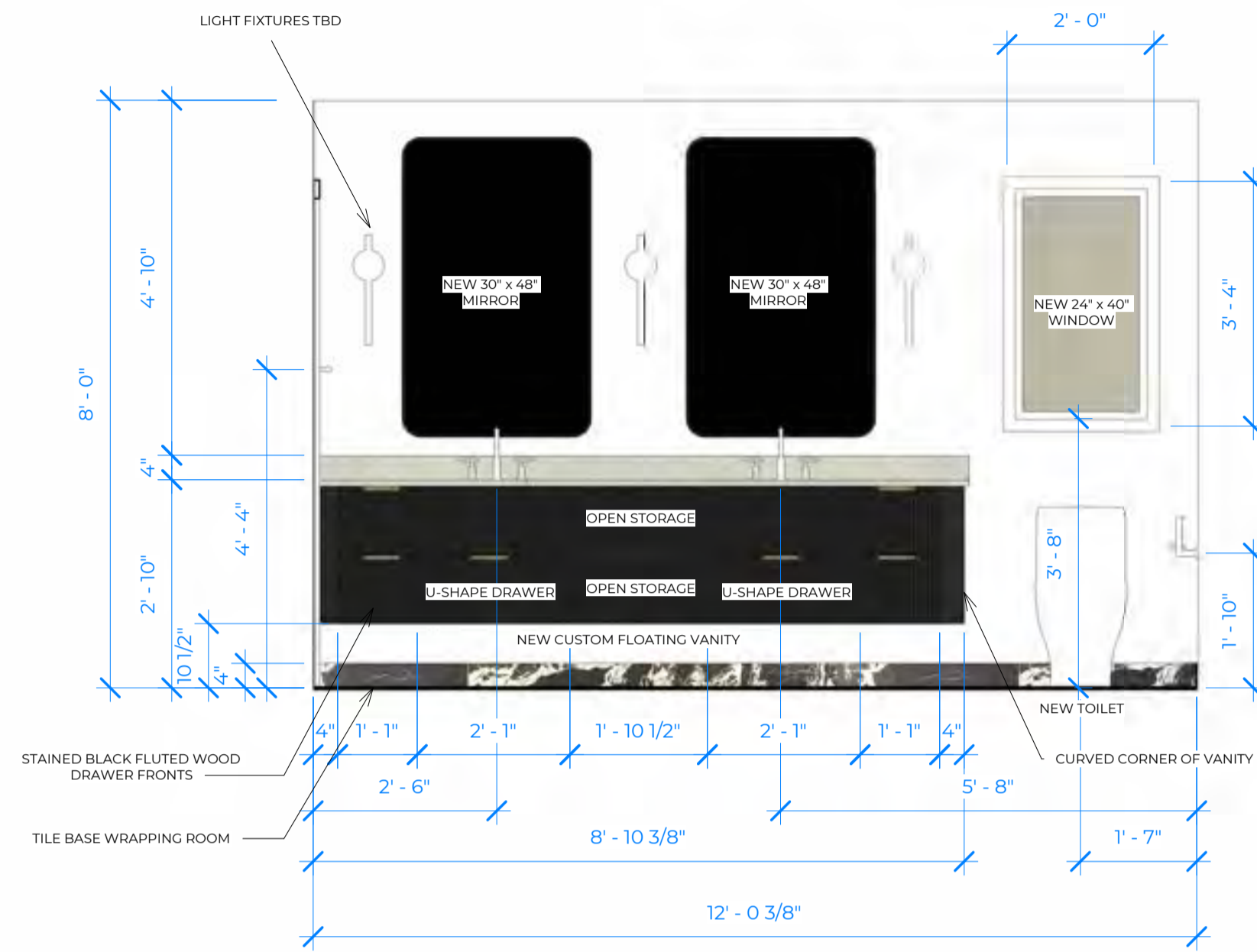
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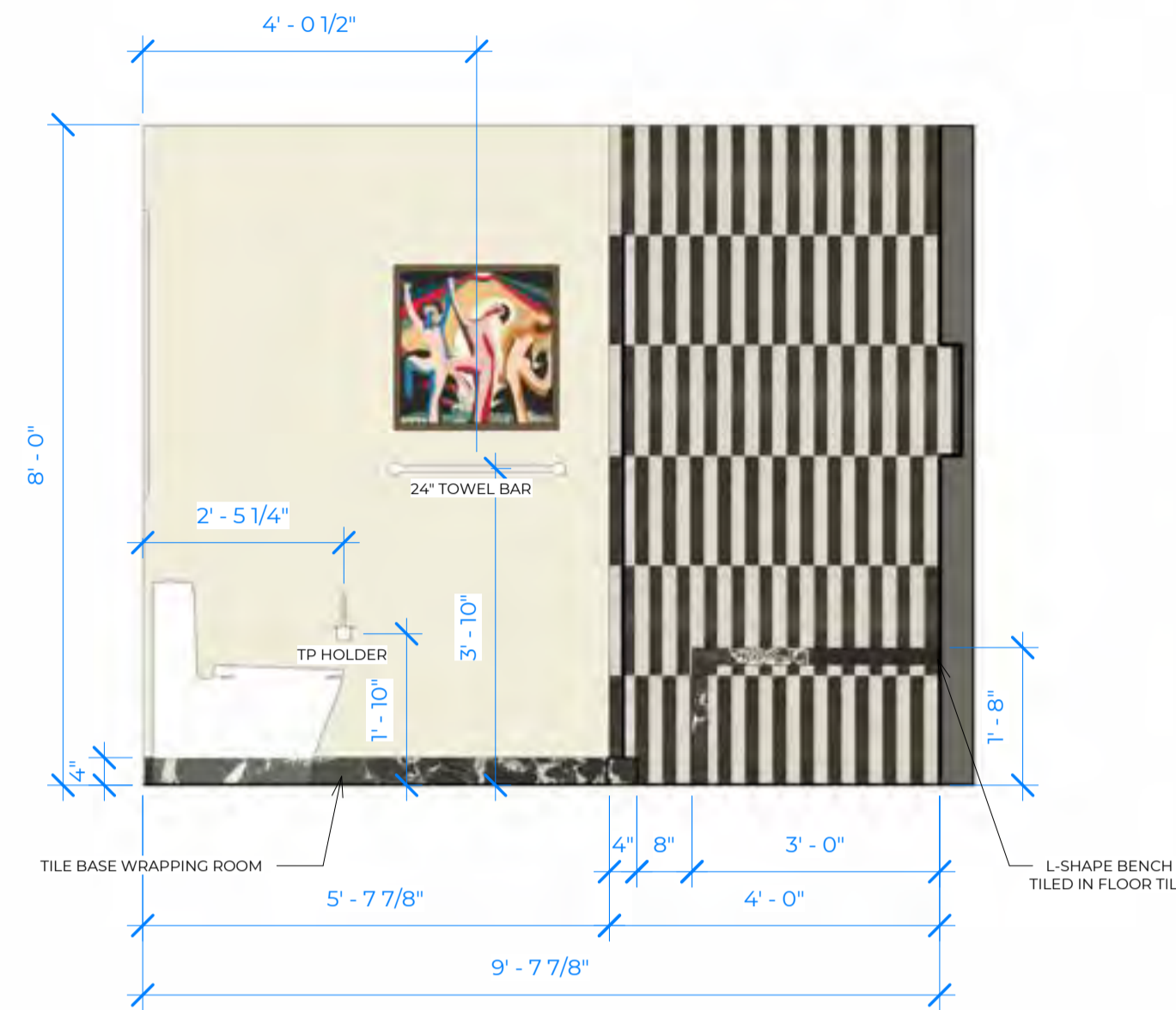
