

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

NOTE: THIS MEETING WILL BE HELD
VIRTUALLY ONLY VIA WEBINAR.
NO IN-PERSON ATTENDANCE HELD

Wednesday
June 11, 2025
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/83877661472>

Meeting ID: 838 7766 1472

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the May 21, 2025 Building Board meeting.
3. Jessica Perez, 7902 N Boyd Way, proposed window size change.
4. David Swanson, 7631 N Santa Monica Blvd, proposed addition.
5. John Stappas, 8201 N Whitney Rd, proposed removal of entry door.
6. Matt Kirchner, 8040 N Whitney Rd, proposed deck.
7. Valerie Sabatino, 6741 N Holly Ct, proposed roof mounted solar.
8. Jay Schmidt, 7137 N Santa Monica Blvd, proposed expand second floor.
9. David Bruch, 7632 N Beach Dr, proposed deck/ pergola/hot tub.
10. Adjourn.

Posted and Published: June 6, 2025

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, May 21, 2025, at 5:00 pm. Those present included:

Justin Racinowski
William Feldman
Sharon Celek
Lucille Sells
Pat Algiers
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by William Feldman to approve the minutes of April 9, 2025. Motion was seconded by Lucille Sells. Motion Carried.

AGENDA

1. **Jennifer Haraway, 8220 N Whitney Rd, proposed deck.** It was the consensus of the Building Board to approve as submitted.
2. **Jessica Perez, 7902 N Boyd Way, proposed window size change.** It was the consensus of the Building Board to table.
3. **Alisha Lemon, 7922 N Port Washington Rd, proposed signs.** It was the consensus of the Building Board to approve as submitted.
4. **Lauren Curtis, 164 E Bradley Rd, proposed 2nd floor addition.** It was the consensus of the Building Board to approve as submitted.
5. **Allen Pasch, 6445 N Lake Dr, proposed window removal.** It was the consensus of the Building Board to approve as submitted.
6. **Fox Point Beach Club, 7704 N Beach Dr, proposed shed.** It was the consensus of the Building Board to approve as submitted.
7. **Robert Schafer, 1406 E Fox Ln, proposed single family home.** It was the consensus of the Building Board to approve subject to removal of beltline.
8. **Robert Schafer, 8120 N Gray Log Ln, proposed single family home.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by William Feldman. Motion seconded by Pat Algiers. Motion Carried. Building Board adjourned at 6:34 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- _____

OFFICE USE ONLY	
Issued Date	
Zoning	

BUILDING PERMIT

Job Address 7902 Boyd Way	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work	
Will include the removal of existing windows and the main exterior door, and the installation of new smaller replacements. See details attached.	
Estimated Cost of Project \$ 5570.01	

Owner/Occupant	
Business Name	Contact Name Jessica Perez
Address 7902 N Boyd Way	City/State/Zip Fox Point, WI 53217
Phone 414-510-8337	Email perezsje@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name N/A	Contact Name
Address	City/State/Zip
Phone	Email
Dwelling Contractor #	Dwelling Contractor Qualifier #

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	\$70.00
Building Board	\$75.00	\$75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld	\$95.00 minimum plus	\$0.13/sqft
Moving buildings	\$250.00 plus	\$0.13/sqft
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	70.00
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ 215.00

Applicant Signature _____

Rev 01/22

Date 4/11/2025

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061324

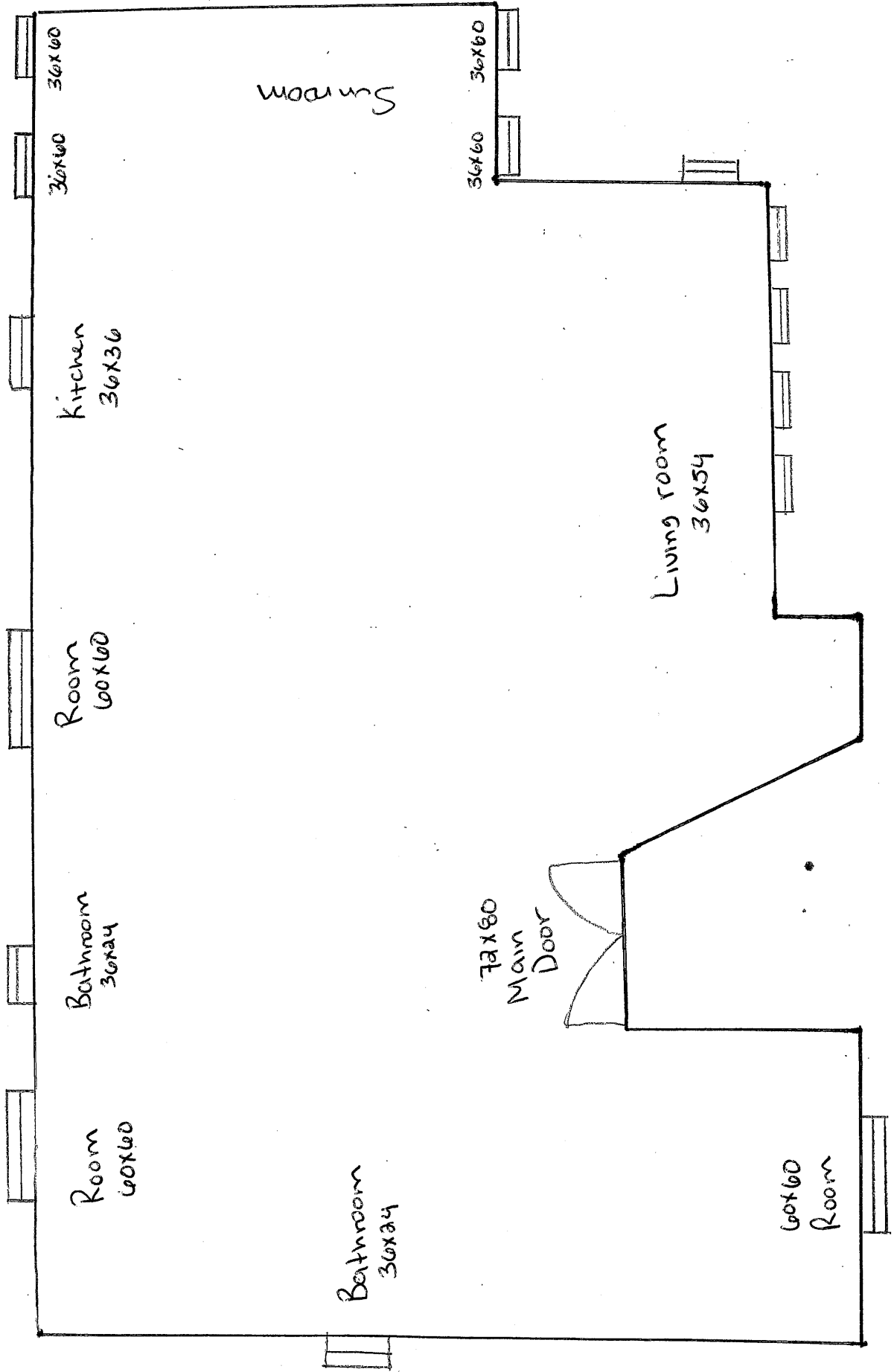
Apr 14, 2025

7902 N BOYD WAY

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING BOARD - FEE	
LICENSES & PERMITS - BUILDING PERMIT	140.00
24-44460 BUILDING PERMIT	
<hr/>	
Total:	215.00
<hr/>	
CHECK	215.00
Check No: 103	
Payor: JESSICA PEREZ	
Total Applied:	215.00
<hr/>	
Change Tendered:	.00
<hr/>	

04/14/2025 8:06 AM

7902 N Boyd Way
Fox Point, WI 53217



MENARDS - W.MILWAUKEE
2101 Miller Park Way
W. Milwaukee WI 53219

KEEP YOUR RECEIPT
 RETURN POLICY VARIES BY PRODUCT TYPE

Unless noted below allowable returns for items on this receipt will be in the form of an in store credit voucher if the return is done after 05/24/25

If you have questions regarding the charges on your receipt, please email us at:
 WMILfrontend@menards.com



Sale Transaction

SLIDR W/NAIL FLNG&BRK ML SB
 4048422 2 @131.33 262.66

TOTAL 262.66
 TAX MILWAUKEE-WI 5.9% 15.50
 TOTAL SALE 278.16
 CHASE VISA 3143 **278.16**

Auth Code:05021C
 Contactless
 a0000000031010
 ARQC - a4f75a3fdae7144a

TOTAL NUMBER OF ITEMS = 2

THE FOLLOWING REBATE RECEIPTS WERE PRINTED FOR THIS TRANSACTION:
 3700

GUEST COPY

The Cardholder acknowledges receipt of goods/services in the total amount shown hereon and agrees to pay the card issuer according to its current terms.

THIS IS YOUR CREDIT CARD SALES SLIP
 PLEASE RETAIN FOR YOUR RECORDS.

SB = Special order items may be refunded at Menards sole discretion with a 25% restocking fee.

See menards.com for return policy details

THANK YOU, YOUR CASHIER, Carson

69197 08 0109 02/23/25 03:08PM 3226



How doers
get more done.

150 WEST HOLT AVENUE
 MILWAUKEE WI 53207 (414)481-8770

4941 00022 34797 02/26/25 12:33 PM
 SALE CASHIER SARAH

1000-026-797 S/OAC70PRDH <A> 1239.48
 S/O AC 70 PRO REPL DH
 RSN: 8 NEW AMT 309.87 MKDN -929.61
 MAX REFUND VALUE \$309.87

SUBTOTAL 309.87
 SALES TAX 24.48
 TOTAL \$334.35

XXXXXXXXXXXX3143 VISA USD\$ **334.35**

AUTH CODE 09509C/4220891 TA
 Chip Read
 AID A0000000031010 CHASE VISA

4941 02/26/25 12:33 PM



4941 22 34797 02/26/2025 1653

RETURN POLICY DEFINITIONS
 POLICY ID DAYS POLICY EXPIRES ON
 A 1 90 05/27/2025

MENARDS - W.MILWAUKEE
2101 Miller Park Way
W. Milwaukee WI 53219

KEEP YOUR RECEIPT
 RETURN POLICY VARIES BY PRODUCT TYPE

Unless noted below allowable returns for items on this receipt will be in the form of an in store credit voucher if the return is done after 05/14/25

If you have questions regarding the charges on your receipt, please email us at:
 WMILfrontend@menards.com



Sale Transaction

SINGLE HUNG (GOOD)
 4040518 199.00

TOTAL 199.00
 TAX MILWAUKEE-WI 5.9% 11.74

TOTAL SALE **210.74**

CASH 220.00
 CHANGE 9.26-

TOTAL NUMBER OF ITEMS = 1

MENARDS - OAK CREEK
6800 SOUTH 27TH ST.
OAK CREEK, WI 53154

KEEP YOUR RECEIPT

RETURN POLICY VARIES BY PRODUCT TYPE

Unless noted below allowable returns for items on this receipt will be in the form of an in store credit voucher if the return is done after 05/24/25

If you have questions regarding the charges on your receipt, please email us at:

OCREFrontend@menards.com



Sale Transaction

Customer name: Perez, Jessica
ORDER NUMBER 46713

SLIDER (BETTER) -PICK* SEQ# 1
045518 3 @312.55 937.65
END OF ORDER

TOTAL 937.65
TAX MILWAUKEE-WI 5.9% 55.32
TOTAL SALE 992.97
CHASE VISA 3143 992.97
Auth Code:01488C
Contactless
a0000000031010
ARQC - eef70d0776888d33

TOTAL SAVINGS 49.35

TOTAL NUMBER OF ITEMS = 3

THE FOLLOWING REBATE RECEIPTS WERE
PRINTED FOR THIS TRANSACTION:
3700

GUEST COPY

The Cardholder acknowledges receipt of goods/services in the total amount shown hereon and agrees to pay the card issuer according to its current terms.

THIS IS YOUR CREDIT CARD SALES SLIP
PLEASE RETAIN FOR YOUR RECORDS.

THANK YOU, YOUR CASHIER, Patricia

24816 10 5545 02/23/25 02:17PM 3032

Prices shown are valid today only.

gMaterials@menards.com

PICKING LIST - GUEST COPY

PAGE 1 OF 1

SOLD BY: KEITH M.
DATE: 02/23/25

OCRE 46713



AT YARD ENTRANCE

SKU NUMBER	
60X60N	404-5518

**NOT BEING AVAILABLE ON A LATER DATE
ALL MERCHANDISE TODAY. THANK YOU.**

Yard picking list subject to the terms and conditions below. Quantities listed above may exceed quantities of guest, but instead is available to the buying public on a first come, first serve basis. Please pick up all products on this picking list today will result in additional charge to you if, on the day of pick up, the Menards liability to you is limited to refunding your original purchase price for any product not picked up.

Notice: All vehicles are subject to inspection. We will gladly help you load your materials

PRE-TAX TOTAL: 937.65

Gate attendant. (The Gate Attendant will record the

you have received the merchandise.

Trunk lid, etc. For your convenience, we supply twine, but you will have to decide whether or not you do not believe the twine will suffice, stronger material can be purchased inside the store.

All returns are subject to Menards' posted return policy. In consideration for Menards low prices you agree will agree to exchange the merchandise or refund the purchase price based on the form of original payment. If there is a warranty provided by the manufacturer, that warranty shall govern your rights and Menards shall honor all warranties, and are not a part of this contract. The guest agrees to inspect all merchandise prior to installing. MENARDS BE LIABLE FOR ANY SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES. MENARDS IS NOT LIABLE, AS TO MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OF THE GOODS RELATING TO THIS CONTRACT, OR THE BREACH THEREOF, SHALL BE SETTLED BY ARBITRATION ADMINISTERED BY THE AMERICAN ARBITRATION BOARD. The arbitration award rendered by the arbitrator(s) may be entered in any court of law and conditions through purchase of merchandise contained on this document.

SELF-SCAN HERE ==>





Customer Receipt

2/24/2025, 1:16 PM CST

Sales Person TXKQAW0

Store Phone # (414) 481-8770

Store # 4941

Location 150 WEST HOLT AVENUE, MILWAUKEE, WI 53207

Customer Information

jessica perez
(414) 510-8337
PEREJSJE@GMAIL.COM

1732 w scott street
milwaukee, WI 53204



Order # H4941-219672

PO / Job Name

Will Call

Pickup Date
Tuesday, February 25
9:00 AM CST

Item Description	Model #	SKU #	Unit Price	Qty	Subtotal
01 SO AC 70 PRO REPL DH SPECIAL BUY \$929.61 OFF EACH	N/A	1000026797	\$1,239.48 / each \$309.87 / each	1	\$309.87

90 DAY RETURN POLICY. The Home Depot reserves the right to limit / deny returns. Please see the return policy sign in the stores for details.

Payment Method

02/24/2025
2:16 PM EST

Visa 3143

Charged \$328.15

Subtotal	\$309.87
Discounts	-\$0.00
Sales Tax	\$18.28
Order Total	\$328.15
Balance Due	\$0.00



West Allis 10PM

53227



West Allis 10PM

53227



Shop All Services



DIY



Me

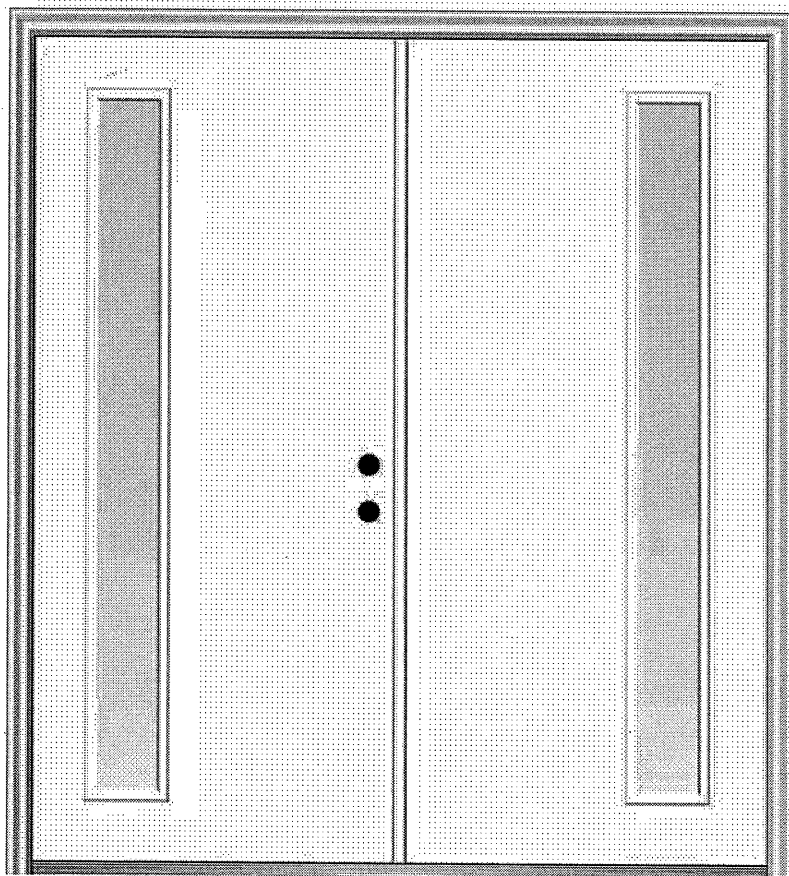
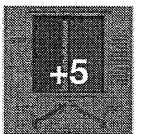
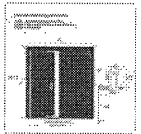
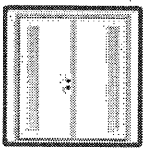
... / Exterior Doors / Front Doors / Fiberglass Doors / Fiberglass Doors With Glass

Internet # 322491459 Model # Z03752157L

MMI DOOR

Viola 72 in. x 80 in. Left-Hand Inswing 1-Lite Clear Low-E Primed Fiberglass Prehung Front Door on 6-9/16 in. Frame

★★★★★ Questions & Answers



Hover Image to Zoom

Share Print

SHOP SPRING BLACK FRIDAY DEALS

Limit 30 per order

You will be contacted by the carrier at **(414) 510-8337** [Change](#)

[Continue](#)

Payment Method

Your Order

Subtotal	\$2,568.00
Savings	-\$513.60
Delivery	\$55.00
Estimated Sales Tax*	\$124.45

[Apply Tax Exempt ID](#)

Total **\$2,233.85**

You Saved **20%** Off Your Item

Have a Promo Code?

Place Order

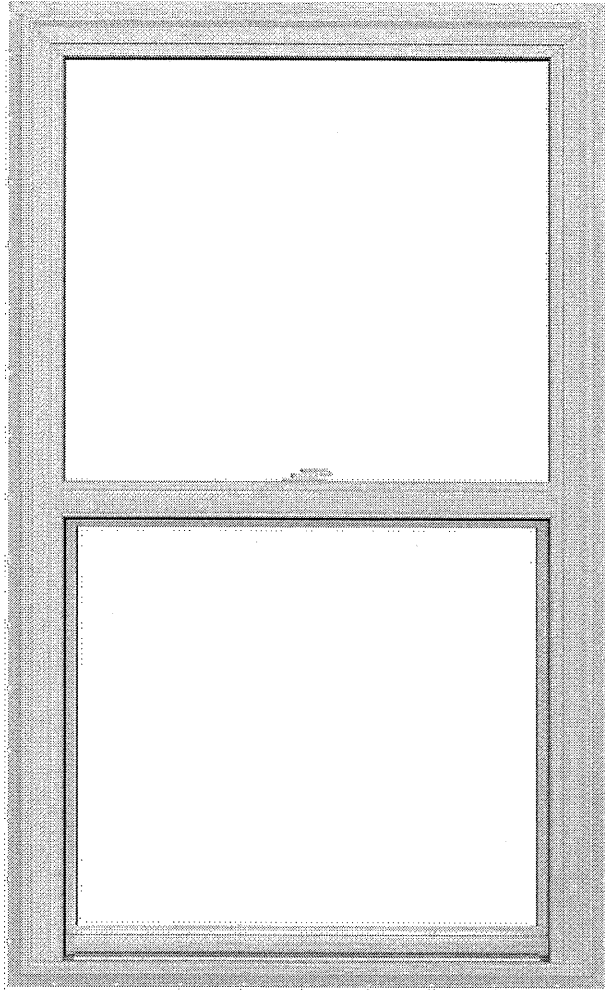
The order confirmation and updates will be emailed to
perezsj@gmail.com

Items in Cart (1 Item) ▼

GET \$100 OFF* and pay **\$2,133.85** instead on your qualifying purchase, plus receive 6 months everyday financing** on purchases over \$299 when you open a new card ⓘ

JELD-WEN® Better Series 36"W x 60"H White Vinyl Single-Hung Window with Nailing Flange

Model Number: JW1438-00980 | Menards® SKU: 4045626



EVERYDAY LOW PRICE

11% REBATE* Good Through 4/13/25

\$269.00

\$29.59

**PRICE
AFTER
REBATE***

\$239⁴¹ each

You Save \$29.59 After Mail-In Rebate*

37 People have purchased this in the past week.

ADD TO CART



- Vinyl construction allows for low maintenance
- Steel-reinforced sash for long-lasting strength
- Bottom sash tilts in for easy cleaning

[View More Information >](#)

Rough Opening Size: 36"W X 60"H

FREE SHIPPING TO STORE!

Pick Up At Store Available By 05/03/2025



Available for Special Order at [Eau Claire West](#)



●●● Share

Jessica Perez
7902 N Boyd Way, Fox Point WI 53217

Location	Original Measurements	Current Measurements	Qty Needed	Cost per Item	Cost + Tax	Comments
Bathrooms	36x42	36x24	2	\$131.33	\$278.16	
Rooms	70x72	60x60	3	\$312.55	\$992.97	
Kitchen	40x42	36x36	1	\$199.00	\$210.74	
Living room	150x60 & 40x60	36x54 (total of 5 used)	2	\$309.87	\$992.97	1 pack included 3 windows
Sunroom	36x65	36x60	4	\$269.00	\$1,139.48	
Main door	79x82	72x80	1	\$2,568.00	\$2,233.85	
					\$5,570.01	



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- _____

OFFICE USE ONLY	
Issued Date	
Zoning	C, 85'

BUILDING PERMIT

Job Address 7631 N. Santa Monica Blvd.	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work	
Addition of a single-stall garage and covered patio. New concrete path around addition and expansion to existing driveway.	
Estimated Cost of Project \$101,000.	