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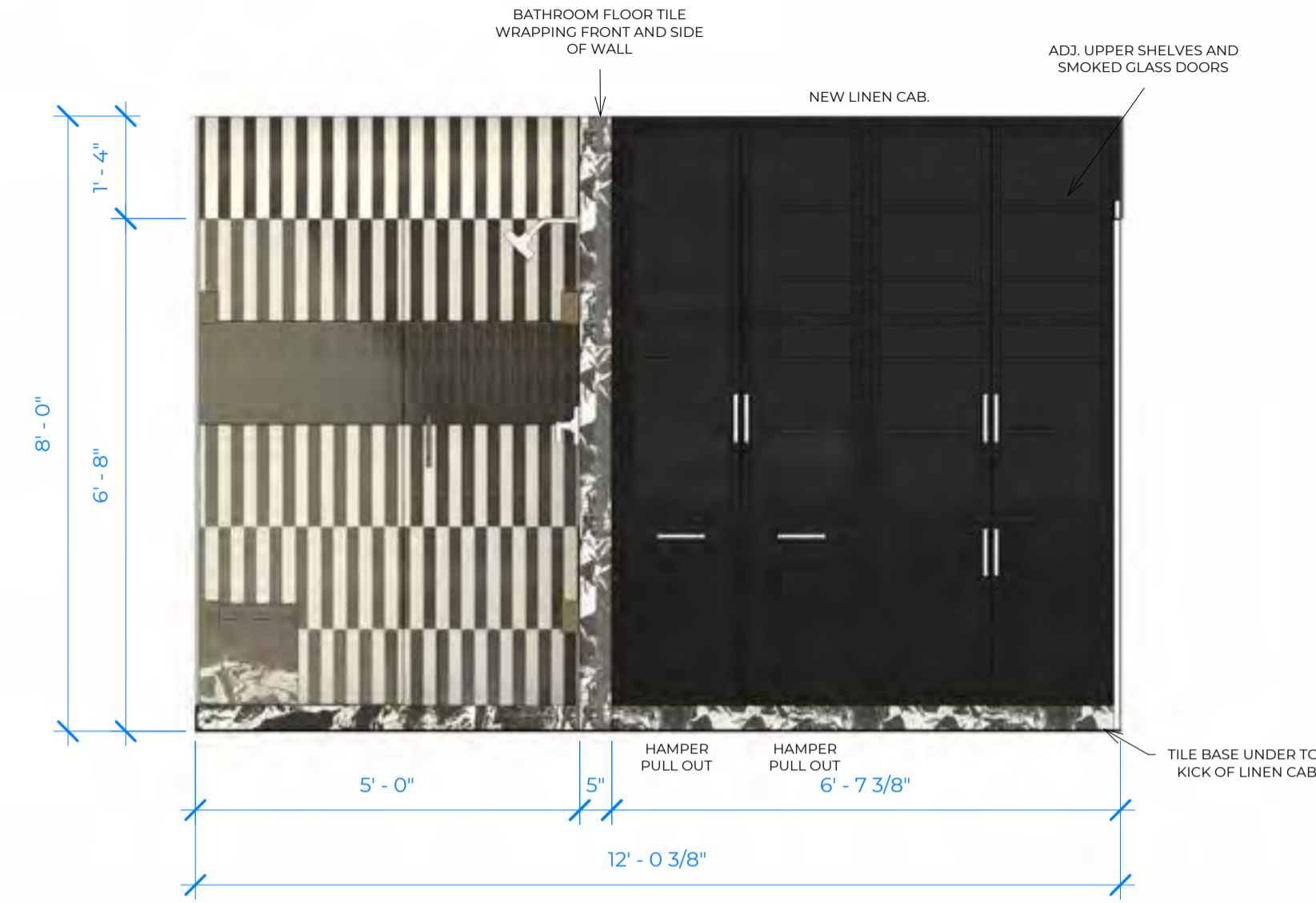