Owner/Occupant David Swanson	
Business Name N/A	Contact Name David Swanson
Address 7631 N. Santa Monica Blvd.	City/State/Zip Fox Point, WI 53217
Phone 763-226-5954	Email dswanson2315@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name JM Remodeling	Contact Name Josh Meldman
Address 7701 N. Teutonia Ave.	City/State/Zip Milwaukee, WI 53209
Phone 414-354-2800	Email josh@jmremodelingwi.com
Dwelling Contractor # 020400015	Dwelling Contractor Qualifier # 090702037

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage 419

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	
Building Board	\$75.00	75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld	\$95.00 minimum plus \$0.13/sqft	
Moving buildings	\$250.00 plus \$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
Minimum Fee	\$70.00	
Payable to: Village of Fox Point	Total Permit Fee	\$ 75.00

Applicant Signature _____

Date 5/2/2025

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061401

May 6, 2025

7631 N SANTA MONICA BLVD

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING BOARD - FEE	

Total:	75.00
--------	-------

CHECK	Check No: 4058	75.00
	Payor: THRIVE ARCHITECTS LLC	

Total Applied:	75.00
----------------	-------

Change Tendered:	.00
------------------	-----

Duplicate Copy

05/06/2025 2:50 PM



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

**CAUTIONARY STATEMENT TO OWNERS
OBTAINING BUILDING PERMITS**

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

David Swanson

Homeowner's Name – PRINTED

7631 N. Santa Monica Blvd.

Property Address

Homeowner's Signature

Date

Plat of Survey

Known as 7631 North Santa Monica Boulevard, V of Fox Point,
Wisconsin

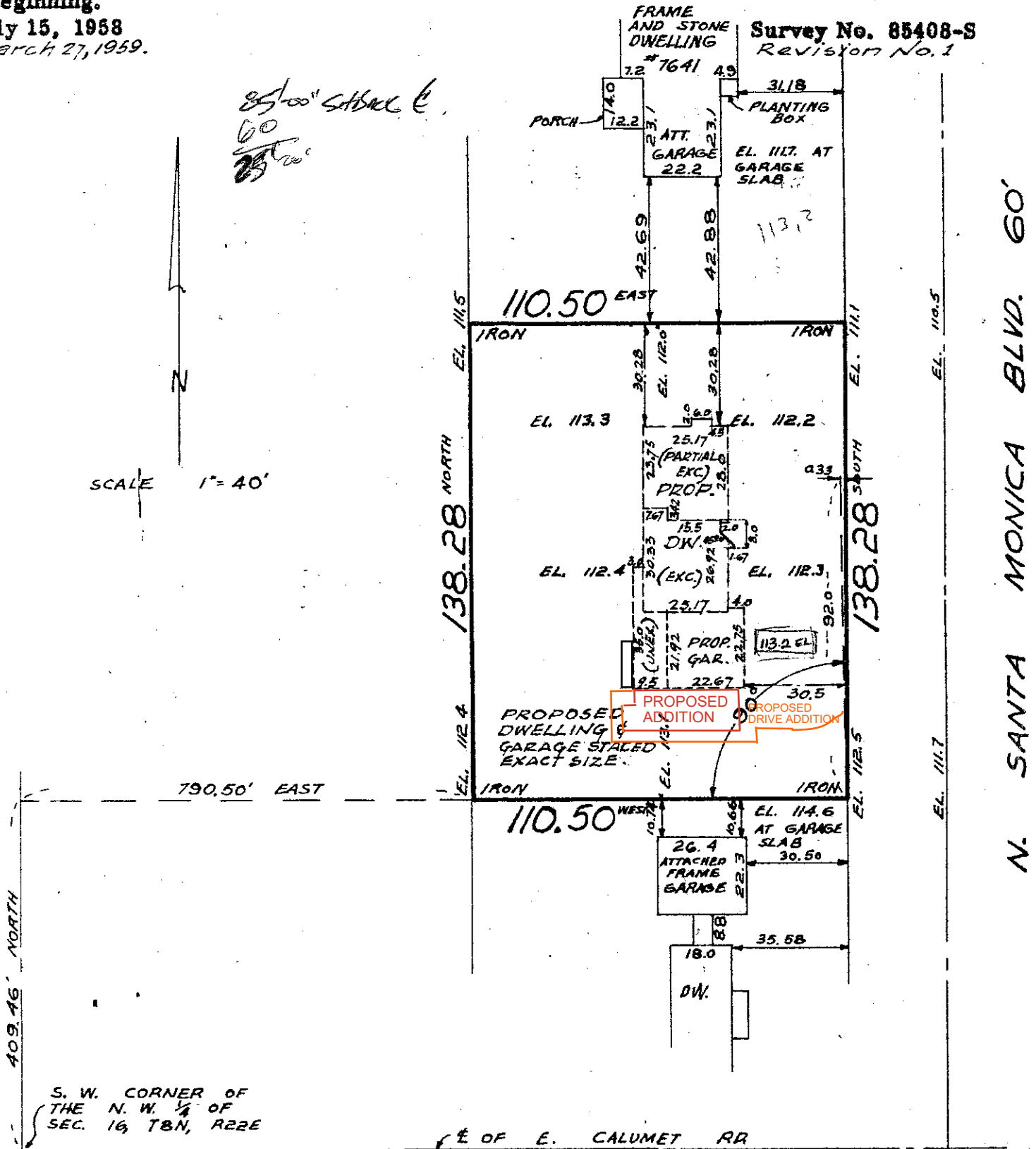
Lot 38 in CALUMET LAND CO PLAT UNRECORDED--Commencing 409.46 ft. North and 790.50 ft. East of the Southwest corner of the N. W. 1/4 of Section 16, T 8 N, R 22 E, in the Village of Fox Point, Milwaukee County, Wisconsin; thence North 138.28 ft; thence East 110.50 ft; thence South 138.28 ft; thence West 110.15 ft. to the point of beginning.

July 15, 1958
March 27, 1959.

Survey No. 85408-S
Revision No. 1

25' 00" SABBAL E
60
25'

SCALE 1" = 40'



S. W. CORNER OF
THE N. W. 1/4 OF
SEC. 16, T8N, R22E

E. OF E. CALUMET RR

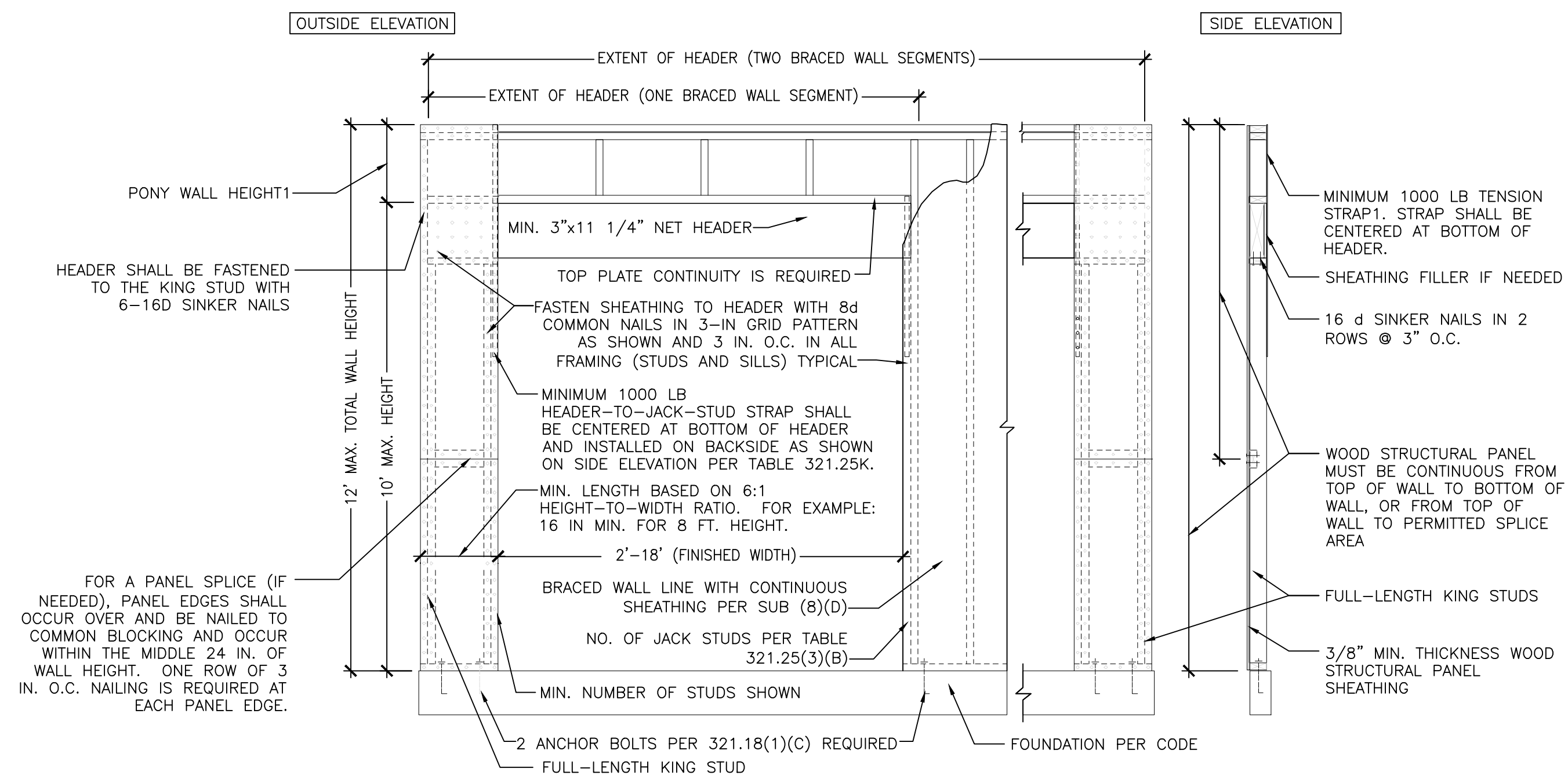
We Certify that we have surveyed the above described property and that the above plat is an accurate survey and a true representation thereof and correctly shows the exterior boundary lines and location of buildings and other improvements on said property and the correct measurements thereof.

NATIONAL SURVEY SERVICE
CIVIL ENGINEERS AND SURVEYORS
5729 W. VLIIET ST. BLUEMOUND 5-9830
MILWAUKEE 8, WISCONSIN



Kenneth E Berke
SURVEYOR





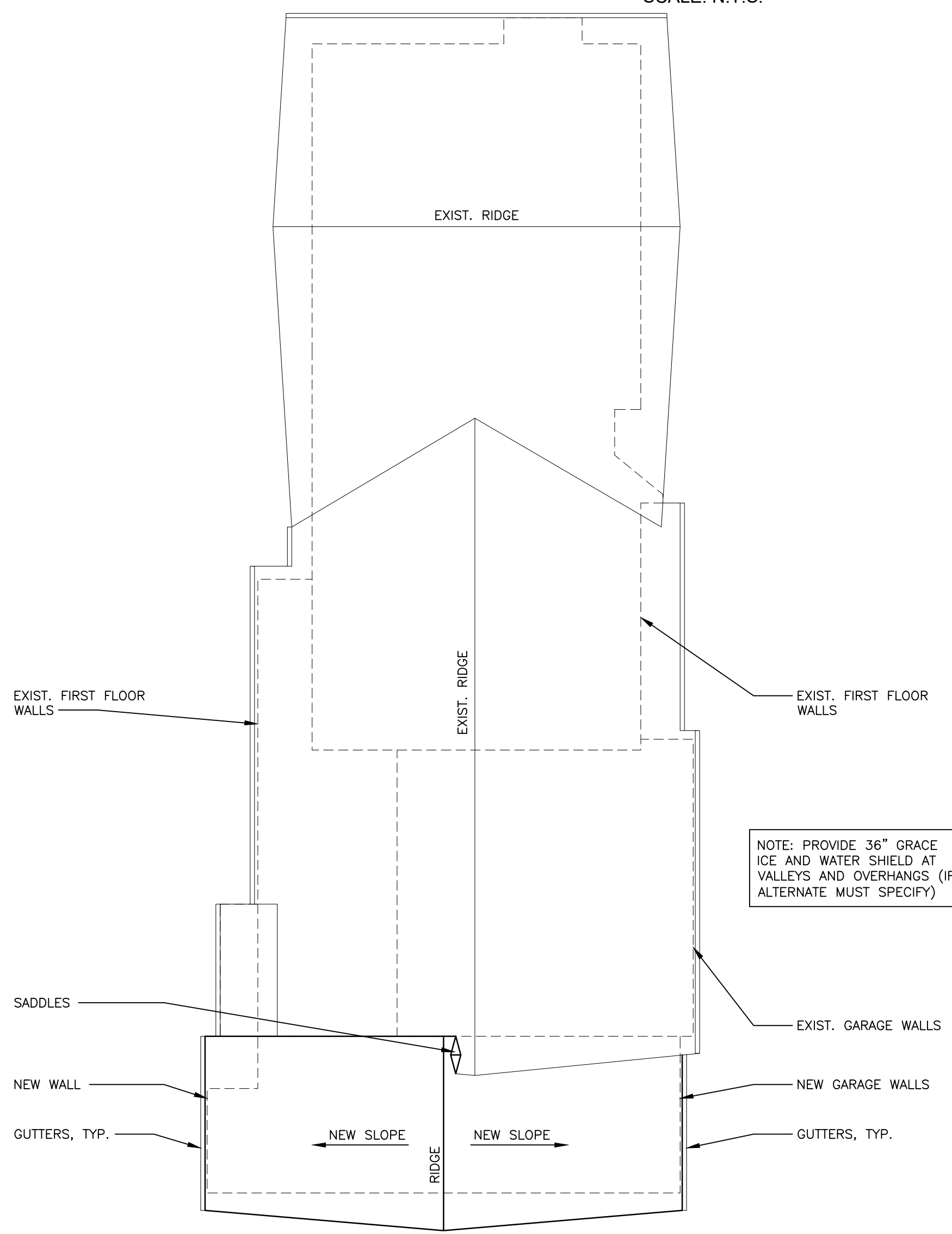
1 PER TABLE R602.10.4.1.1

UDC DETAIL 321.25-K

STANDARD PORTAL FRAME DETAIL

SCALE: N.T.S.

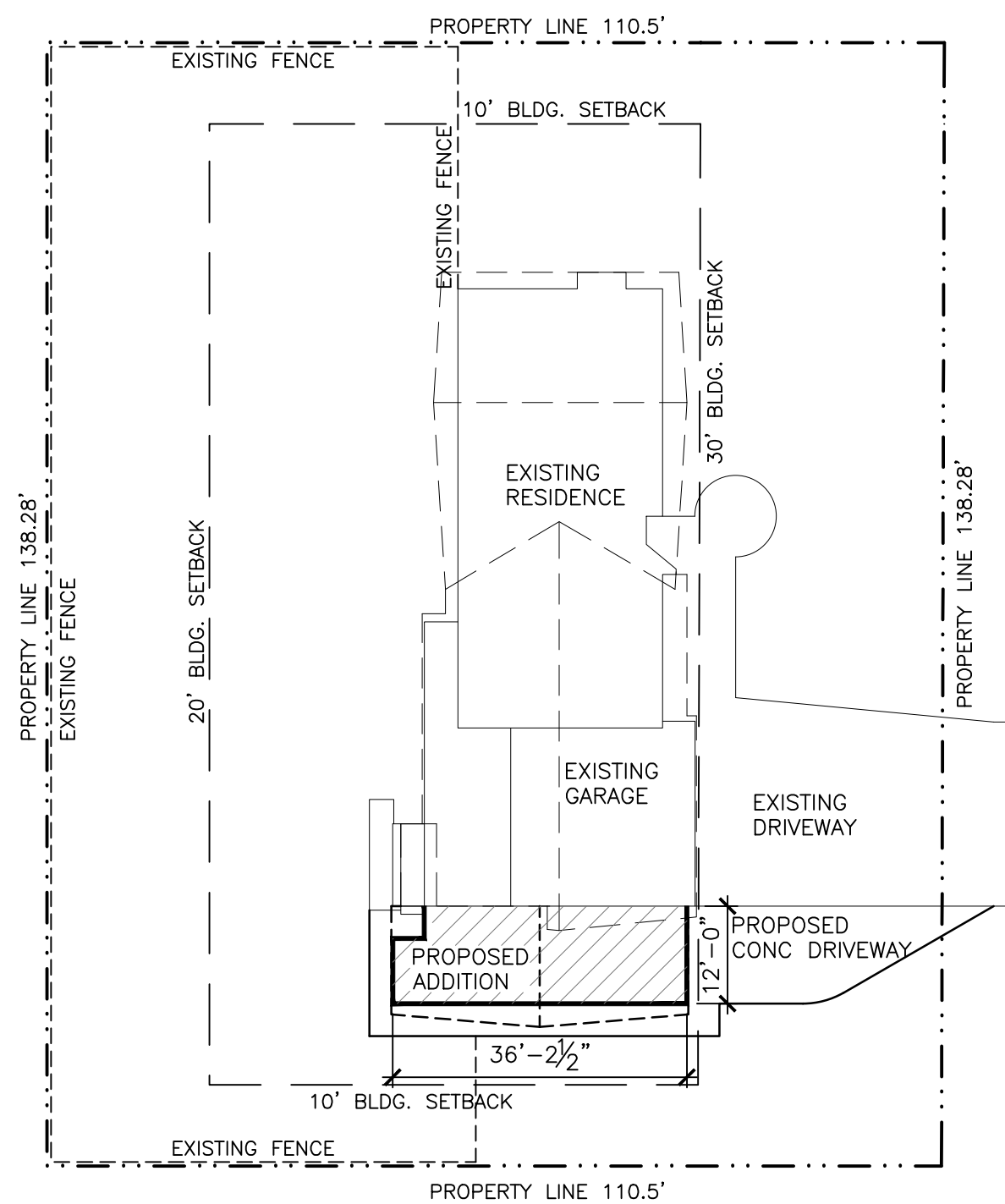
3



ROOF PLAN

SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17)

2



SITE PLAN

SCALE: 1"=20'-0" (22x34); 1"=40'-0" (11x17)

1

CONSTRUCTION NOTES

1. THE GENERAL CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE FINAL MATERIALS, METHODS OF CONSTRUCTION AND WARRANTY OF PRODUCT FOR THIS DWELLING.
2. STEP FOOTING AND FOUNDATION WALL AS REQUIRED. COORDINATE WITH EXISTING GRADES AND PLAN NOTES.
3. ASSUMED SOIL BRG. CAPACITY OF 2,000 PSF PADS TYP. (FINE OR MEDIUM CLAY SOILS)
4. FOOTINGS SHALL BEAR ON FIRM SOIL
5. COORDINATE ALL FLOOR AND WALL FINISH REQUIREMENTS WITH OWNER.
6. COORDINATE THE LOCATION OF ALL EXTERIOR LIGHTING, HOSE BIBS, DRYER VENTS, AND OTHER PENETRATIONS WITH OWNER.
7. PROVIDE ALUMINUM GUTTERS AND DOWNSPOUTS ON ALL OVERHANGS. COORDINATE LOCATION OF DOWNSPOUTS WITH OWNER.
8. SITE GRADING TO BE COORDINATED WITH OWNER, FOUNDATION WALL HEIGHTS, AND STONE HEIGHTS WILL NEED TO BE VERIFIED. SITE GRADING IS NOT DEPICTED IN THIS SET OF PLANS.
9. FINAL STRUCTURAL SIZING OF FRAMING MEMBERS TO BE THE RESPONSIBILITY OF THE LUMBER SUPPLIER.
10. ALL WOOD BLOCKING IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
11. ALL EXTERIOR WALLS TO BE SHEATHED AS REQUIRED FOR SHEAR WALL CONSTRUCTION.
12. ALL SAWN LUMBER SHALL BE DOUGLAS FIR-LARCH NO. 2 GRADE OR EQUIVALENT.

DRAWING INDEX

- T1.0 PROJECT INFO, SITE PLAN, ROOF PLAN
- D1.0 DEMOLITION PLAN, FOUNDATION PLAN
- A1.0 FIRST LEVEL FLOOR PLAN, BLDG SECTION
- A2.0 EXTERIOR ELEVATIONS
- A3.0 EXISTING PHOTOS, 3D IMAGES

BUILDING INFORMATION

GARAGE ADDITION

419 SF



Architect
259 South Street, Suite A
WAUKESHA, WI 53186
p: 833-380-6180



Contractor
7701 N. Teutonia Ave.
Milwaukee, WI 53209
p: 414-354-2800
e: josh@jmremodelingwi.com

Project Info. — 25014

SWANSON RESIDENCE

GARAGE ADDITION

7631 N. Santa Monica Blvd.
Fox Point, WI 53217

Sheet Title

PROJECT INFORMATION, SITE PLAN, ROOF PLAN

Drawn by	Checked by
JAJ	JDB

Revisions		
No.	Date	Description
	05.02.2025	Building Board Review

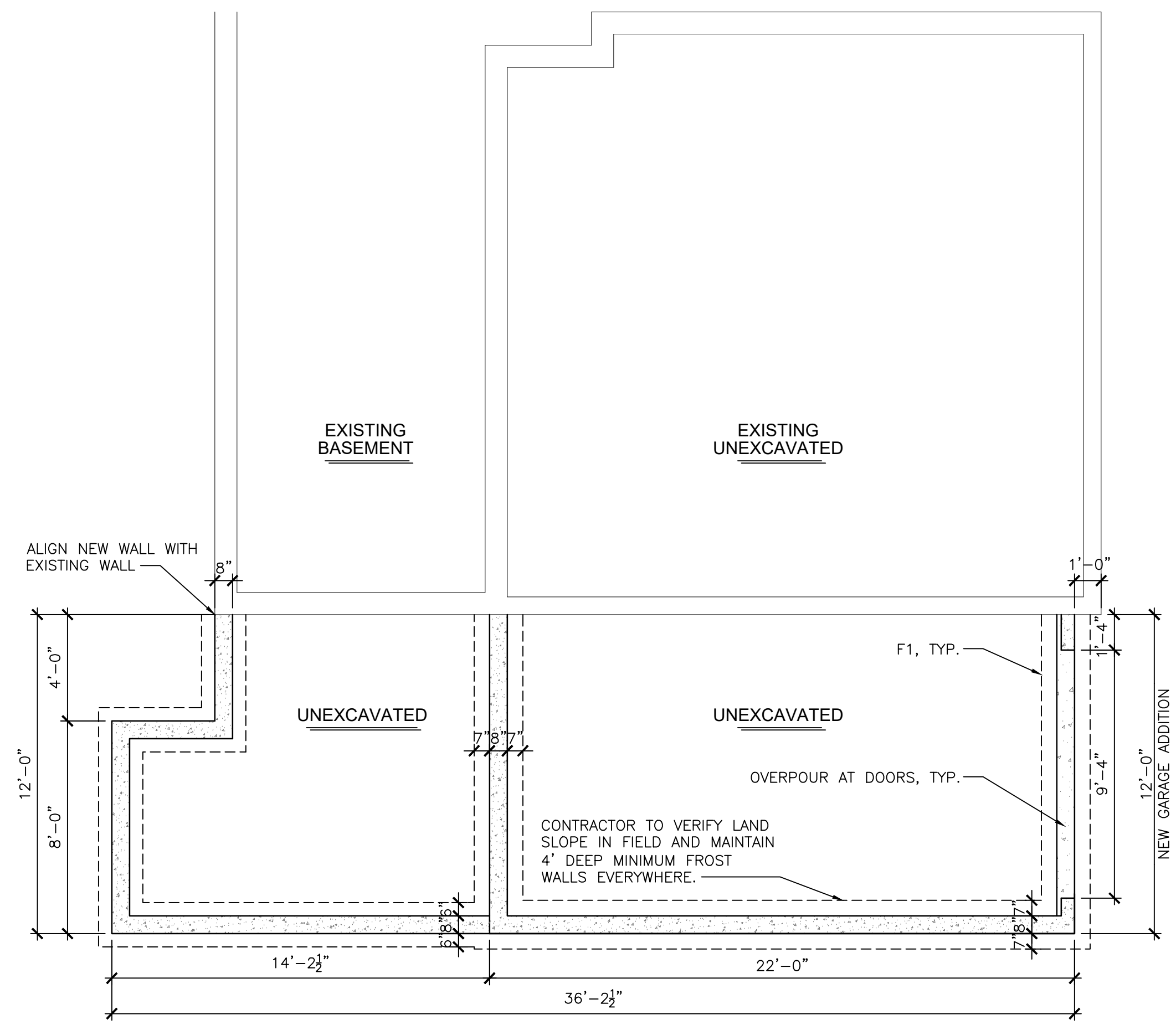
Sheet No.

T1.0

NOT FOR CONSTRUCTION

Drawn by	Checked by
JAJ	JDB

Revisions		
No.	Date	Description
	05.02.2025	Building Board Review

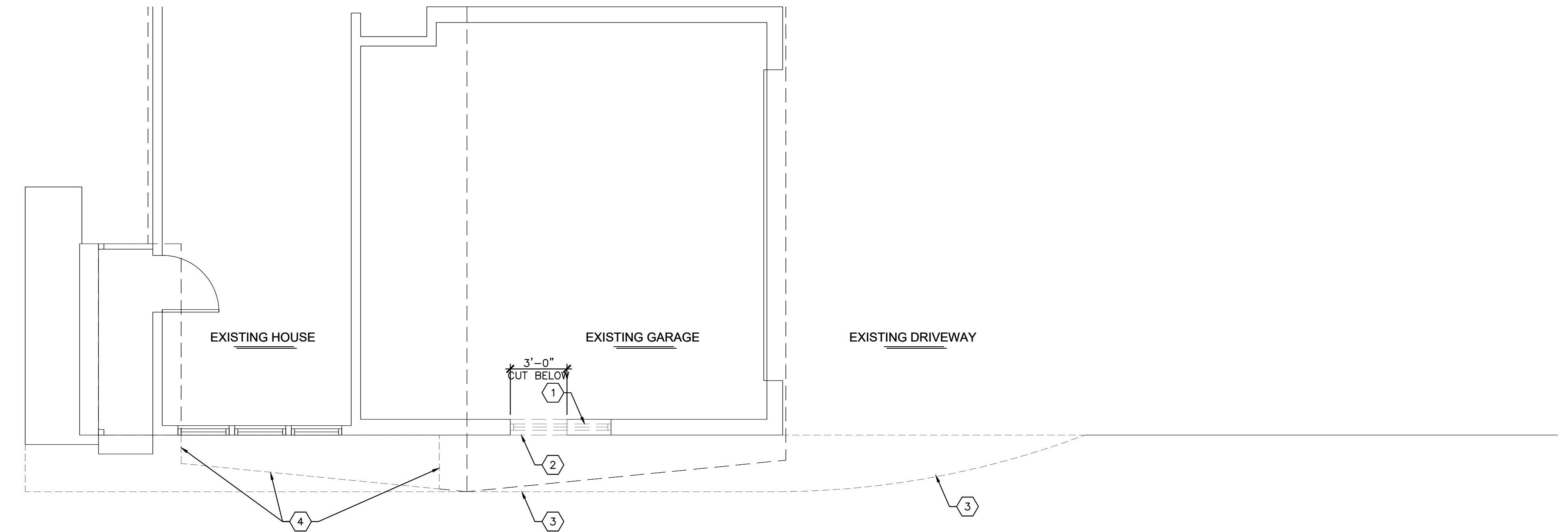


FOUNDATION PLAN
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

2



DEMOLITION PLAN KEYNOTES	
1	REMOVE EXISTING WINDOW IN ITS ENTIRETY
2	CUT WALL AND SALVAGE BRICK TO REUSE
3	REMOVE EXISTING CONCRETE PAVEMENT
4	CUT ROOF EDGE EXISTING TO ACCOMMODATE NEW ROOF



DEMOLITION PLAN
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

1

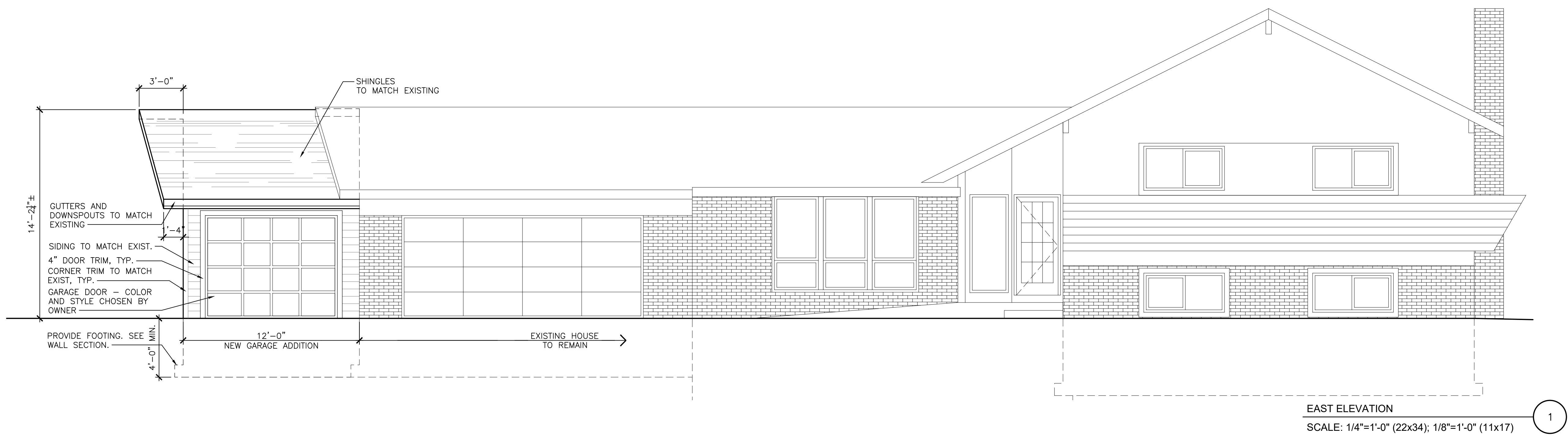
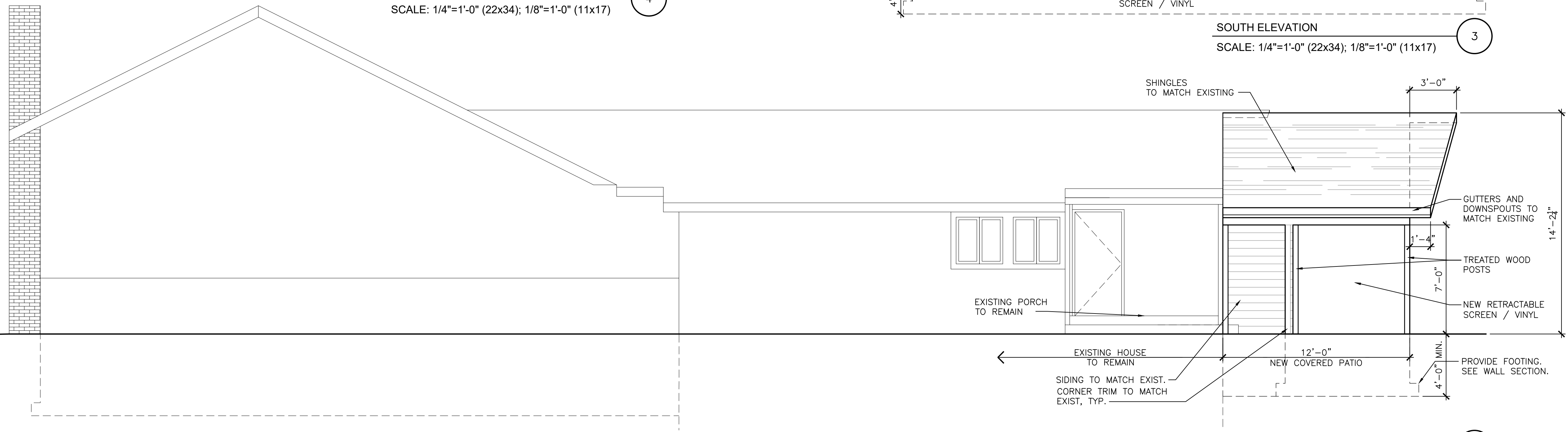
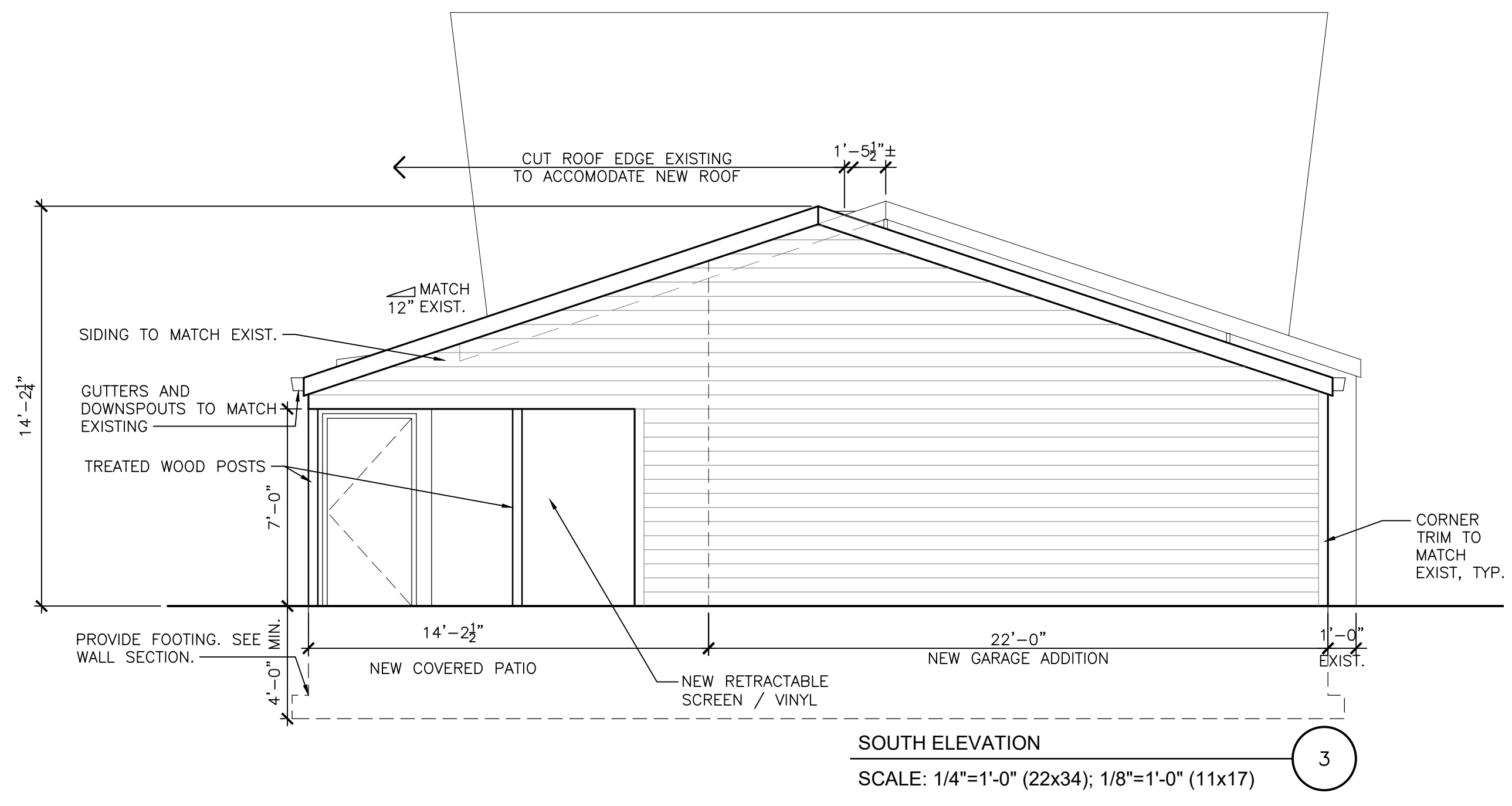
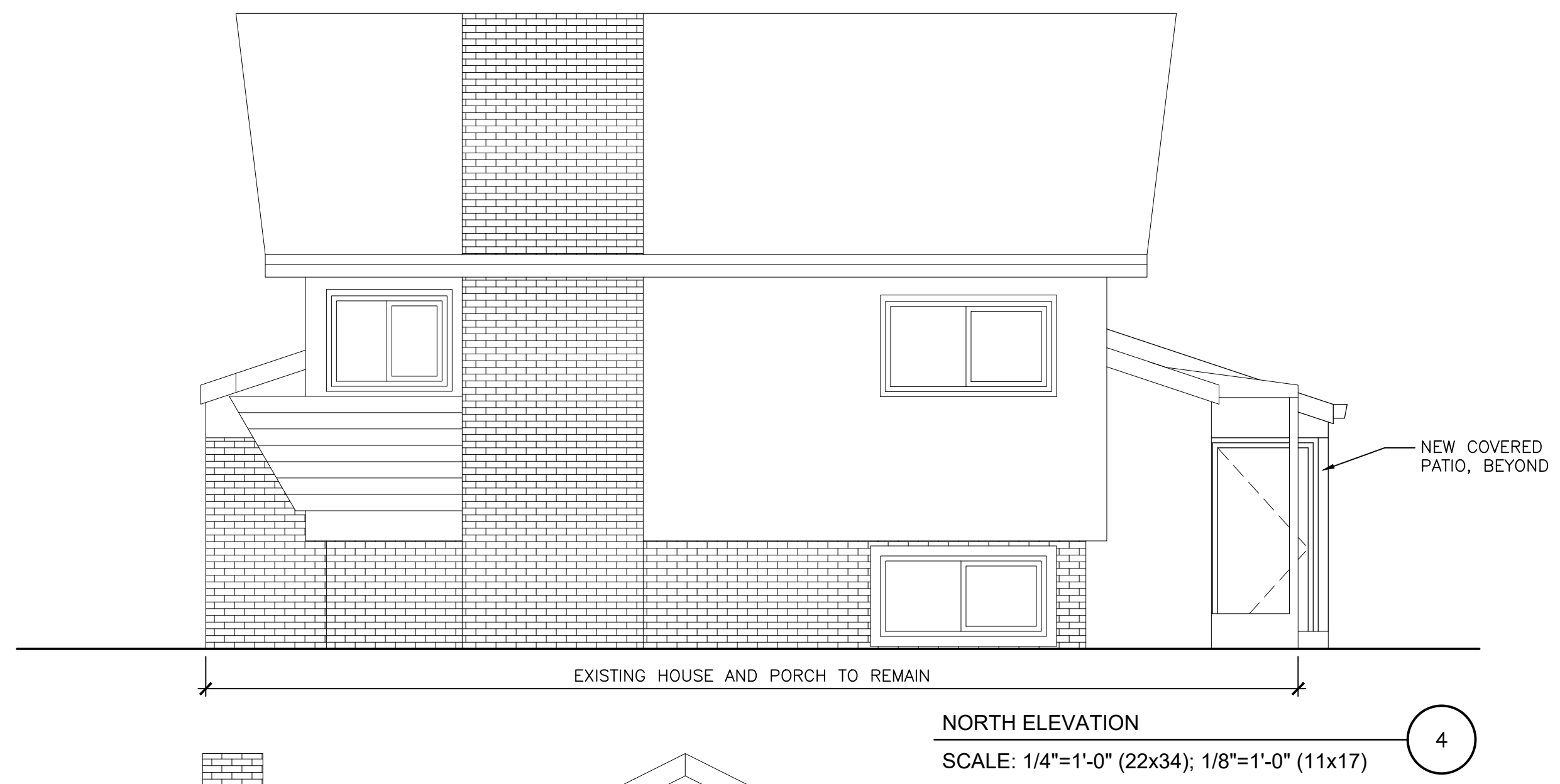


NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS

Drawn by	Checked by
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Revisions		
No.	Date	Description
	mm.dd.yyyy	Preliminary



NOT FOR CONSTRUCTION



EAST ELEVATION



3D VIEW SOUTHEAST CORNER



SOUTH ELEVATION



SOUTHEAST ELEVATION



3D VIEW SOUTHWEST CORNER



WEST ELEVATION



3D VIEW NORTHWEST CORNER

THRIVE ARCHITECTS

Architect
259 South Street, Suite A
WAUKESHA, WI 53186
p: 833-380-6180



Contractor
7701 N. Teutonia Ave.
Milwaukee, WI 53209
p: 414-354-2800
e: josh@jmremodelingwi.com

Project Info. — 25014 —

SWANSON RESIDENCE
GARAGE ADDITION

7631 N. Santa Monica Blvd.
Fox Point, WI 53217

Sheet Title

**EXISTING PHOTOS,
3D IMAGES**

Drawn by	Checked by
JAJ	JDB

Revisions		
No.	Date	Description
	05.02.2025	Building Board Review

Sheet No.

A3.0

NOT FOR CONSTRUCTION



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B-_____

OFFICE USE ONLY	
Issued Date	
Zoning	

BUILDING PERMIT

Job Address <u>8201 N Whitnash</u>	Building Type: Residential <input type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work	
<u>Remove exterior entry door west side</u>	
Estimated Cost of Project \$ <u>2000</u>	

Owner/Occupant	
Business Name <u>JSD property solutions</u>	Contact Name <u>John Stappus</u>
Address <u>8201 N Whitnash</u>	City/State/Zip <u>Fox Point WI</u>
Phone <u>1 414 559 3891</u>	Email <u>jsd.re.mitch@gmail.com</u>

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name <u>JSD Renovations</u>	Contact Name <u>Mitchell Garson</u>
Address <u>2231 S 56th St</u>	City/State/Zip <u>Milwaukee WI 53219</u>
Phone <u>420 757 4838</u>	Email <u>jsd.re.mitch@gmail.com</u>
Dwelling Contractor # <u>569</u> ✓	Dwelling Contractor Qualifier # <u>1222013-151</u> ✓

Square Footage Under Construction				
1st Floor <u>300</u>	2nd Floor	Basement <u>550</u>	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	\$ 170
Building Board	\$75.00	\$75
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ 70

Applicant Signature [Signature] Date 4/10/2025

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061449

May 21, 2025

8201 N WHITNEY RD

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING BOARD - FEE	

Total:	75.00
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CHECK	Check No: 1026	75.00
	Payor: 258 RENOVATIONS LLC	

Total Applied:	75.00
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Change Tendered:	.00
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Duplicate Copy

05/21/2025 8:36 AM

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061450

May 21, 2025

8201 N WHITNEY RD

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PERMIT	70.00
24-44460 BUILDING PERMIT	

Total:	70.00
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CHECK	Check No: 1027	70.00
	Payor: 258 RENOVATIONS	

Total Applied:	70.00
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Change Tendered:	.00
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Duplicate Copy

05/21/2025 8:51 AM

8201 N Whitney Road - Fox Point

Construction Concepts

1.19.25



Drawings Disclaimer

The drawings and visual representations provided are conceptual in nature and are intended for illustrative purposes only. They are not final construction documents and should not be used for construction, fabrication, or any other purpose requiring precise measurements or technical specifications.

The concepts depicted in these drawings are subject to further review, revisions, and approvals. Contractors, engineers, and other professionals should not rely solely on these drawings and must ensure compliance with all applicable building codes, regulations, and structural requirements. By using these drawings, the recipient assumes all responsibility for verifying dimensions, details, and suitability for their intended use.

The designer is not liable for any errors, omissions, or discrepancies that arise from the use of these drawings outside their intended purpose.