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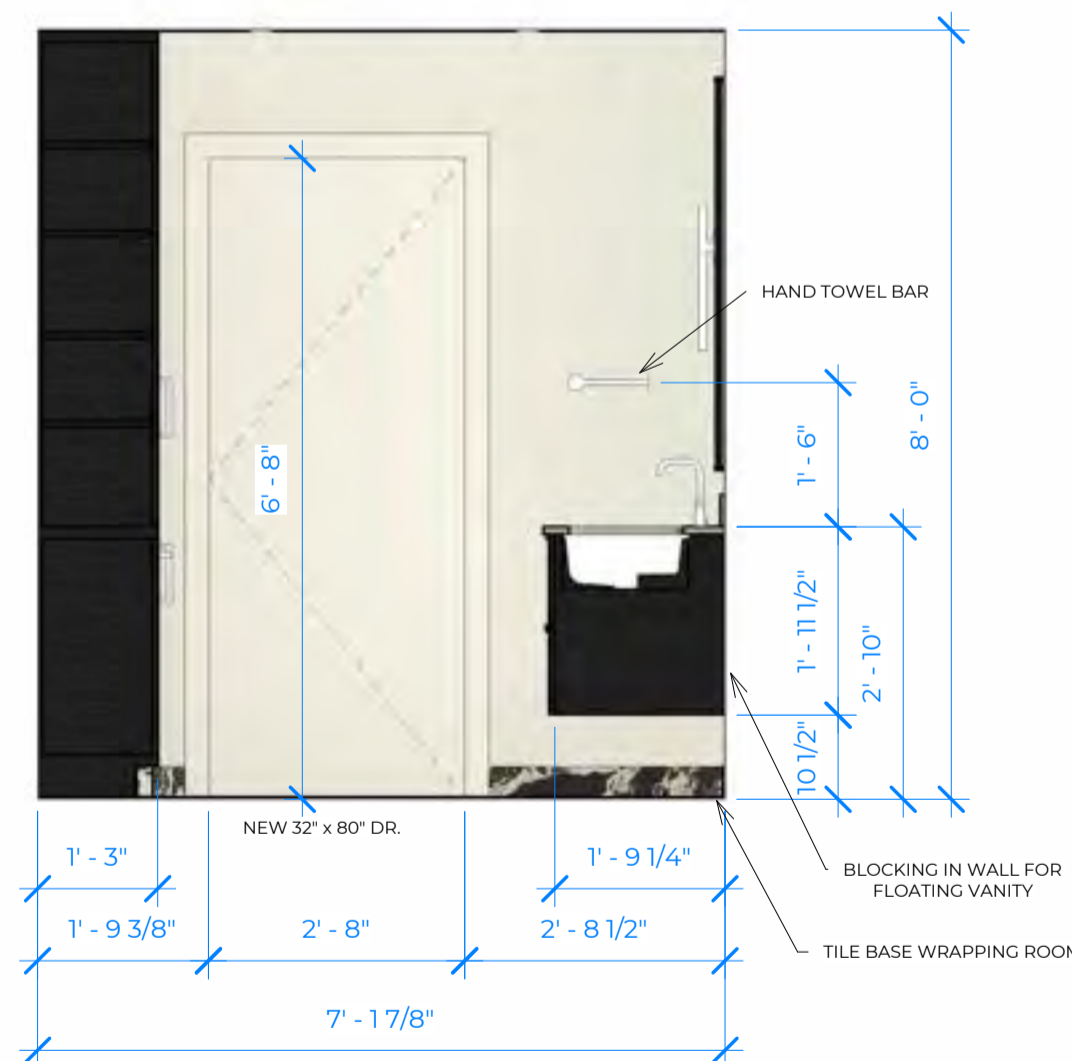
1 EAST PRIMARY BATH ELEVATION
1/2" = 1'-0"



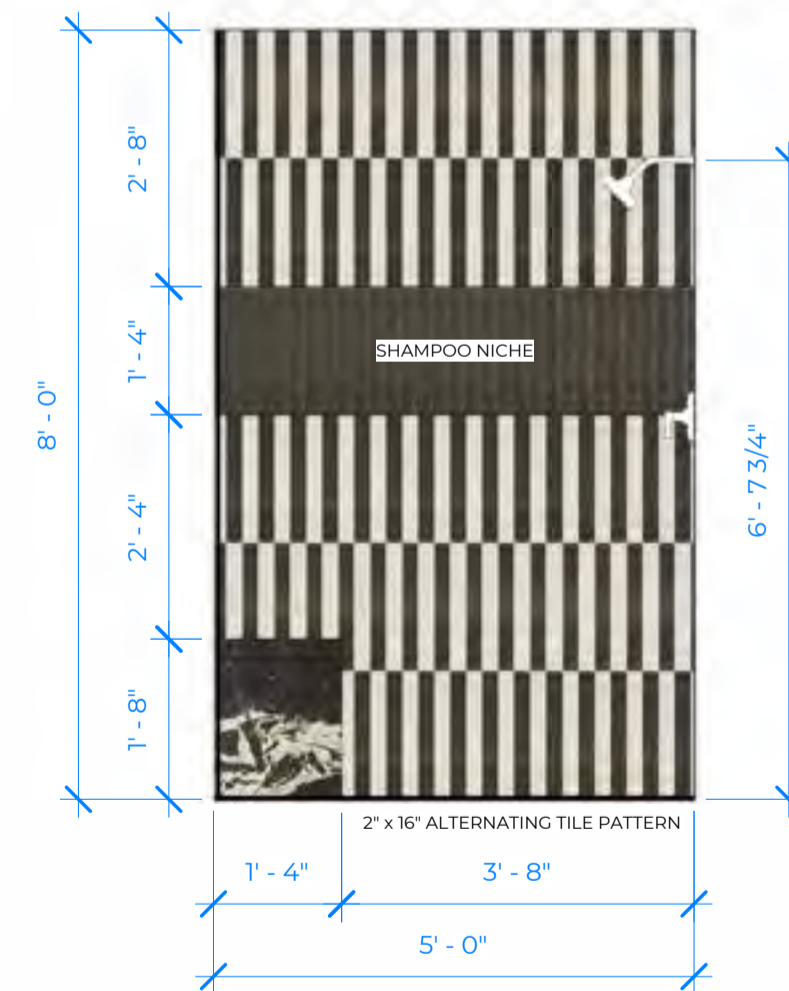
2 SOUTH PRIMARY BATH ELEVATION
1/2" = 1'-0"