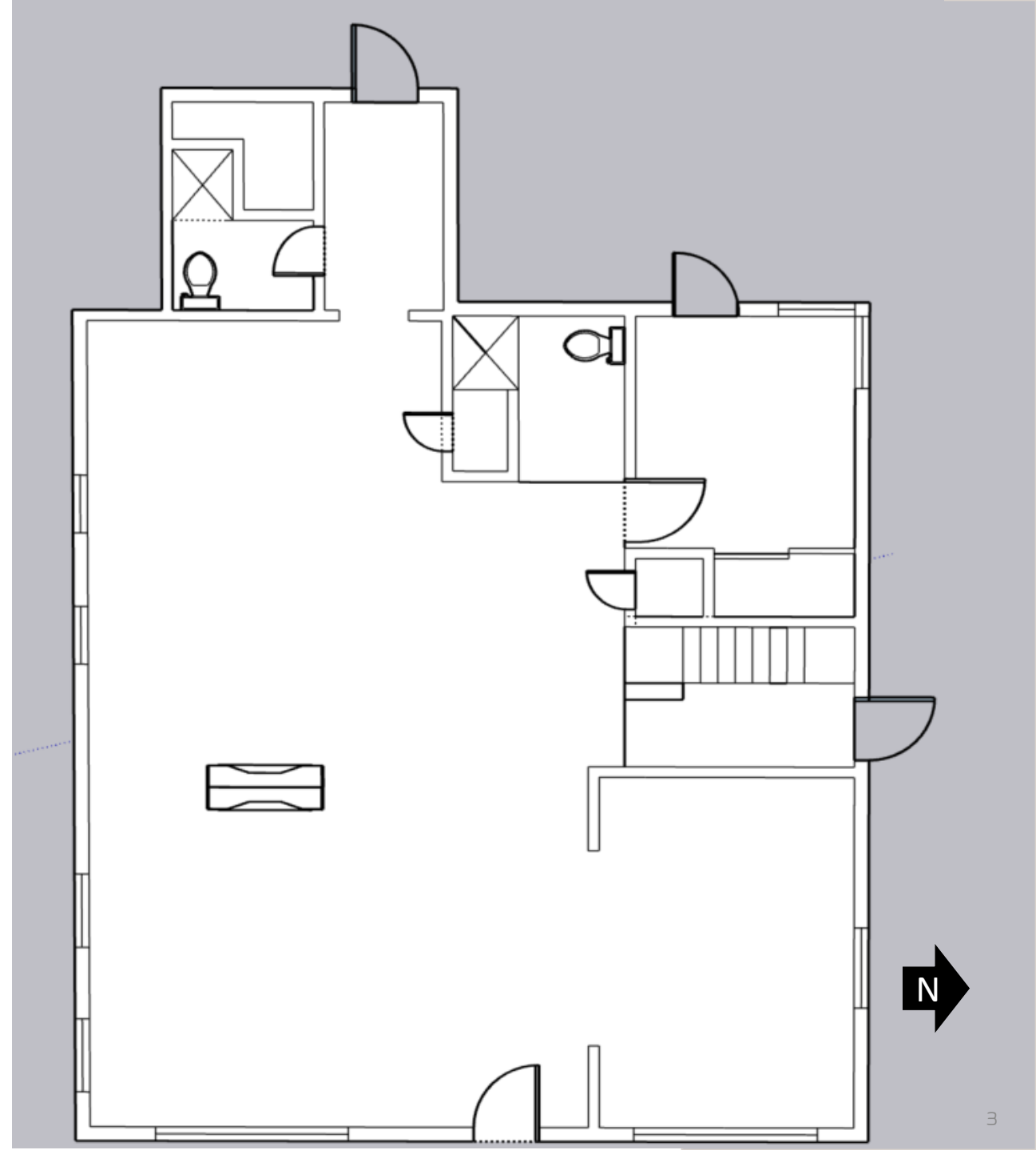


1st Floor – As Built

Not to scale

NOTES:

- Kitchen/back bedroom demo represented based on client photos

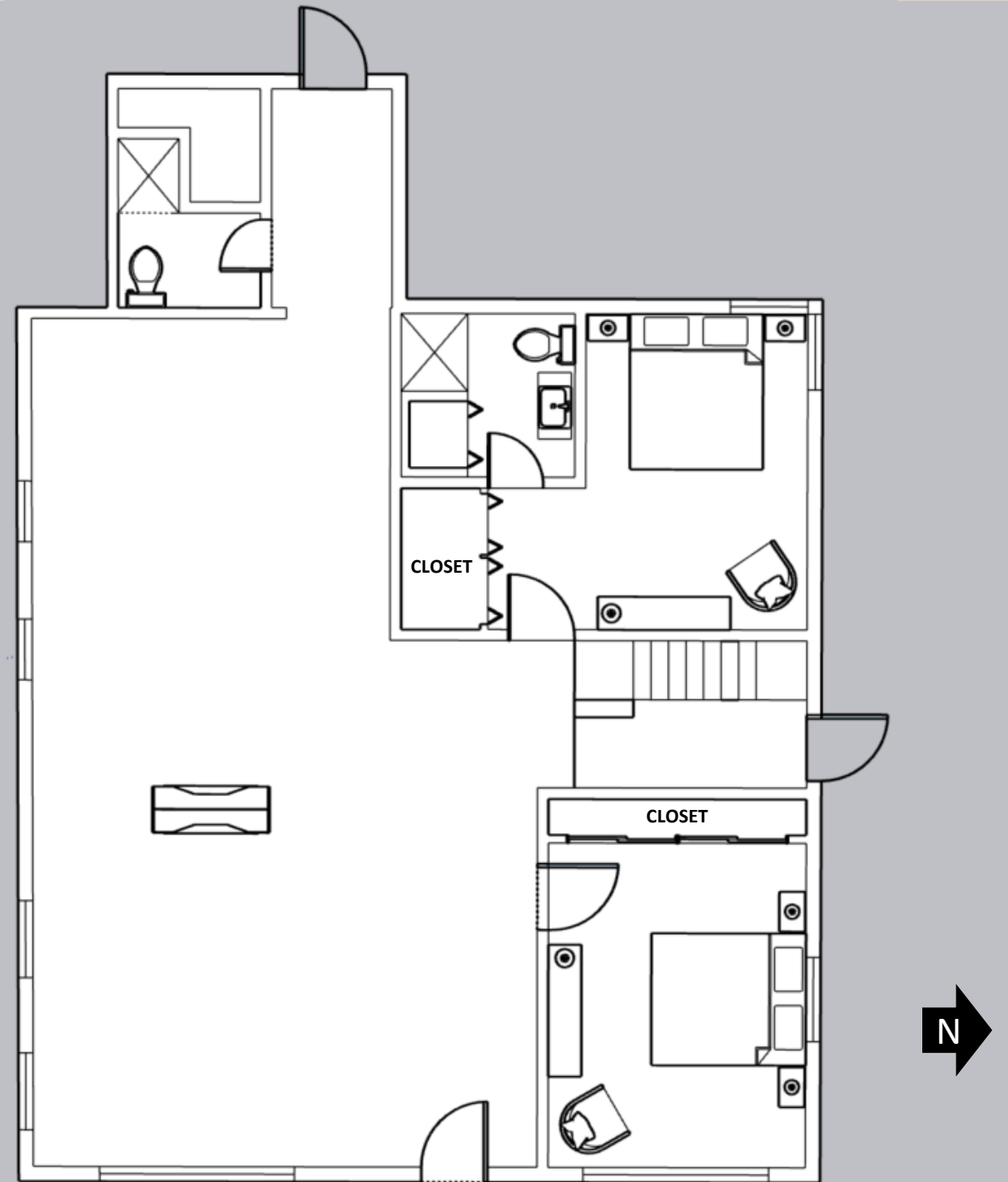


1st Floor – Layout Proposal

Not to scale

NOTES:

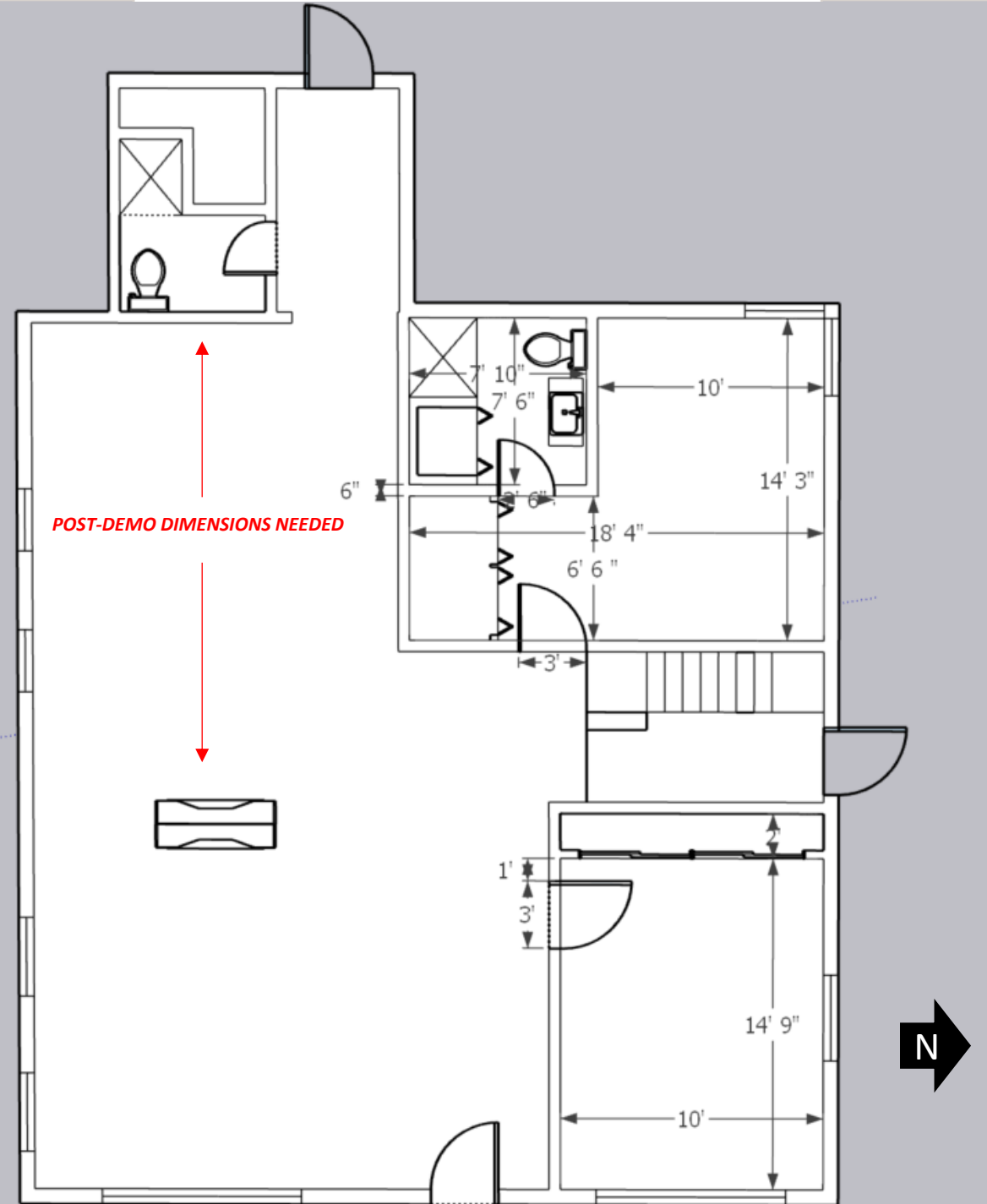
- Layout attempts to keep existing plumbing placement where possible
- Assumptions:
 - Removal of exterior door at back bedroom



1st Floor – Layout Proposal

Not to scale

Dimensions should be field verified



What's next?

Finish Selections – Monday, 1/20

Kitchen Layout & Selections – TBD ; Need post-demo dimensions

Lauren@StudioLCreative.com

414.614.4501





VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- _____

OFFICE USE ONLY	
Issued Date	
Zoning	C, 60'

BUILDING PERMIT

Job Address 8040 North Whitney Road	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work	
New 20'x18' Deck Install with Stairs and Railings	
Estimated Cost of Project \$37,516	

Owner/Occupant	
Business Name	Contact Name Matt Kirchner
Address 8040 North Whitney Road	City/State/Zip Fox Point WI 53217
Phone 414-405-9976	Email

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Integrity Decking Company	Contact Name Mae Worley
Address 1518 S Broadway	City/State/Zip Green bay WI 54304
Phone 920-961-2409	Email mae.worley@integritydecking.com
Dwelling Contractor # 582-DCFR	Dwelling Contractor Qualifier # DCQ-112301395

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition DECK 360	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	375.00
Building Board	\$75.00	75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$

Applicant Signature Mae Worley **Date** _____

Rev 01/22

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061425

May 13, 2025

8040 N GRAYLOG LN

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PERMIT	375.00
24-44460 BUILDING PERMIT	

Total:	375.00
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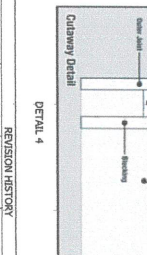
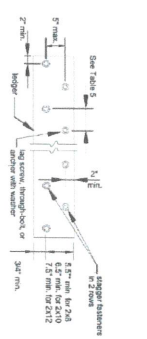
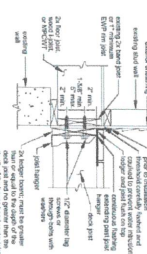
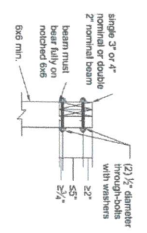
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Payor: INTEGRITY DECKING COMPANY

Total Applied:	375.00
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Change Tendered:	.00
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05/13/2025 10:20 AM



ALL LUMBER #1 GRADE SOUTHERN YELLOW PINE

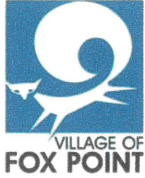
ZONE	REV	DESCRIPTION	DATE	APPROVED
A			4/30/2025	

ITEM	QTY	PART NUMBER	DESCRIPTION
11	23	2X10X20	
12	2	2X12X20	
13	2	2X12X12	
14	2	2X8X10	
15	0	6X6X12	
16	0	6X6X12	
17	6	POST TO BEAM BOLT	
7	6	ASSEMBLY	
8	6	DIAMOND PIER	
18	44	LEDBR SCREWS	
19	4	DIAMOND PIER TENSION	
20	1	TIES KIT	
21	56	1/2\"/>	

ITEM	QTY	PART NUMBER	DESCRIPTION
22	8	HU210-Z JOIST HANGER	
23	1	HU210-Z JOIST HANGER	
24	7	9X2.5\"/>	

MAXIMUM LOAD ON ROUND FOOTING

2000 SOIL BEARING CAPACITY	SOIL TYPE	MINIMUM 2000 psf SAND/GRAVEL
10	10900	
12	15700	
14	21500	
16	27300	
18	33100	
20	38900	
22	44700	
24	50500	
26	56300	
28	62100	
30	67900	
32	73700	
34	79500	
36	85300	
	91100	
	96900	
	102700	
	108500	
	114300	
	120100	
	125900	
	131700	
	137500	
	143300	
	149100	
	154900	
	160700	
	166500	
	172300	
	178100	
	183900	
	189700	
	195500	
	201300	
	207100	
	212900	
	218700	
	224500	
	230300	
	236100	
	241900	
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	259300	
	265100	
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	288300	
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	334700	
	340500	
	346300	
	352100	
	357900	
	363700	
	369500	
	375300	
	381100	
	386900	
	392700	
	398500	
	404300	
	410100	
	415900	
	421700	
	427500	
	433300	
	439100	
	444900	
	450700	
	456500	
	462300	
	468100	
	473900	
	479700	
	485500	
	491300	
	497100	
	502900	
	508700	
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	717500	
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	804500	
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	845100	
	850900	
	856700	
	862500	
	868300	
	874100	
	879900	
	885700	
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	2579300	
	2585100	



VILLAGE OF FOX POINT
7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Mae Worley

Homeowner's Name – PRINTED

8040 North Whitney Road Fox Point WI 53217

Property Address

Mae Worley

Homeowner's Signature

5/6/2025

Date

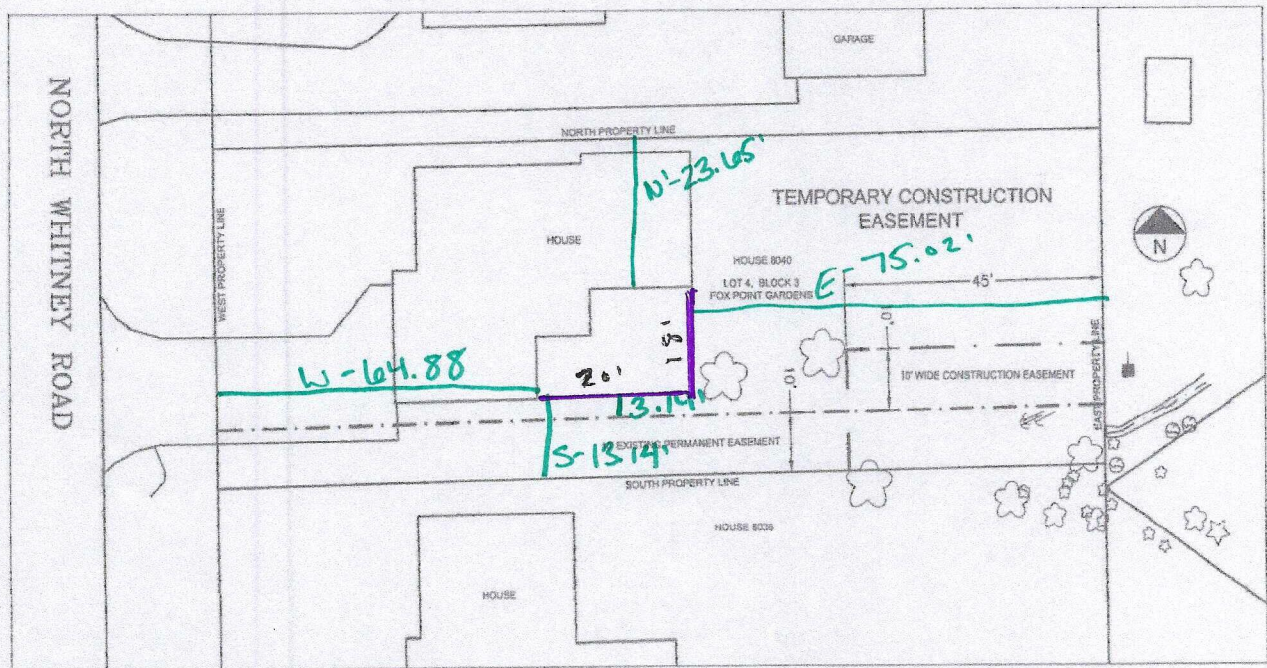
EXHIBIT "A"

GRANTOR: SUSAN M. JURKIEWICZ,
 JOSEPH G. JURKIEWICZ
 8040 N. WHITNEY ROAD
 FOX POINT, WISCONSIN
 TAX PARCEL NO. 059-0122-000

GRANTEE: VILLAGE OF FOX POINT
 7200 N. SANTA MONICA BOULEVARD
 FOX POINT, WISCONSIN

A TEMPORARY CONSTRUCTION EASEMENT OVER THAT PART OF LOT 4, BLOCK 3 OF FOX POINT GARDENS BEING PART OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN DESCRIBED AS:

THE SOUTH 20 FEET OF THE EAST 45 FEET OF LOT 4, BLOCK 3 OF FOX POINT GARDENS, AND BEING MORE PARTICULARLY DESCRIBED AS SHOWN IN THE DETAIL BELOW, CONTAINING 900 SQ. FT OR 0.0207 ACRES MORE OF LESS AND SUBJECT TO RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY AND EASEMENTS OF RECORD.



X:\projects\60249026_Fox Point_Milwaukee Rd\Draw\Temp\Const\const-1.dwg; 2/5/2013 10:35:42 AM; PIERING, MICHAEL, STS_050801.dwg



1555 N. RiverCenter Drive
 Milwaukee, WI 53212
 414.944.6080
 www.aecom.com
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LEGEND

- PERMANENT DRAINAGE EASEMENT
- TEMPORARY CONSTRUCTION EASEMENT
- POWER POLE
- ↙ GUY WIRE

Drawn :	MJP 2/04/2013
Checked:	JH 2/04/2013
Approved:	MJP 2/04/2013
PROJECT NUMBER	60249026
FIGURE NUMBER	1 OF 1

REGISTERED LAND SURVEYORS
 MILTON H. SCHMIDT, Pres.
 CLARENCE H. PIEPENBURG, Vice-Pres.
 JAMES A. EIDE, Sec.-Treas.

BADGER SURVEYING CO., INC.

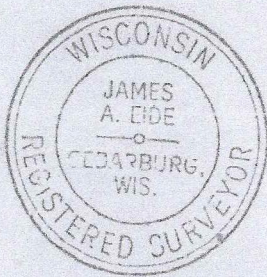
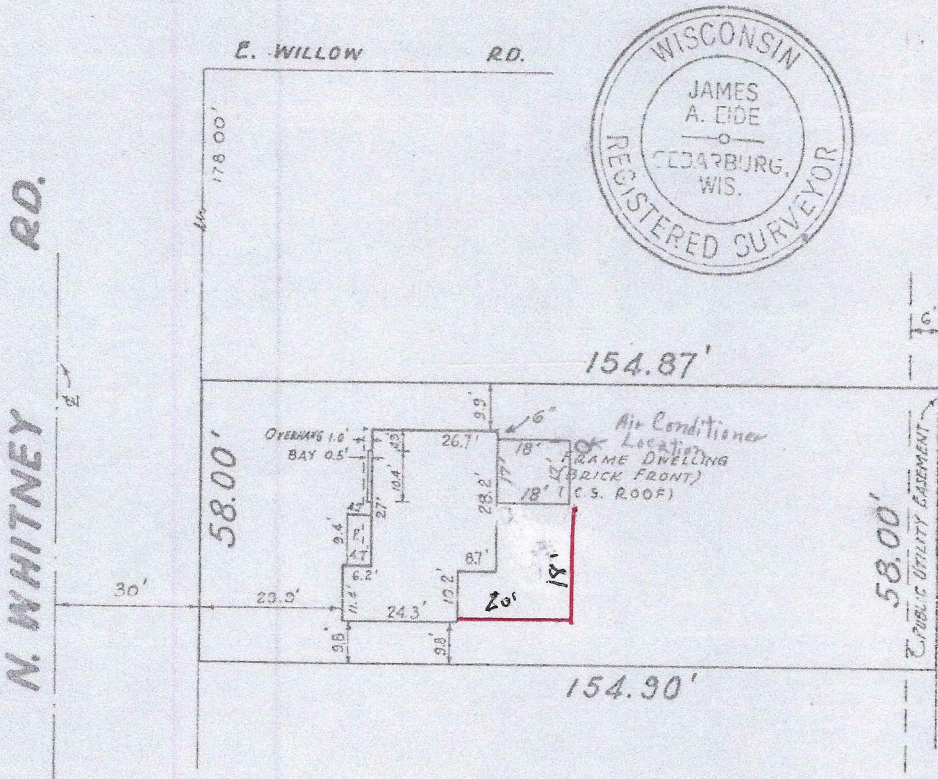
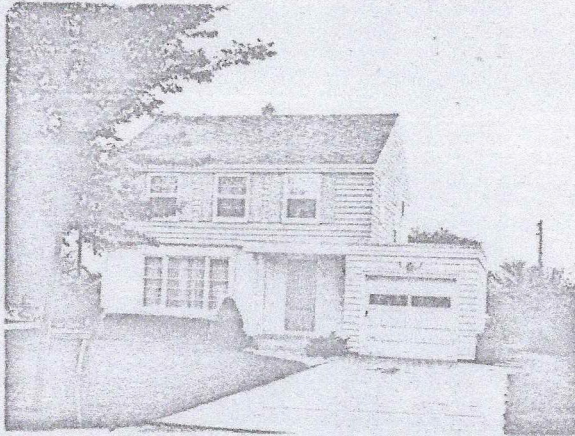
PHONE CONCORD 4-3782
 823 W. ATKINSON AVE.
 MILWAUKEE 6, WIS.

PLAT OF SURVEY

Property at 8040 N. Whitney Road

John H. Ritter - Owner

Legal Description: Lot 4, Block 3, Fox Point Gardens, being a part of the South West 1/4 of Section 9, Township 8 North, Range 22 East, in the Village of Fox Point, Milwaukee County, Wisconsin.



SCALE
 1" = 30'

Prepared for MARSHALL & HUSLEY BANK

State of Wisconsin, }
 County of Milwaukee } ss.

I hereby certify that on the 2ND day of OCTOBER, 1958, I have accurately surveyed the above described property and that the above plat is a correct representation thereof and shows the exterior boundary lines and location of buildings and other improvements on said property and the correct measurements thereof.