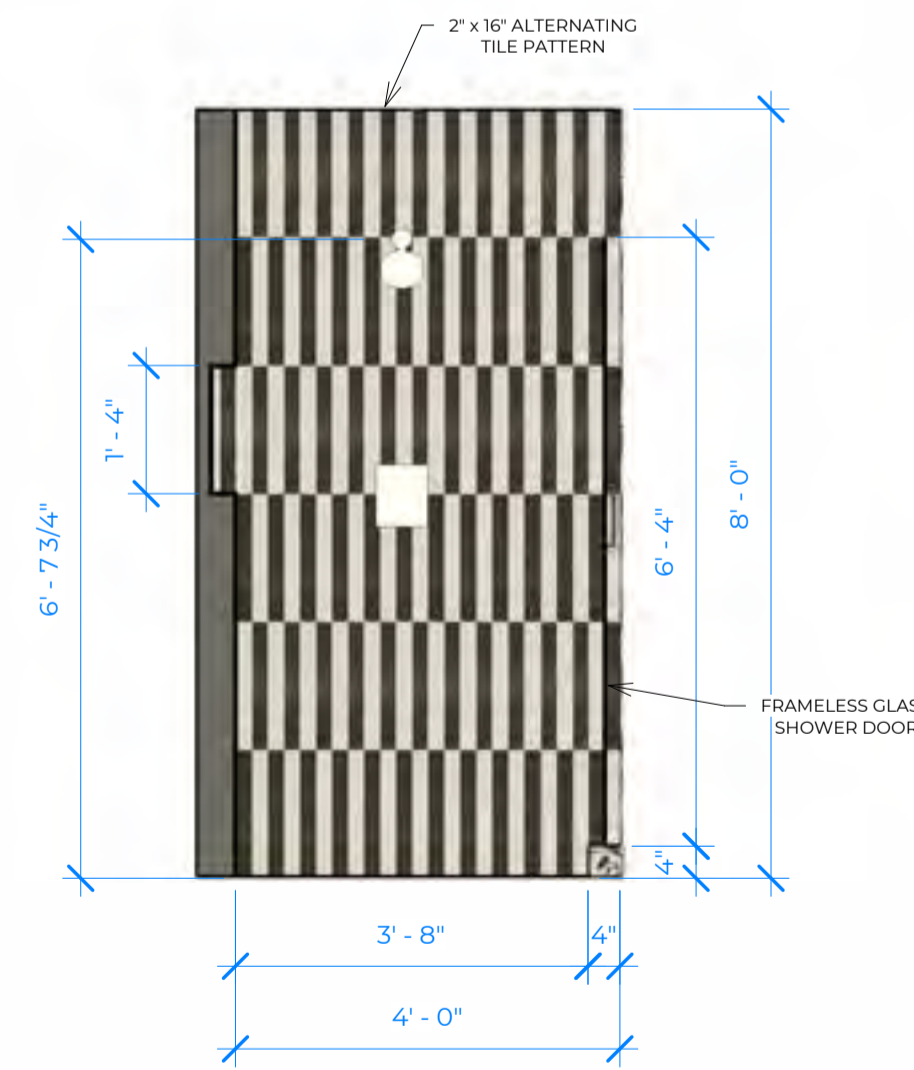
3 WEST PRIMARY BATH ELEVATION
1/2" = 1'-0"



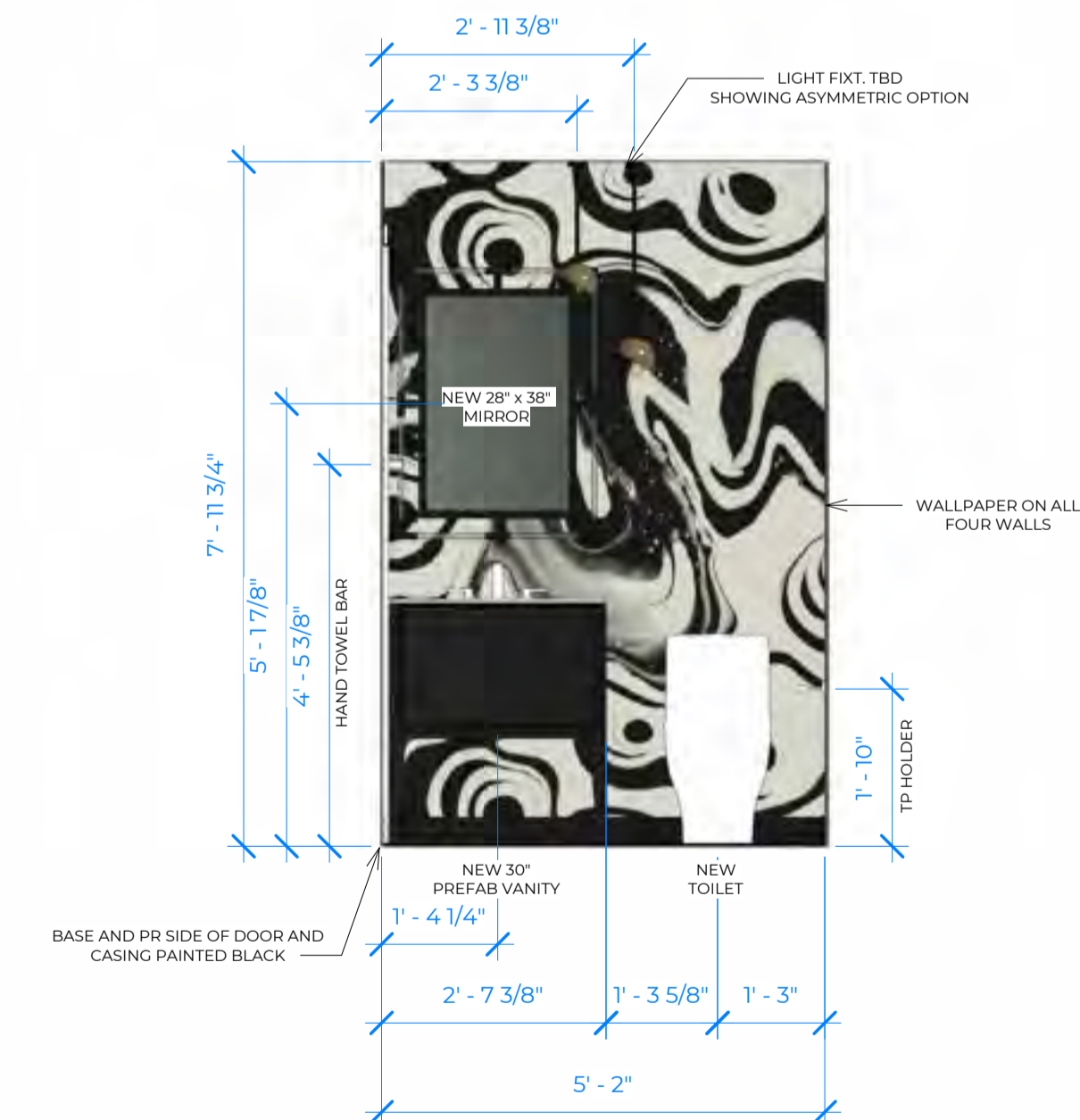
4 NORTH PRIMARY BATH ELEVATION
1/2" = 1'-0"



5 WEST SHOWER ELEVATION
1/2" = 1'-0"



6 NORTH SHOWER ELEVATION
1/2" = 1'-0"



7 WEST POWDER ROOM ELEVATION
1/2" = 1'-0"

PROJECT INFO/LOCATION:

The Spies Residence

6831 N Lake Dr, Fox Point, WI 53217

DATE:
3/25/2025

SHEET NAME:
PRIMARY BATH &
POWDER ROOM
INTERIOR
ELEVATIONS

SHEET SIZE:
24"x36"

SHEET NUMBER:

A6.2