Plat No. 58-905

Signed James A. Eide Reg. No. 5-3
 Surveyor













VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B-

OFFICE USE ONLY
Issued Date
Zoning

BUILDING PERMIT

Job Address 6741 North Holly Court	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work Roof mounted solar	
Estimated Cost of Project \$ 24,880	

Owner/Occupant	
Business Name	Contact Name Valerie Sabatino
Address 6741 North Holly Court	City/State/Zip Fox Point WI 53217
Phone 920-765-2616	Email sabatino3v@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Current Electric Co.	Contact Name James Knowles
Address 2942 N. 117th St.	City/State/Zip Wauwatosa WI 53222
Phone 262-786-5885	Email james@callcurrent.com
Dwelling Contractor # 021400080-DC	Dwelling Contractor Qualifier # 061700071-DCQ

Square Footage Under Construction

1 st Floor	2 nd Floor	Basement	Addition 420 ft ²	Garage
-----------------------	-----------------------	----------	------------------------------	--------

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	240
Building Board	\$75.00	75
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ 315.00

Applicant Signature Date 5/21/2025

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061470

May 27, 2025

6741 N HOLLY CT

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PERMIT 24-44460 BUILDING PERMIT	315.00
LICENSES & PERMITS - ELECTRICAL PERMIT 24-44430 ELECTRICAL PERMIT	60.00

Total:	375.00
--------	--------

CHECK	Check No: 67486	375.00
-------	-----------------	--------

Payor: CURRENT ELECTRIC

CHECK		.00
-------	--	-----

Payor: CURRENT ELECTRIC

Total Paid:	375.00
-------------	--------

Total Applied:	375.00
----------------	--------

Change Tendered:	.00
------------------	-----

05/27/2025 11:24 AM

NAME:

VALARIE SABATINO
VILLAGE OF FOX POINT
STATE OF WISCONSIN

AC SYSTEM SIZE:

20 X .290KVA = 5.80KW

RACKING

SUNMODO PITCHED ROOF
SMR SYSTEM

MODULE SPECS (STC):

VSUN 400W
1723m x 1133mm x 35mm
Voc: 37.2V
Isc: 13.68A
MAX SERIES FUSE: 30A
21.8 KG PER MODULE

INVERTER:

(20) ENPHASE
IQ8PLUS-72-2-US MICRO
INVERTERS

BATTERY:

NONE

Segment Name
Segment A

Area (ft²)
420.26

Tilt
6.24

Azimuth
205.75

Solar Access
89.75

Module PMax
400

Module Count
20

KW DC STC
8.000



General Notes
ELECTRICAL
DESIGN DRAWING



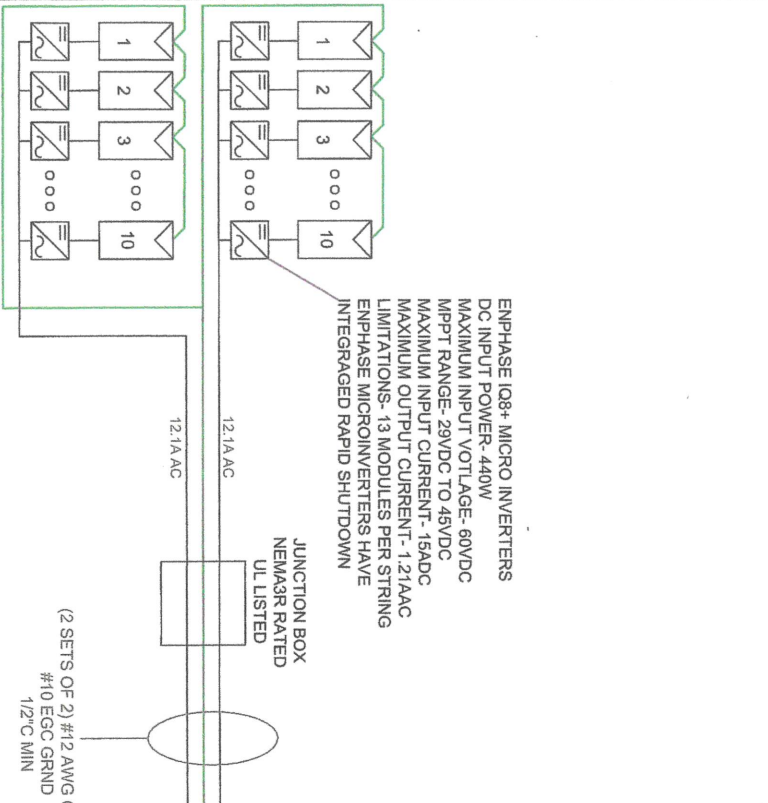
No.	Revision/Issue	Date

Current Electric Company
 7000 Wisconsin Ave
 Milwaukee, WI 53226
 Phone: (262) 786 8885
 Fax: (262) 786 7886
 WWW.CurrentElectric.com

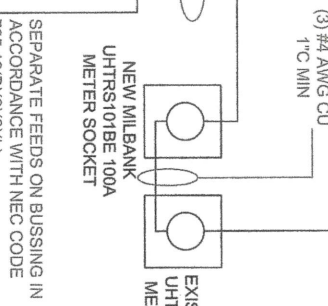
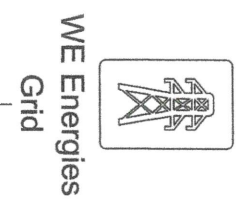
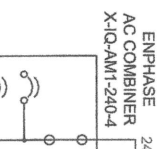
SABATINO RESERVE
 6941 N. HOLLAND COURT
 FOX POINT, WI 53177

DATE: 3/7/2023
 SCALE: NO SCALE
SITE PLAN

(20) VSUN 400W MODULES
 VSUN400-108M-BB
 (2) STRINGS OF 10 MODULES
 CONNECTED IN SERIES PER STRING
 SYSTEM SIZE (DC):
 (20) X VSUN 400W = 8.0KW
 SYSTEM SIZE (AC):
 (20) X IQ8+ 290KVA = 5.8KMWAC



ENPHASE IQ8+ MICRO INVERTERS
 DC INPUT POWER-440W
 MAXIMUM INPUT VOLTAGE- 60VDC
 MPPT RANGE- 29VDC TO 45VDC
 MAXIMUM INPUT CURRENT- 15ADC
 MAXIMUM OUTPUT CURRENT- 1.21AAC
 LIMITATIONS- 13 MODULES PER STRING
 ENPHASE MICROINVERTERS HAVE
 INTEGRATED RAPID SHUTDOWN



General Notes

ELECTRICAL

DESIGN DRAWING

Current Electric Company
 2942 North 17th Street
 Fox Point, WI 53117
 Phone: (262) 786 8885
 Fax: (262) 786 7898
 WWW.CurrentElectricCo.com

CURRENT ELECTRIC

DESIGNER

5/7/2025

NO. _____ Revision/Issue _____ Date _____

SHANTINO RESERVA
 5772925
 NO SCALE

ONE LINE

WISCONSIN
 5772925
 NO SCALE



VSE Project Number: U2768.0221.251

May 19, 2025

Current Electric Co
ATTENTION: Joe Witherow
2942 N 117th St
Wauwatosa, WI 53222

REFERENCE: Sabatino Residence: 6741 North Holly Court, Fox Point, WI 53217
Current Electric Co Project: 222218
Solar Array Installation

To Whom It May Concern:

We have reviewed the existing structure at the above referenced site. The purpose of our review was to determine the adequacy of the existing structure to support the proposed installation of solar panels on the roof as shown on the panel layout plan.

Based upon our review, we conclude the existing structure is adequate to support the proposed solar panel installation.

Design Parameters

Code: Wisconsin Uniform Dwelling Code, Latest Edition
Occupancy Category: II
Design wind speed, V_{asd} : 90 mph (3-sec gust)
Wind exposure category: C
Snow load: 30 psf
Minimum roof snow load, P_m : 30 psf (not reducible)

Existing Roof Structure

Roof structure: 2x6 rafters @ 16" o.c. w/ 2x6 purlins @ 16" O.C.
Roofing material: membrane
Roof pitch: 1:12

Connection to Roof

Mounting connection: (1) 5/16" lag screw w/ min. 2.5" threaded embedment into framing at max. 48" o.c. along rails

- Install (2) rails per row of panels, evenly spaced from panel center
- Panel length perpendicular to the rails shall not exceed 68 in
- Rail cantilever shall not exceed the lesser of 50% of the connection spacing or max cantilever allowed by manufacturer
- Connections shall be staggered so as not to overload any existing structural member

Conclusions

Based upon our review, we conclude the existing structure is adequate to support the proposed solar panel installation. See attached calculations.



VSE Project Number: U2768.0221.251

Sabatino Residence

5/19/2025

The solar array will be flush-mounted (no more than 18" above the roof surface) and parallel to the roof surface. Thus, we conclude that any additional wind loading on the structure related to the addition of the proposed solar array is negligible. The attached calculations verify the capacity of the connections of the solar array to the existing roof against wind (uplift), the governing load case. Increases in lateral forces less than 10% are considered acceptable. Thus the existing lateral force resisting system is permitted to remain unaltered.

Limitations

Installation of the solar panels must be performed in accordance with manufacturer recommendations. All work performed must be in accordance with accepted industry-wide methods and applicable safety standards. The contractor must notify Vector Structural Engineering, LLC should any damage, deterioration or discrepancies between the as-built condition of the structure and the condition described in this letter be found. The use of solar panel support span tables provided by others is allowed only where the building type, site conditions, site-specific design parameters, and solar panel configuration match the description of the span tables. The design of the solar panels, solar racking (mounts, rails, etc.) and electrical engineering is the responsibility of others. Waterproofing around the roof penetrations is the responsibility of others. Vector Structural Engineering assumes no responsibility for improper installation of the solar array. Vector Structural Engineering shall be notified of any changes from the approved layout prior to installation.

VECTOR STRUCTURAL ENGINEERING, LLC

WI Firm License: 3372-11



05/19/2025

Andrew J. Marker, P.E.

WI License: 100525-6 - Expires: 07/31/2026

Project Engineer

Enclosures

AJM/cna



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PROJECT: Sabatino Residence
JOB NO.: U2768.0221.251

SUBJECT: WIND PRESSURE

ASCE 7-05 does not address PV panels, therefore, calculations are per ASCE 7-22

Calculate Velocity Pressures (Chapter 26)

$$q_h = 0.00256K_hK_{zt}K_eV^2 \quad (\text{Eq. 26.10-1})$$

Roof Plane	Risk Cat.	Wind Speed, V_{ult} [mph]	Wind Exp. Cat.	Roof Height, h [ft]	Z_g [ft]	α	K_h	K_{zt}	K_e	K_d	q_h [psf]	$q_h * K_d$ [psf]	Racking Type
Typical	II	90	C	15	2460	9.8	0.85	1.00	0.97	0.85	17.2	14.6	Railed

Calculate Component and Cladding Pressures (Chapters 29 and 30)

'-' pressure descriptions act away from panels (uplift), '+' pressure descriptions act towards panel (downward)

Pressure Description	$q_h * K_d$ [psf]	C&C Category	$G C_p$	V_E	V_a	V_c	V_p	Pressure, P (1.0 W) [psf]
Typical: - Zone 1' (Exposed, Portrait)	14.6	Gable Roofs $\theta \leq 7^\circ$	0.9	1.5	0.8	1.0	1.0	16.0
Typical: - Zone 1 (Exposed, Portrait)	14.6	Gable Roofs $\theta \leq 7^\circ$	1.7	1.5	0.8	1.0	1.0	28.6
Typical: - Zone 2 (Exposed, Portrait)	14.6	Gable Roofs $\theta \leq 7^\circ$	2.3	1.5	0.8	1.0	1.0	38.8
Typical: - Zone 3 (Exposed, Portrait)	14.6	Gable Roofs $\theta \leq 7^\circ$	3.1	1.5	0.8	1.0	1.0	53.7



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PROJECT: Sabatino Residence
JOB NO.: U2768.0221.251

SUBJECT: CONNECTION

Calculate Uplift Forces on Connection

	Pressure (0.6 Dead - 0.6 Wind) (psf)	Max Trib. Width ¹ (ft)	Max Trib. Area ² (ft ²)	Max Uplift Force (lbs)
- Zone 1' (P)	7.8	4.0	11.3	88
- Zone 1 (P)	15.4	4.0	11.3	174
- Zone 2 (P)	21.5	4.0	11.3	243
- Zone 3 (P)	30.4	4.0	11.3	343

(P) = Portrait orientation relative to rails, (L) = Landscape orientation relative to rails

Calculate Connection Capacity

Lag Screw Size [in]:	5/16	
C _d :	1.6	NDS Table 2.3.2
Embedment ³ [in]:	2.5	
Grade:	SPF (G = 0.42)	
Nominal Capacity [lbs/in]:	205	NDS Table 12.2A
Number of Screws:	1	
Prying Coefficient:	1.4	
Total Capacity [lbs]:	586	

Determine Result

Maximum Demand [lbs]:	343
Lag Screw Capacity [lbs]:	586

Result: **Capacity > Demand, Connection is adequate.**

Notes

1. 'Max Trib. Width' is the width along the rails tributary to the connection.
2. 'Max Trib Area' is the product of the 'Max. Trib Width' and 1/2 the panel width/height perpendicular to the rails. This installation uses (2) rails per row of panels. Length of the panels perpendicular to the rails shall not exceed 68".
3. Embedment is measured from the top of the framing member to the beginning of the tapered tip of the lag screw. Embedment in sheathing or other material is not effective. The length of the tapered tip is not part of the embedment length.



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PROJECT: Sabatino Residence
JOB NO.: U2768.0221.251

SUBJECT: GRAVITY LOADS

GRAVITY LOADS

Roof Pitch: :12

ROOF DEAD LOAD (D)	Design material weight [psf]	Increase due to pitch	Material weight [psf]
Membrane	3.0	1.00	3.0
1/2" Plywood	1.0	1.00	1.0
Framing	3.0		3.0
Insulation	0.0		0.0
1/2" Gypsum Clg.	0.0	1.00	0.0
M, E & Misc	2.0		2.0
Total Existing Roof DL	9.0		
PV Array DL	3.0	1.00	3

ROOF LIVE LOAD (Lr)

Existing Design Roof Live Load [psf]	<input type="text" value="20"/>	ASCE 7-05 Table 4-1
Roof Live Load With PV Array [psf]	<input type="text" value="0"/>	

SNOW LOAD (S):

Existing w/ Solar Array

Roof Slope [x:12]:	<input type="text" value="1.0"/>	<input type="text" value="1.0"/>	
Roof Slope [°]:	<input type="text" value="5"/>	<input type="text" value="5"/>	
Ground Snow Load, p_g [psf]	<input type="text" value="30"/>	<input type="text" value="30"/>	ASCE 7-05, Section 7.2
Surface Roughness Category:	<input type="text" value="C"/>	<input type="text" value="C"/>	ASCE 7-05, Table 7-2
Exposure of Roof:	<input type="text" value="Fully Exposed"/>	<input type="text" value="Fully Exposed"/>	ASCE 7-05, Table 7-2
Exposure Factor, C_e :	<input type="text" value="0.9"/>	<input type="text" value="0.9"/>	ASCE 7-05, Table 7-2
Thermal Factor, C_t :	<input type="text" value="1.1"/>	<input type="text" value="1.1"/>	ASCE 7-05, Table 7-3
Risk Category:	<input type="text" value="II"/>	<input type="text" value="II"/>	ASCE 7-05, Table 1-1
Importance Factor, I_s :	<input type="text" value="1.0"/>	<input type="text" value="1.0"/>	ASCE 7-05, Table 7-4
Flat Roof Snow Load, p_f [psf]:	<input type="text" value="21"/>	<input type="text" value="21"/>	ASCE 7-05, Equation 7-1
Minimum Roof Snow Load, p_m [psf]:	<input type="text" value="30"/>	<input type="text" value="30"/>	ASCE 7-05, Section 7.3.4
Unobstructed Slippery Surface?	<input type="text" value="No"/>	<input type="text" value="No"/>	ASCE 7-05, Section 7.4
Slope Factor Figure:	<input type="text" value="Figure 7-2b"/>	<input type="text" value="Figure 7-2b"/>	ASCE 7-05, Section 7.4
Roof Slope Factor, C_s :	<input type="text" value="1.00"/>	<input type="text" value="1.00"/>	ASCE 7-05, Figure 7-2
Sloped Roof Snow Load, p_s [psf]:	<input type="text" value="21"/>	<input type="text" value="21"/>	ASCE 7-05, Equation 7-2
Design Snow Load, S [psf]:	<input type="text" value="30"/>	<input type="text" value="30"/>	



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PROJECT: Sabatino Residence
 JOB NO.: U2768.0221.251

SUBJECT: BEAMS

DESIGN LOADS:	Load Types:	Snow	Live	Dead
	Roof	30	20	9
	Solar			3.0

CRITERIA (L)	D _{TL}	D _{LL}	D _{OL}
A _(BLANK)	120	180	

Abbrev	GRADES	F _{box} (psi)	F _{vec} (psi)	E _{sk} (psi)	g (lb/ft ³)
DFL#1	DFL#1	1,000	180	1,700,000	32
DFL#2	DFL#2	900	180	1,600,000	32
DFL (5X)	DFL#1 5X5 & LARGER	1,350	170	1,600,000	32
SPF#2	SPF#2	875	135	1,400,000	26.2
SPF#2	SPF#2	1,100	175	1,400,000	34.3
24F-V4	24F-V4	2,400	240	1,800,000	32
24F-V8	24F-V8	2,400	240	1,800,000	40
LVL (1.9)	LVL (1.9X108E)	2,600	285	1,900,000	40
LVL (2.0)	LVL (2.0X108E)	2,200	285	2,000,000	42
LSL	LSL (1.3X108E)	1,700	400	1,300,000	42
STL38	GRADE 38 STEEL	21,800	14,400	29,000,000	490
STL46	GRADE 46 STEEL	27,700	16,500	29,000,000	490
STL50	GRADE 50 STEEL	30,000	20,000	29,000,000	490

Label	Roof Length 'L' (ft)	Roof Trib (ft)	Wall Trib (ft)	Add'l Live Load (plf)	Add'l Solar Load (plf)	Point Live Load 'P _{LL} ' (lb)	Point Dead Load 'P _{DL} ' (lb)	# PLIES	Grade	Size	"BM/HDR"	D CRITERIA	C _r	C _D	C _{F,V}	R _S (lb)	R _b (lb)	M _{max} (ft-lb)	M _{allow} (ft-lb)	V _{max} (lb)	V _{allow} (lb)	D _{TL} (in)	D _{TL,allow} (in)	D _{LL} (in)	D _{LL,allow} (in)	1.5DL GLB Camb	Check
Rafter	11.1	1.33		4.0				(1)	SPF#2	2x6			1.15	1.15	1.30	311	311	860	948	285	854	0.653	1.108	0.466	0.739		0.91M

PROJECT: Sabatino Residence



VSUN405-108M-BB

405W

Highest power output

20.75%

Module efficiency

12years

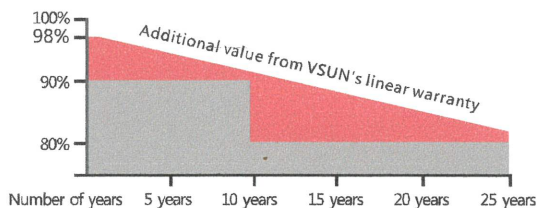
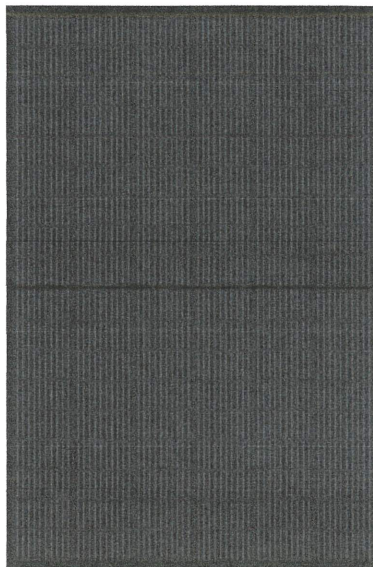
Material & Workmanship warranty

25years

Linear power output warranty

VSUN405-108M-BB
VSUN395-108M-BB

VSUN400-108M-BB
VSUN390-108M-BB



■ VSUN

■ Standard Warranty

Munich RE



MBB technology with Circular Ribbon



Higher output power



Half-cell Technology



Positive tolerance offer



Micro Gap



Better shading tolerance



Fire safety: Class C



Load certificates: wind to 2400Pa and snow to 5400Pa



Beautiful appearance with black frame and black backsheet

VSUN, a BNEF Tier-1 PV module manufacturer invested by Fuji Solar, has been committed to providing greener, cleaner and more intelligent renewable energy solutions. VSUN is dedicated to bringing reliable, customized and high-efficient products into various markets and customers worldwide



Electrical Characteristics at Standard Test Conditions(STC)

Module Type	VSUN405-108M-BB	VSUN400-108M-BB	VSUN395-108M-BB	VSUN390-108M-BB
Maximum Power - Pmax (W)	405	400	395	390
Open Circuit Voltage - Voc (V)	37.36	37.2	37.03	36.84
Short Circuit Current - Isc (A)	13.78	13.68	13.59	13.5
Maximum Power Voltage - Vmpp (V)	31.36	31.17	31	30.82
Maximum Power Current - Imp (A)	12.92	12.84	12.75	12.66
Module Efficiency	20.75%	20.49%	20.23%	19.98%

Standard Test Conditions (STC): irradiance 1,000 W/m²; AM 1.5; module temperature 25°C. Pmax Sorting : 0~5W. Measuring Tolerance: ±3%.

Remark: Electrical data do not refer to a single module and they are not part of the offer. They only serve for comparison among different module types.

Electrical Characteristics at Normal Operating Cell Temperature(NOCT)

Module Type	VSUN405-108M-BB	VSUN400-108M-BB	VSUN395-108M-BB	VSUN390-108M-BB
Maximum Power - Pmax (W)	302.1	298.4	294.7	287.3
Open Circuit Voltage - Voc (V)	35.1	34.9	34.8	34.5
Short Circuit Current - Isc (A)	11.19	11.13	11.05	10.91
Maximum Power Voltage - Vmpp (V)	29.1	28.9	28.8	28.4
Maximum Power Current - Imp (A)	10.39	10.32	10.25	10.1

Normal Operating Cell Temperature(NOCT) : irradiance 800W/m²; wind speed 1 m/s ; ambient temperature 20°C. Measuring Tolerance: ±3%.

Temperature Characteristics

NOCT	45°C (±2°C)
Voltage Temperature Coefficient	-0.27%/°C
Current Temperature Coefficient	+0.048%/°C
Power Temperature Coefficient	-0.32%/°C

Maximum Ratings

Maximum System Voltage [V]	1000
Series Fuse Rating [A]	30

Material Characteristics

Dimensions	1723×1133×35mm (L×W×H)
Weight	21.8kg
Frame	Black anodized aluminum profile
Front Glass	White toughened safety glass, 3.2 mm
Cell Encapsulation	EVA (Ethylene-Vinyl-Acetate)
Back Sheet	Composite film
Cells	12×9 pieces monocrystalline solar cells series strings
Junction Box	IP68, 3 diodes
Cable&Connector	Potrait: 500 mm (cable length can be customized) , 1×4 mm ² , Connector: PV-ZH202B

Packaging

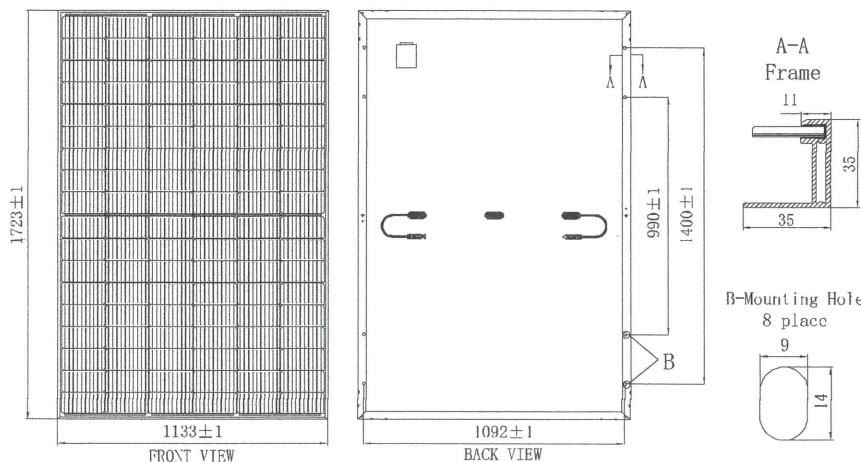
Dimensions(L×W×H)	1760×1125×1253mm
Container20'	186
Container40'	403
Container40'HC	806

System Design

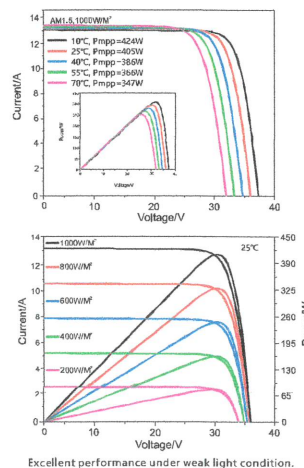
Temperature Range	-40 °C to + 85 °C
Withstanding Hail	Maximum diameter of 25 mm with impact speed of 23 m·s ⁻¹
Maximum Surface Load	5,400 Pa
Application class	class A

Dimensions

Note: mm



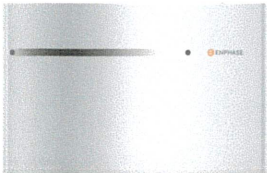
IV-Curves





IQ8 and IQ8+ Microinverters

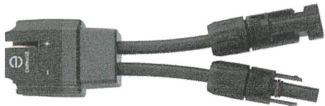
Our newest IQ8 Microinverters are the industry's first microgrid-forming, software-defined microinverters with split-phase power conversion capability to convert DC power to AC power efficiently. The brain of the semiconductor-based microinverter is our proprietary application-specific integrated circuit (ASIC) which enables the microinverter to operate in grid-tied or off-grid modes. This chip is built in advanced 55nm technology with high speed digital logic and has super-fast response times to changing loads and grid events, alleviating constraints on battery sizing for home energy systems.



Part of the Enphase Energy System, IQ8 Series Microinverters integrate with the Enphase IQ Battery, Enphase IQ Gateway, and the Enphase App monitoring and analysis software.



IQ8 Series Microinverters redefine reliability standards with more than one million cumulative hours of power-on testing, enabling an industry-leading limited warranty of up to 25 years.



Connect PV modules quickly and easily to IQ8 Series Microinverters using the included Q-DCC-2 adapter cable with plug-n-play MC4 connectors.



IQ8 Series Microinverters are UL Listed as PV Rapid Shut Down Equipment and conform with various regulations, when installed according to manufacturer's instructions.

Easy to install

- Lightweight and compact with plug-n-play connectors
- Power Line Communication (PLC) between components
- Faster installation with simple two-wire cabling

High productivity and reliability

- Produce power even when the grid is down*
- More than one million cumulative hours of testing
- Class II double-insulated enclosure
- Optimized for the latest high-powered PV modules

Microgrid-forming

- Complies with the latest advanced grid support**
- Remote automatic updates for the latest grid requirements
- Configurable to support a wide range of grid profiles
- Meets CA Rule 21 (UL 1741-SB) requirements

IQ8 and IQ8+ Microinverters

INPUT DATA (DC)		IQ8-60-2-US	IQ8PLUS-72-2-US
Commonly used module pairings ¹	W	235 – 350	235 – 440
Module compatibility		60-cell/120 half-cell	60-cell/120 half-cell, 66-cell/132 half-cell and 72-cell/144 half-cell
MPPT voltage range	V	27 – 37	29 – 45
Operating range	V	25 – 48	25 – 58
Min/max start voltage	V	30 / 48	30 / 58
Max input DC voltage	V	50	60
Max DC current ² [module Isc]	A		15
Oversoltage class DC port			II
DC port backfeed current	mA		0
PV array configuration		1x1 Ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit	
OUTPUT DATA (AC)		IQ8-60-2-US	IQ8PLUS-72-2-US
Peak output power	VA	245	300
Max continuous output power	VA	240	290
Nominal (L-L) voltage/range ³	V		240 / 211 – 264
Max continuous output current	A	1.0	1.21
Nominal frequency	Hz		60
Extended frequency range	Hz		50 – 68
AC short circuit fault current over 3 cycles	Arms		2
Max units per 20 A (L-L) branch circuit ⁴		16	13
Total harmonic distortion			<5%
Oversoltage class AC port			III
AC port backfeed current	mA		30
Power factor setting			1.0
Grid-tied power factor (adjustable)			0.85 leading – 0.85 lagging
Peak efficiency	%	97.5	97.6
CEC weighted efficiency	%	97	97
Night-time power consumption	mW		60
MECHANICAL DATA			
Ambient temperature range		-40°C to +60°C (-40°F to +140°F)	
Relative humidity range		4% to 100% (condensing)	
DC Connector type		MC4	
Dimensions (HxWxD)		212 mm (8.3") x 175 mm (6.9") x 30.2 mm (1.2")	
Weight		1.08 kg (2.38 lbs)	
Cooling		Natural convection – no fans	
Approved for wet locations		Yes	
Pollution degree		PD3	
Enclosure		Class II double-insulated, corrosion resistant polymeric enclosure	
Environ. category / UV exposure rating		NEMA Type 6 / outdoor	
COMPLIANCE			
Certifications		CA Rule 21 (UL 1741-SB), UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01	

(1) No enforced DC/AC ratio. See the compatibility calculator at <https://link.enphase.com/module-compatibility>
 (2) Maximum continuous input DC current is 10.6A (3) Nominal voltage range can be extended beyond nominal if required by the utility. (4) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

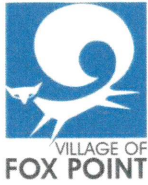






6741





VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B-_____

OFFICE USE ONLY	
Issued Date	
Zoning	

BUILDING PERMIT

Job Address	7137 N. SANTA MONICA BLVD	Building Type:	Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work	EXPAND 2ND FLOOR TO ADD BEDROOM, OFFICE FULL BATH, LAUNDRY, REPLACE WINDOWS + DOORS. RENOVATE KITCHEN, FIRST FLOOR BEDROOM + BATHROOM, REBUILD + INSULATE BREECREARY + VAULT CEILING NEW ROOF + EXTEND CHIMNEY HEIGHT		
Estimated Cost of Project \$	175,000		


Owner/Occupant	
Business Name	Contact Name JAY SCHMIAT
Address 7137 N. SANTA MONICA	City/State/Zip FOX POINT
Phone 414-517-7716	Email jay@TEAMHWC.COM

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name SELF, IHN PLUMBING	Contact Name
Address	City/State/Zip
Phone	Email
Dwelling Contractor #	Dwelling Contractor Qualifier #

Square Footage Under Construction									
1 st Floor	700	2 nd Floor	1200	Basement	700	Addition		Garage	

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	1750
Building Board	\$75.00	23
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		275
State Seal	\$75.00	75
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ 2175
		1750

Applicant Signature  Date 5/23/25

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061480

May 29, 2025

7137 N SANTA MONICA BLVD

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PERMIT 24-44460 BUILDING PERMIT	1,750.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE 24-44440 BUILDING BOARD - FEE	75.00

Total:	1,825.00
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CHECK	Check No: 3835	1,750.00
Payor: JAY SCHMIDT		

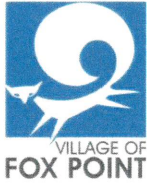
CASH		75.00
Payor: JAY SCHMIDT		

Total Paid:	1,825.00
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Total Applied:	1,825.00
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Change Tendered:	.00
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05/29/2025 11:41 AM



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

**CAUTIONARY STATEMENT TO OWNERS
 OBTAINING BUILDING PERMITS**

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If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

JAY SCHMIOT

Homeowner's Name – PRINTED

7137 N SANTA MONICA BLVD

Property Address

Homeowner's Signature

5/23/25

Date

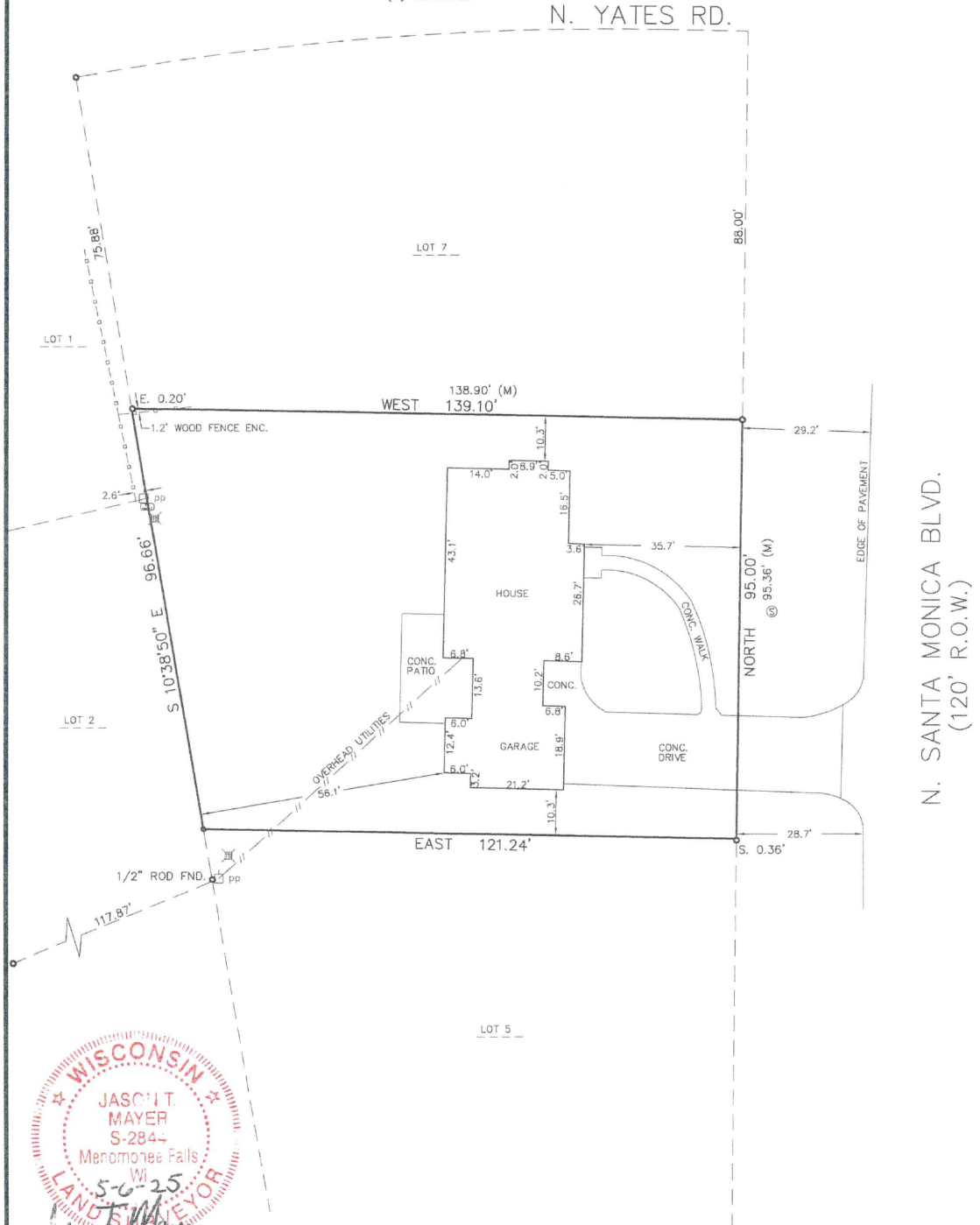
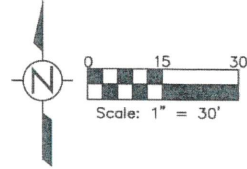
LOT 6, BLOCK 1, FOX POINT ESTATES SUBDIVISION ADDITION NO. 1, BEING A PART OF THE NORTHWEST 1/4 OF SECTION 21, TOWNSHIP 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN.

CONTAINING 12,366 SQUARE FEET, 0.2839 ACRES MORE OR LESS.

PLAT OF SURVEY FOR:

JAY SCHMIDT
7137 N. SANTA MONICA BLVD.
FOX POINT, WI.

- LEGEND**
- 1" IRON PIPE FOUND UNLESS NOTED
 - 3/4" REBAR SET
 - POWER POLE
 - ☒ TELEPHONE BOX
 - ☒ FIBER VAULT
 - ⊙ SANITARY MANHOLE
 - (M) MEASURED

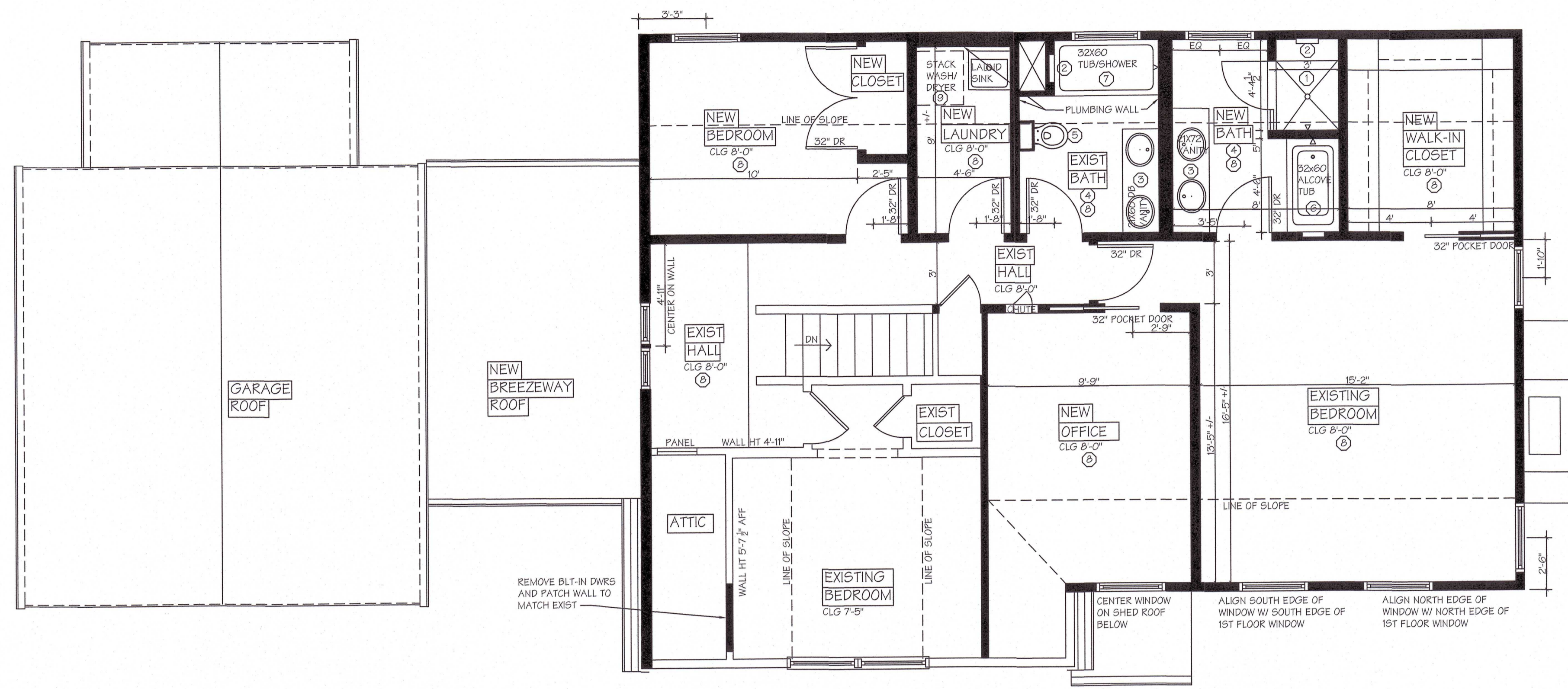


WISCONSIN
JASON T. MAYER
S-2844
Menomonee Falls, WI
5-6-25
Jason T. Mayer
JASON T. MAYER
P.L.S. NO. 2844

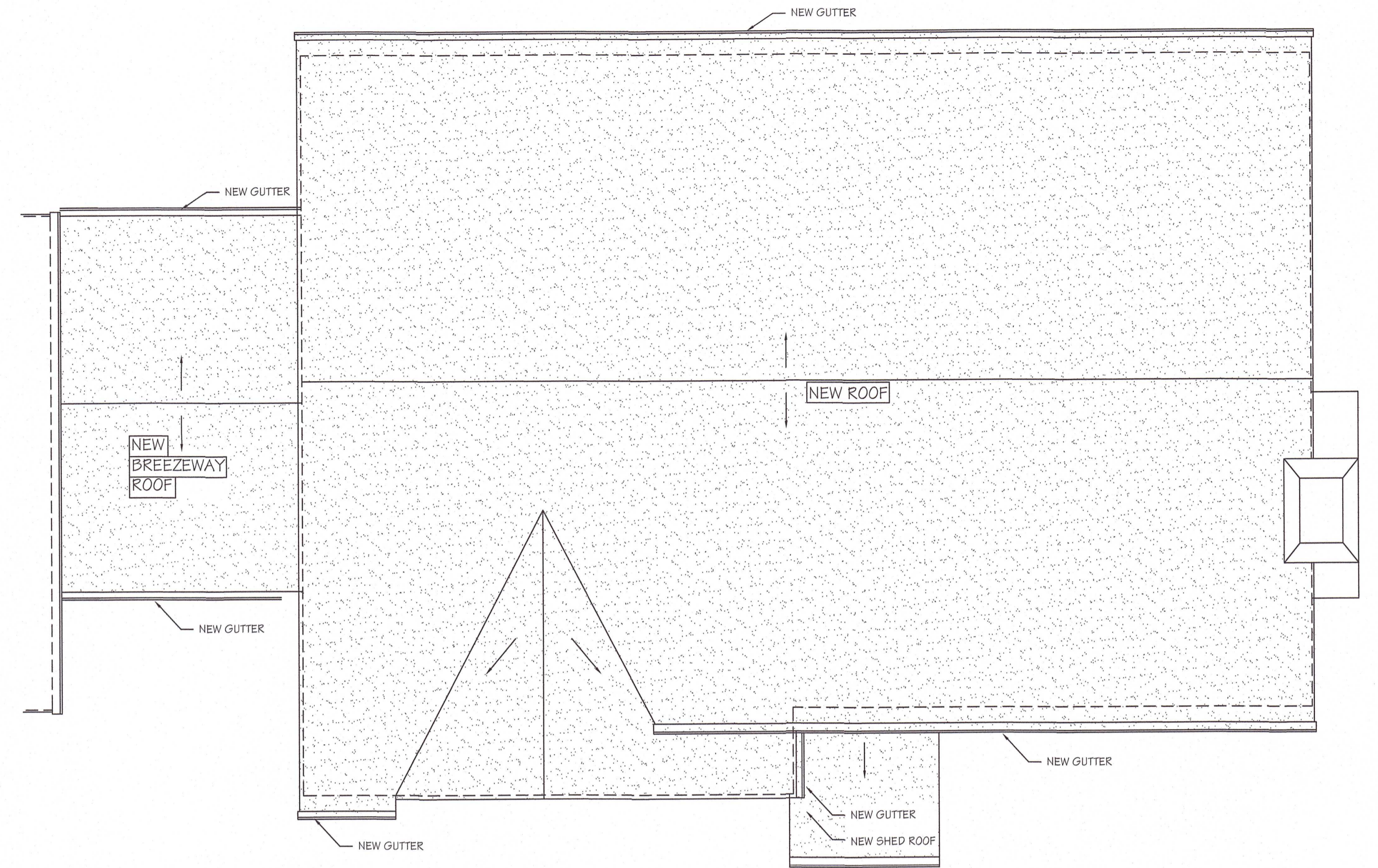
AS OF THE DATE OF THIS SURVEY, NO TITLE POLICY WAS PROVIDED, THEREFORE THIS PLAT OF SURVEY DOES NOT GUARANTEE THE EXISTENCE, SIZE AND LOCATION OF ANY EASEMENTS, ENCUMBRANCES, RESTRICTIONS OR OTHER FACTS THAT COULD OTHERWISE BE DISCLOSED IN A TITLE SEARCH OR CURRENT TITLE POLICY.

THIS IS AN ORIGINAL PRINT ONLY IF SEAL IS IMPRINTED IN RED. "I have surveyed the above property, and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, apparent easements, roadways, and visible encroachments and is in compliance with Wisconsin Administrative Code AE-7 for property survey standards and is correct to the best of my knowledge and belief.

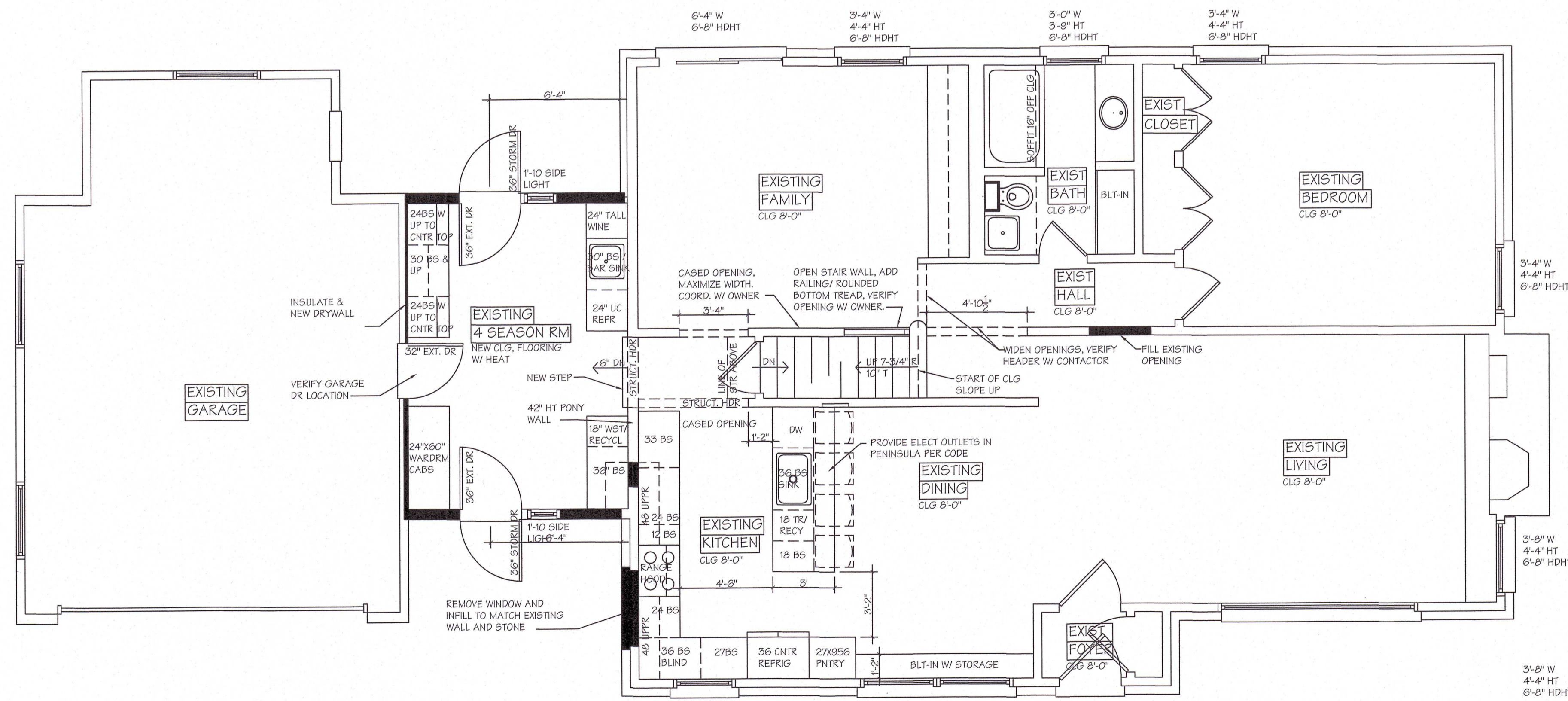
This survey is made for the exclusive use of the present owner of the property; also those who purchase, mortgage, or guarantee the title thereto, within one year from the date hereof."



SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



PARTIAL ROOF PLAN
Scale: 1/4" = 1'-0"



FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

- GENERAL NOTES:
1. DRAWINGS ARE INTENDED FOR DESIGN PURPOSES ONLY. THEY WERE NOT EVALUATED BY A STRUCTURAL ENGINEER. OWNERS ARE RESPONSIBLE FOR COORDINATING REVIEW OF DRAWINGS BY A STRUCTURAL ENGINEER.
 2. OWNERS & THEIR CONTRACTORS TO OBTAIN NECESSARY PERMITS.
 3. CONTRACTORS ARE TO FOLLOW ALL STATE & LOCAL CODES.
 4. STRUCTURAL, ELECTRICAL, PLUMBING, & HVAC IS TO BE DESIGN BUILT BY CONTRACTORS.
 5. WINDOW INFORMATION IS FOR DESIGN REPRESENTATION ONLY. OWNER TO COORDINATE WINDOW SPEC WITH SALES REP. AND INSTALLER.
 6. VERIFY W/ OWNER ALL NEW DOOR TYPES & LOCATIONS. VERIFY W/ OWNER FOR ANY EXISTING DOOR REPLACEMENTS.

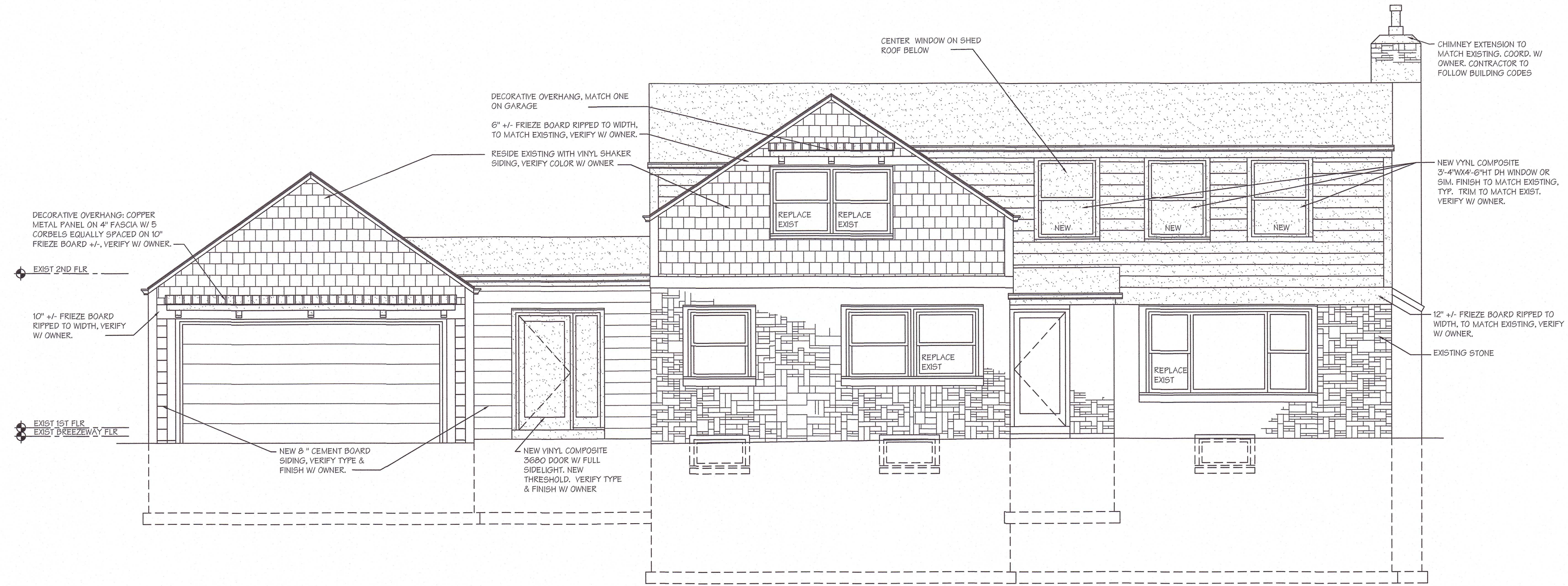
- KEY NOTES:
1. SHOWER: TILE ALL SURFACES, FRAMELESS PIVOT GLASS DOOR, 12" SOLID SURFACE SEAT. COORD. W/ OWNER.
 2. 12X16 NICHE, INSULATE EXT. WALL COORD. W/ OWNER.
 3. DOUBLE VANITY, COORD. W/ OWNER.
 4. MIRROR, MED. CAB, ALL FIXTURE/HARDWARE, ACCESSORIES, & DECORATIVE LIGHTING BY OWNER, COORD. INSTALLATION.
 5. NEW TOILET TO BE INSTALLED IN EXISTING LOCATION. COORD. W/ OWNER.
 6. 32X60 ALCOVE TUB, COORD W/ OWNER.
 7. 32X60 ALCOVE TUB/SHOWER, TILE THREE WALLS. COORDINATE W/ OWNER ALONG W/ FIXTURES AND ACCESSORIES.
 8. VERIFY ALL WALL, FLOOR, AND TRIM FINISHES W/ OWNER.
 9. STACKED WASHER/DRYER BY OWNER. PLUMBER TO PROVIDE WASHING MACHINE DRAIN PAN. COORD. W/ OWNER.

* DESIGN DRAWINGS NOT FOR CONSTRUCTION

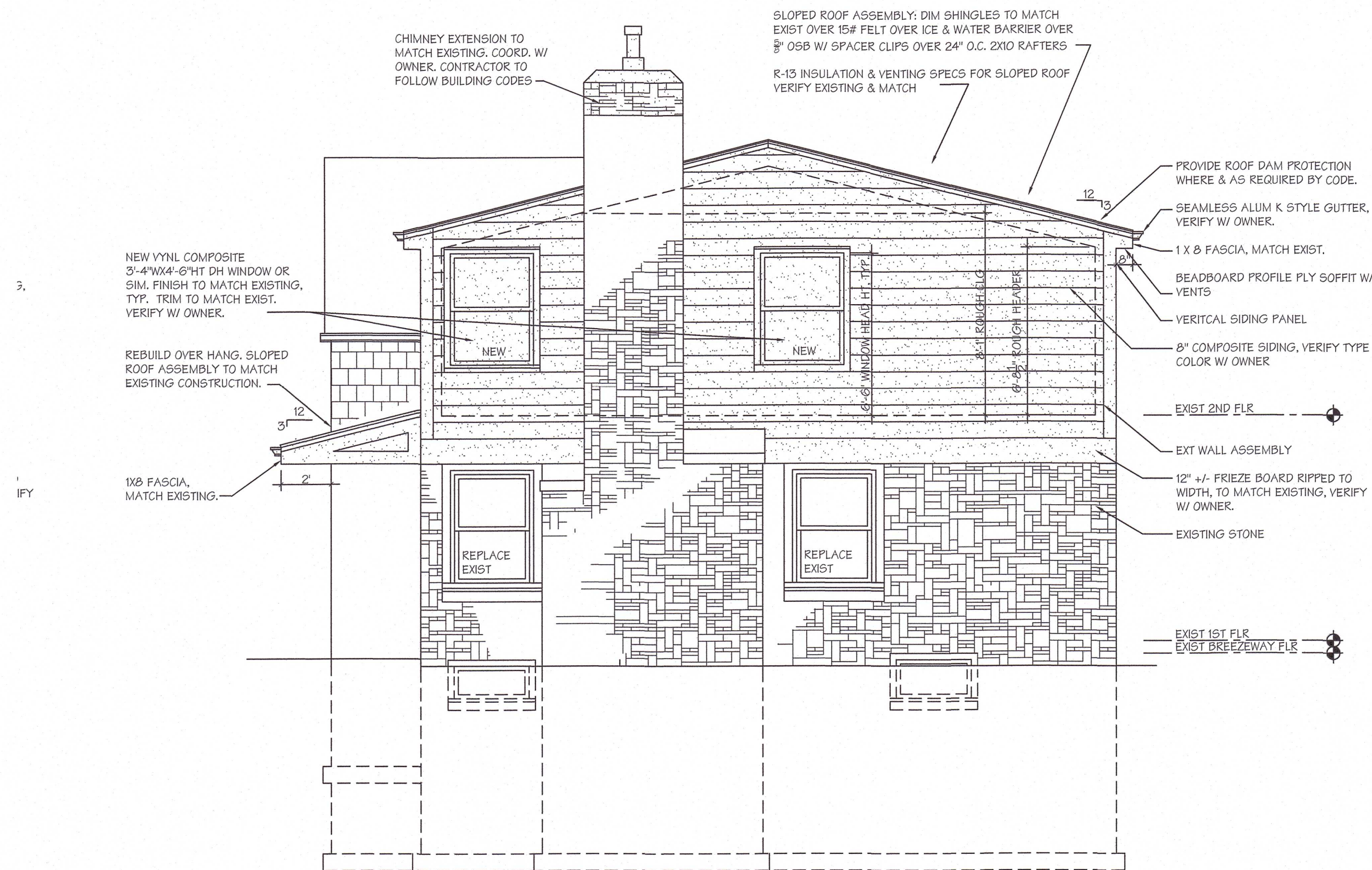
SCHMIDT / ROSE RESIDENCE
7137 N. SANTA MONICA BLVD.
FOXPOINT, WI

SHEET TITLE:
PLANS

SHEET NO:
MAY 17, 2025



EAST ELEVATION
Scale: 1/4" = 1'-0"



NORTH ELEVATION
Scale: 1/4" = 1'-0"

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 5. WINDOW INFORMATION IS FOR DESIGN REPRESENTATION ONLY. OWNER TO COORDINATE WINDOW SPEC WITH SALE REP. AND INSTALLER.
 6. VERIFY W/ OWNER ALL NEW DOOR TYPES & LOCATIONS. VERIFY W/ OWNER FOR ANY EXISTING DOOR REPLACEMENTS.

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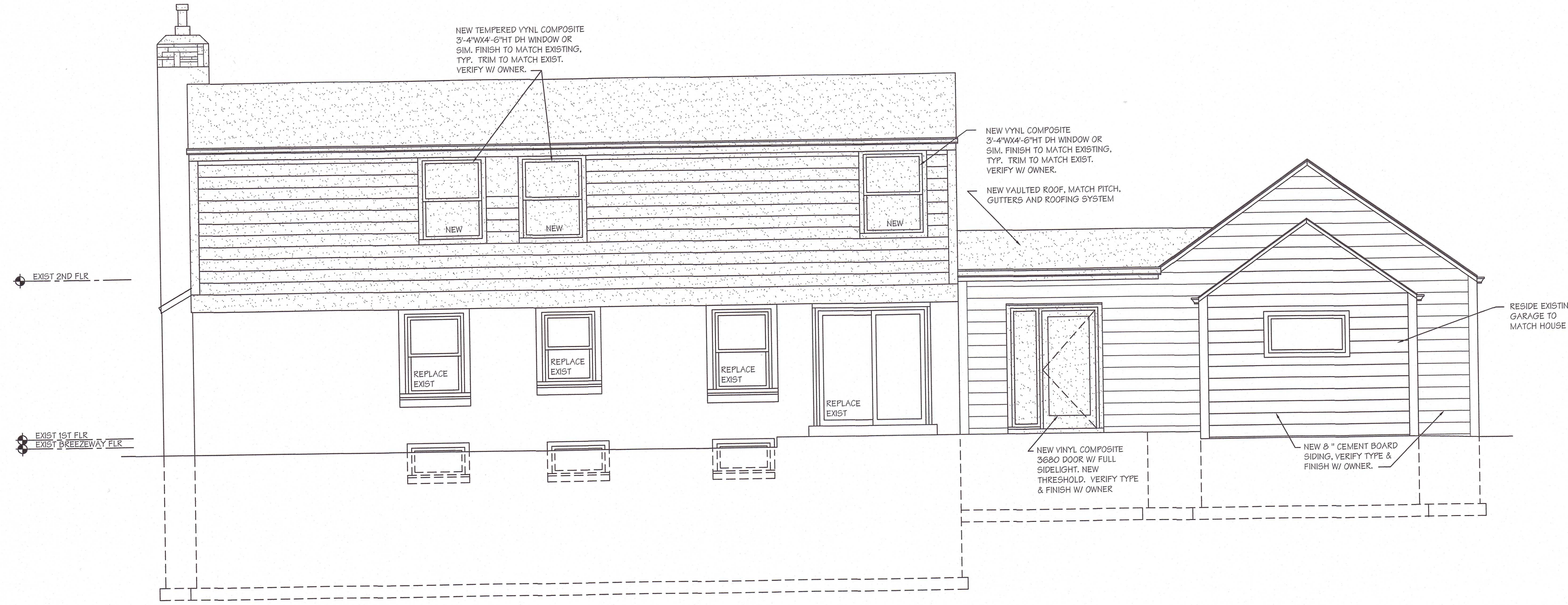
SCHMIDT / ROSE RESIDENCE
7137 N. SANTA MONICA BLVD.
FOXPPOINT, WI

SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NO:

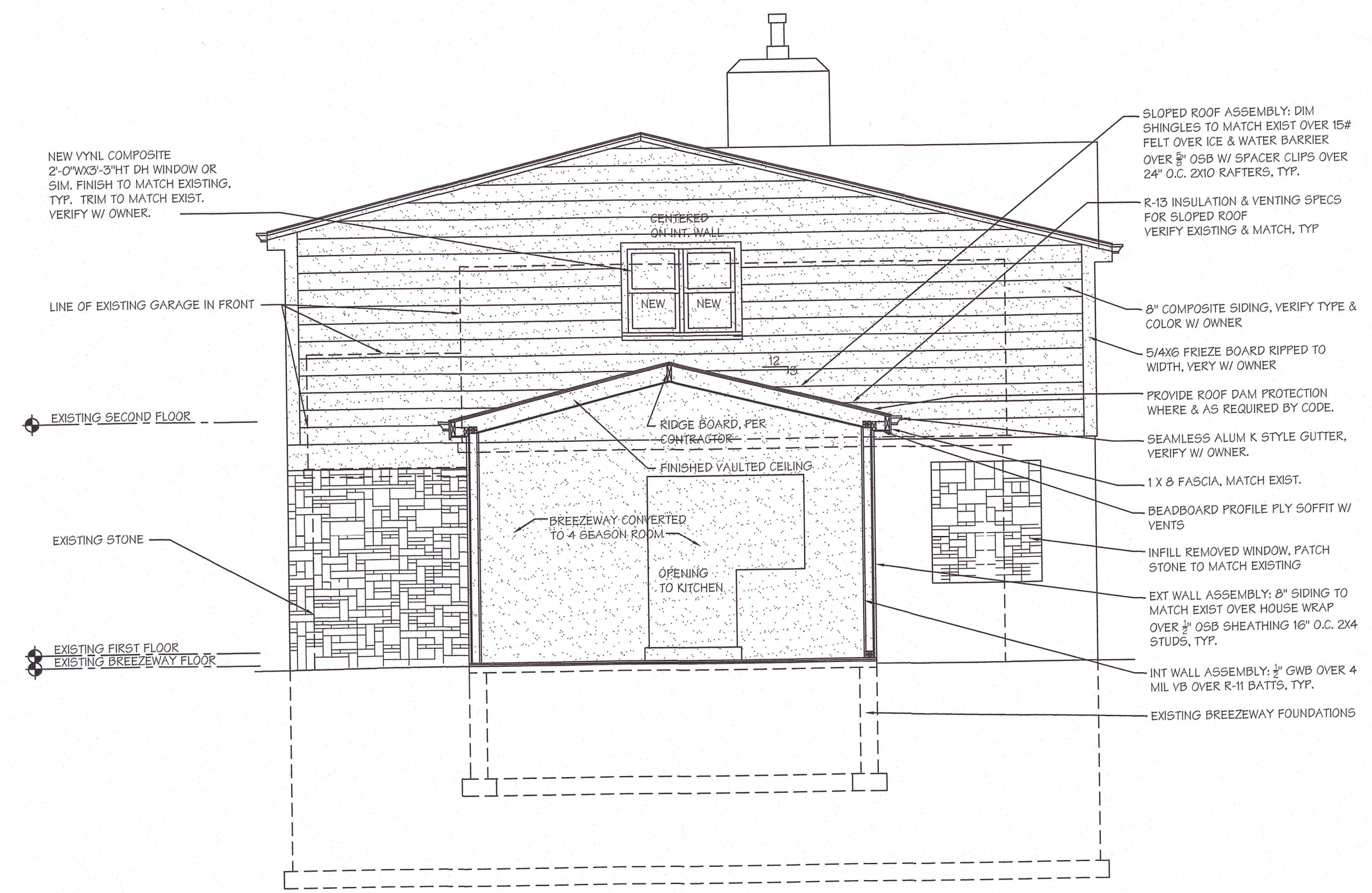
MAY 17, 2025



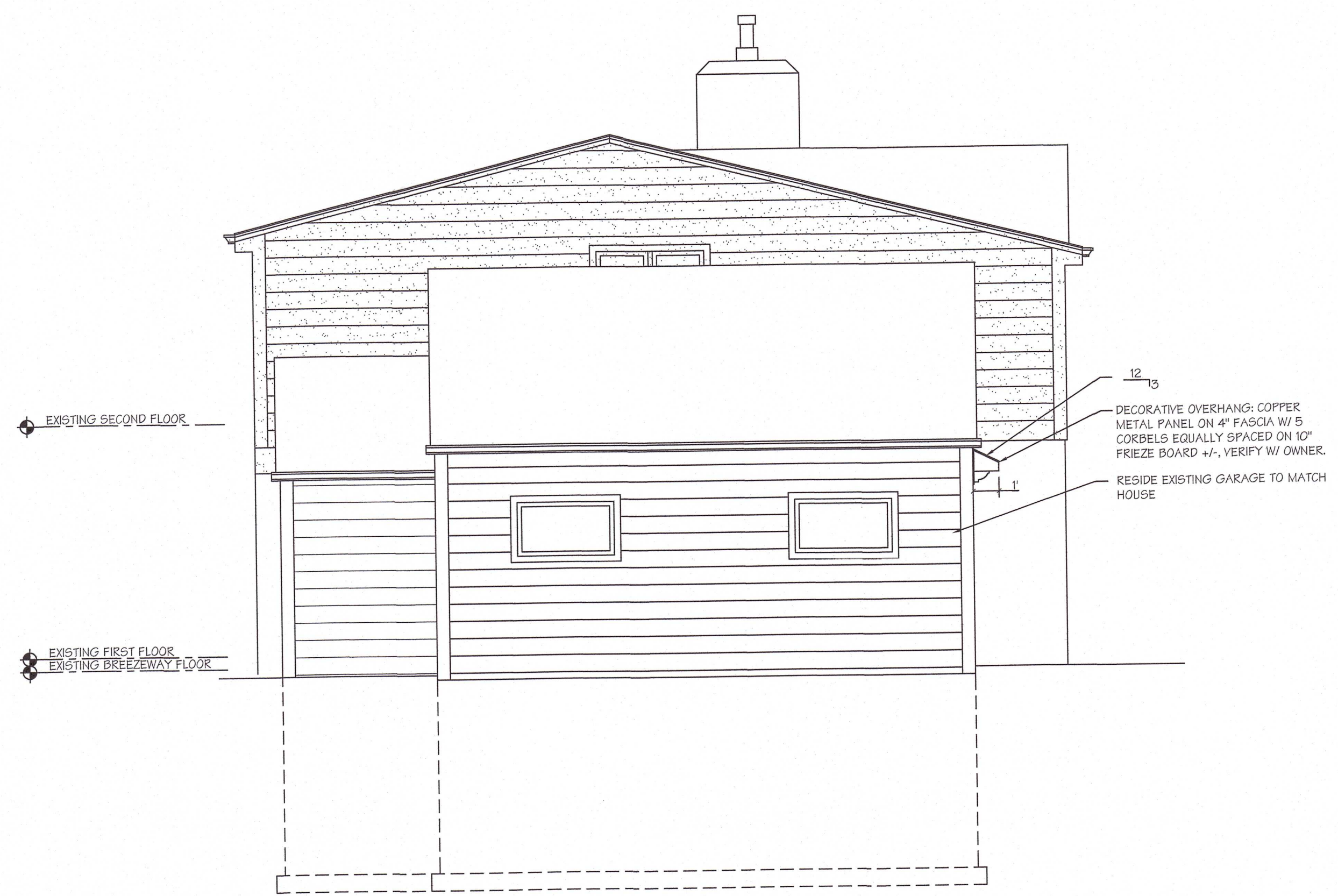
EAST ELEVATION
Scale: 1/4" = 1'-0"

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* DESIGN DRAWINGS NOT FOR CONSTRUCTION



NORTH ELEVATION - IN FRONT OF GARAGE
Scale: 1/4" = 1'-0"



NORTH ELEVATION
Scale: 1/4" = 1'-0"

SCHMIDT / ROSE RESIDENCE
7137 N. SANTA MONICA BLVD.
FOXPOINT, WI

SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NO:

MAY 17, 2025









ADD TRUSS CHANGE
DETAIL OF FRONT
+ REAR SHEDDING
ROOF





VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- _____

OFFICE USE ONLY
Issued Date
Zoning A1, 60

BUILDING PERMIT

Job Address 7632 N BEACH DRIVE, FOX POINT WI 53217	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work	
REMOVE EXISTING DECK AND FRAMING. PROVIDE NEW DECK FRAMING AND COMPOSITE DECKING.	
PROVIDE GRILLING AREA AND NEW PERGOLA @ PORTION OF NEW UPPER DECK. PROVIDE NEW HOTTUB ON NEW CONCRETE PAD	
ADJACENT TO NEW LOWER DECK. PROVIDE NEW LANDSCAPE PAVER PATIO WITH FIREPIT	
Estimated Cost of Project \$ 115,000	

Owner/Occupant DAVID & LINDA BRUCH	
Business Name -----	Contact Name DAVID BRUCH
Address 7632 N BEACH DRIVE	City/State/Zip FOX POINT WI 53217
Phone -----	Email David.Bruch@manpowergroup.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name WISE DESIGN BUILDERS	Contact Name GREG R BUSCHER
Address 1035 CECELIA DRIVE	City/State/Zip PEWAUKEE
Phone 262-790-4444	Email GREG@WISEDESIGNBUILDERS.COM
Dwelling Contractor # DCQ-100701657	Dwelling Contractor Qualifier # 080600052-DC

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition-	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	\$1150.00
Building Board	\$75.00	\$75.00
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ 1,225.00

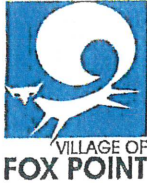
Applicant Signature _____

Rev 01/22

Date _____

05-29-25

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

**CAUTIONARY STATEMENT TO OWNERS
OBTAINING BUILDING PERMITS**

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- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

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Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

DAVID BEUCH

Homeowner's Name - PRINTED

7632 N BEACH DRIVE, FOX POINT WI 53217

Property Address

Homeowner's Signature

5/29/25

Date

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061485

May 30, 2025

7632 N BEACH DR

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING BOARD - FEE	
LICENSES & PERMITS - BUILDING PERMIT	1,150.00
24-44460 BUILDING PERMIT	

Total:	1,225.00
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CHECK	Check No: 017813	1,225.00
	Payor: WISE DESIGN BUILDERS	

Total Applied:	1,225.00
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Change Tendered:	.00
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Duplicate Copy

05/30/2025 10:06 AM

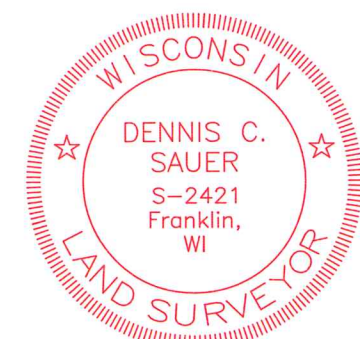
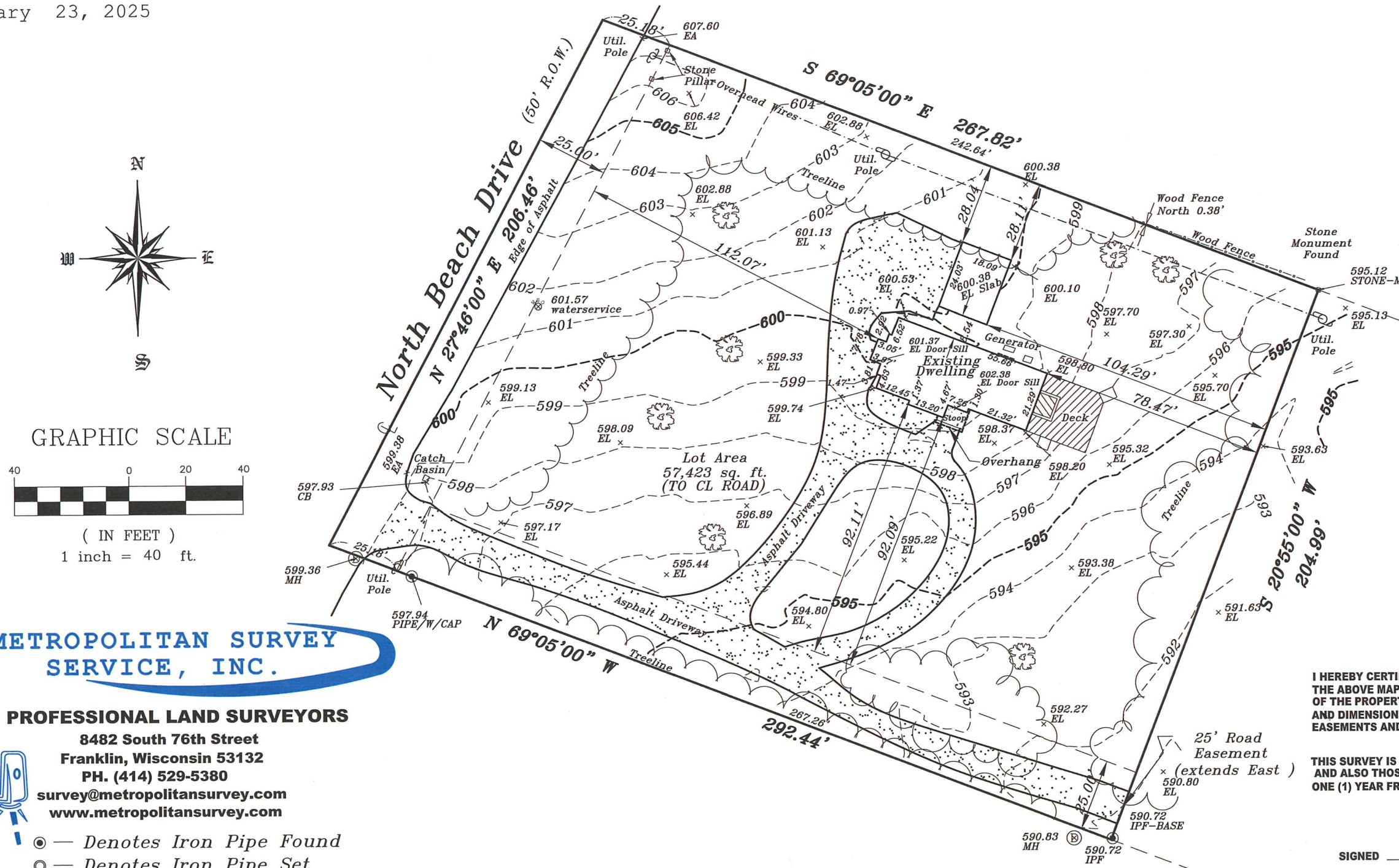
PLAT OF SURVEY

LOCATION: 7632 North Beach Drive, Fox Point, Wisconsin

LEGAL DESCRIPTION: That part of the Northeast fractional 1/4 of Section 16, Township 8 North, Range 22 East, in the Village of Fox Point, County of Milwaukee, State of Wisconsin, bounded and described as follows: Commencing at a point 507.42 feet North 0° 9' West and 1208.10 feet South 89° 56' East of the center of said Section 16, said point being in the center of a public road 50 feet wide; thence South 69° 5' East 267.82 feet to a point; thence South 20° 55' West 204.99 feet to a point; thence North 69° 5' West 292.44 feet to a point in the center line of a public road; thence North 27° 46' East 206.46 feet to the place of beginning, the last described course and distance being on and along the aforesaid center line of said public road.

January 23, 2025

Survey No. 115594

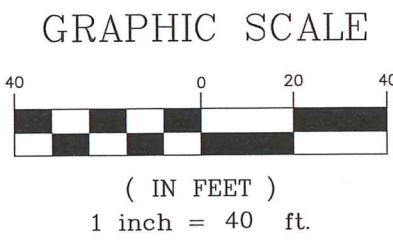
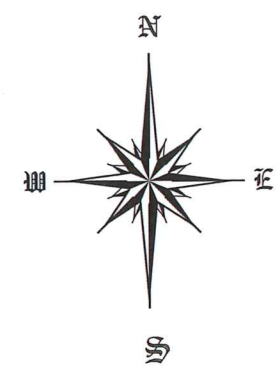


I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY. ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

Dennis C. Sauer

SIGNED _____
Dennis C. Sauer
Professional Land Surveyor S-2421



METROPOLITAN SURVEY SERVICE, INC.

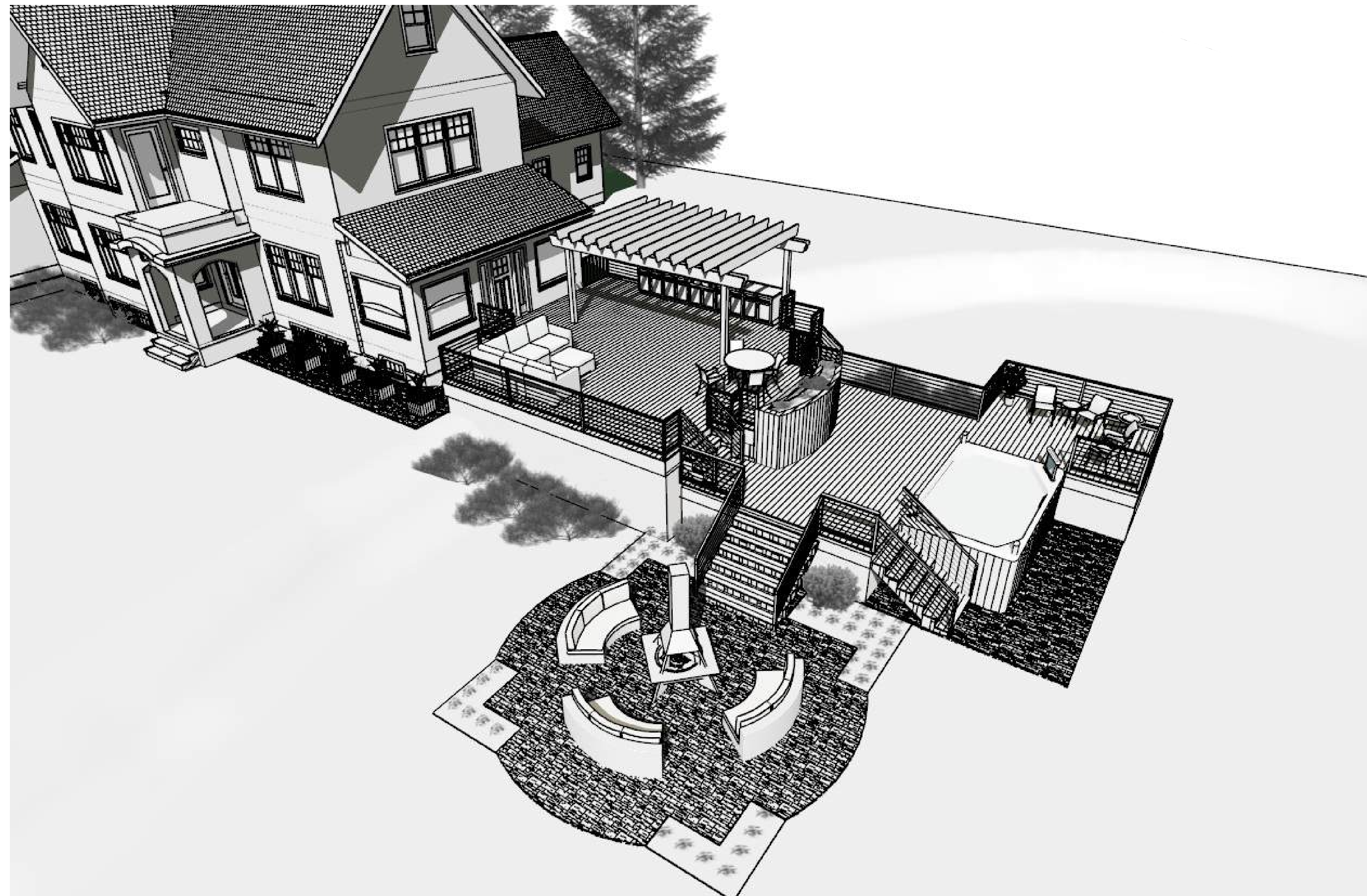
PROFESSIONAL LAND SURVEYORS
8482 South 76th Street
Franklin, Wisconsin 53132
PH. (414) 529-5380
survey@metropolitansurvey.com
www.metropolitansurvey.com



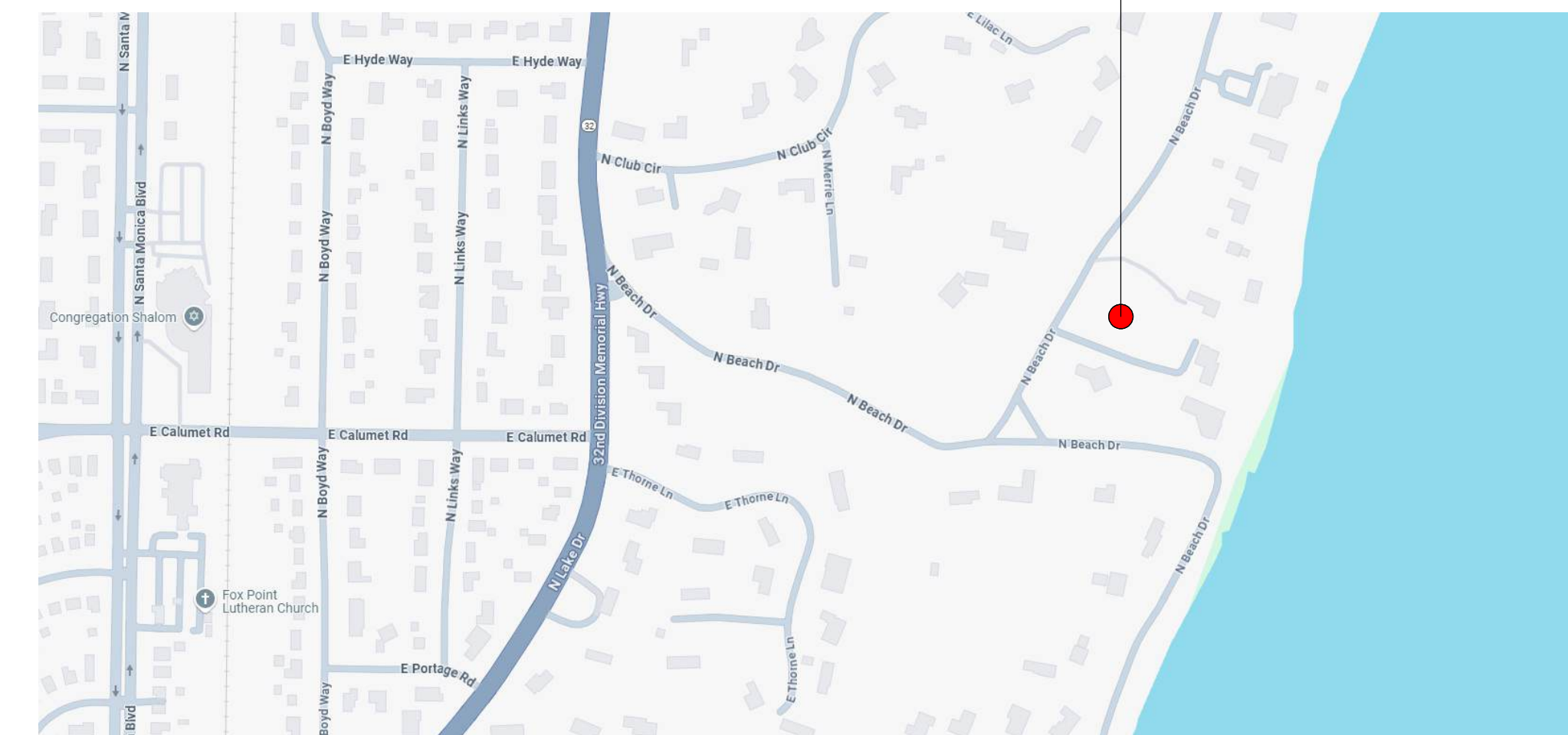
- ⊙ — Denotes Iron Pipe Found
- — Denotes Iron Pipe Set

BRUCH RESIDENCE NEW DECK & HOT TUB

7632 BEACH DRIVE
FOX POINT WI 53217



PROJECT LOCATION



SHEET INDEX

- 01 COVER
- 02 SITE SURVEY
- 03 SITE SURVEY W/ PROPOSED DECK
- 04 DECK PLAN
- 05 DECK FRAMING PLAN, PIER LAYOUT, DETAILS
- 06 PHOTOS - EXISTING EXTERIOR
- 07 ELEVATIONS
- 08 ELEVATIONS
- 09 PROPOSED RENDERINGS

REVISIONS

- 05/30/25
DESIGN REVIEW BOARD

BRUCH RESIDENCE
7632 N. BEACH DRIVE
FOX POINT, WI 53217
NEW DECK

1035 Cecelia Drive
Pewaukee, WI 53072
www.wisedesignbuilders.com
P: 262.790.4444
F: 262.790.1071



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SHEET NUMBER:

1



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 FOX POINT, WI 53217
 NEW DECK

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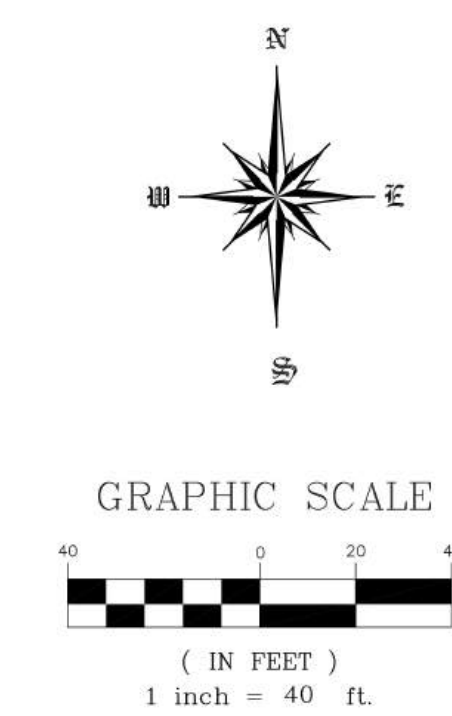
PLAT OF SURVEY

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LEGAL DESCRIPTION: That part of the Northeast fractional 1/4 of Section 16, Township 8 North, Range 22 East, in the Village of Fox Point, County of Milwaukee, State of Wisconsin, bounded and described as follows: Commencing at a point 507.42 feet North 0° 9' West and 1208.10 feet South 89° 56' East of the center of said Section 16, said point being in the center of a public road 50 feet wide; thence South 69° 5' East 267.82 feet to a point; thence South 20° 55' West 204.99 feet to a point; thence North 69° 5' West 292.44 feet to a point in the center line of a public road; thence North 27° 46' East 206.46 feet to the place of beginning, the last described course and distance being on and along the aforesaid center line of said public road.

January 23, 2025

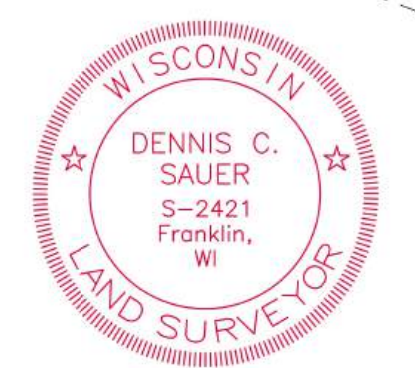
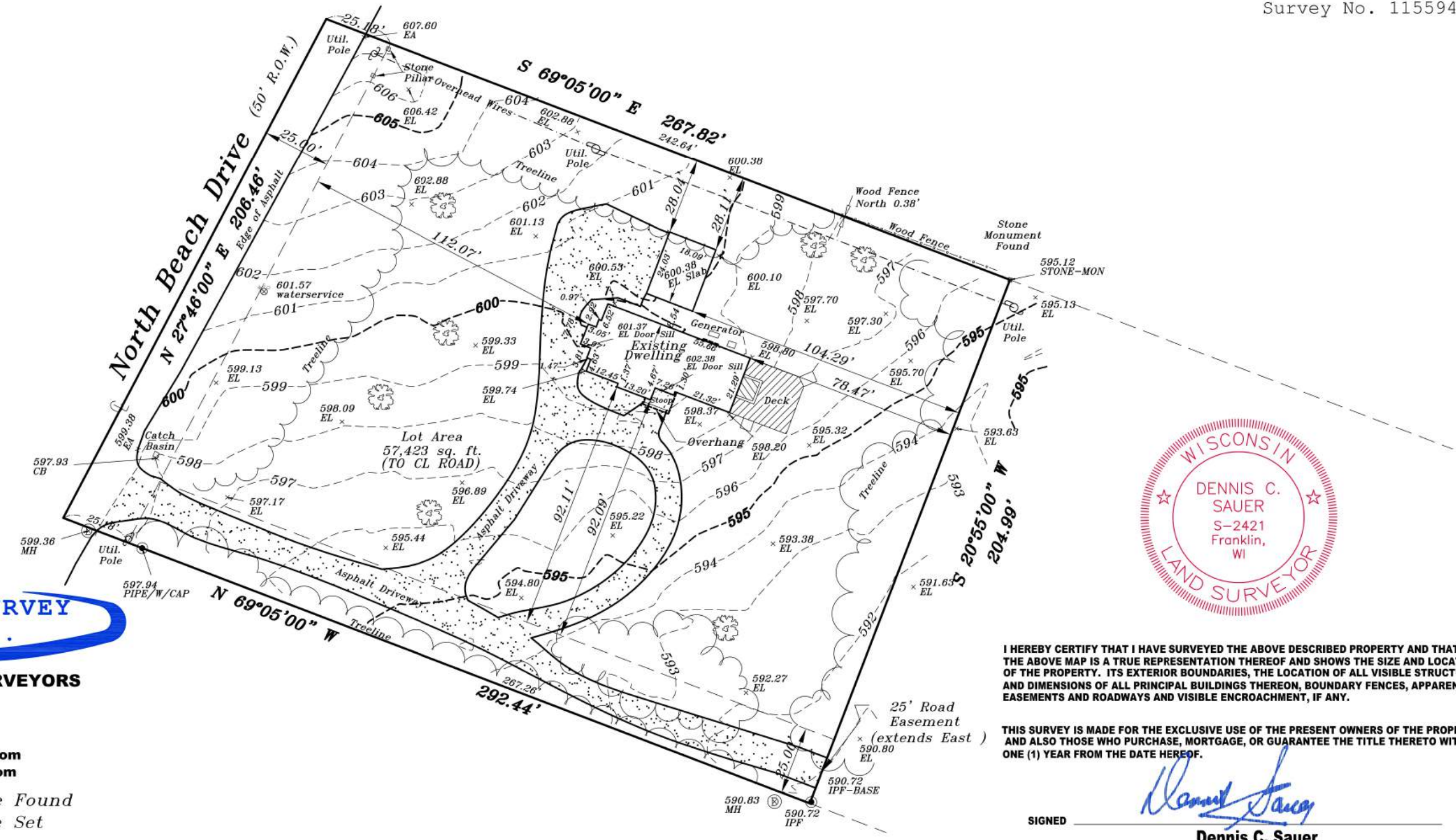
Survey No. 115594



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SIGNED Dennis C. Sauer
 Dennis C. Sauer
 Professional Land Surveyor S-2421

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 Pewaukee, WI 53072
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 F: 262.790.1071



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DATE: 05/30/25

INITIAL: GRB

SHEET NUMBER:

2

SURVEY
 SCALE: 1" = 40'±0"



OPEN SPACE

PARCEL SIZE: 57,425 SF TO CENTERLINE OF ROAD	
EXISTING HOUSE:	1382 S.F.
EXISTING GARAGE:	420 S.F.
EXISTING DRIVEWAY:	4195 S.F.
EXISTING SHARED DRIVEWAY:	3319 S.F.
EXISTING ROAD (TO CENTER LINE):	2872 S.F.
<hr/>	
PROPOSED NEW DECK:	1148 S.F.
PROPOSED HOT TUB / CONC PAD:	100 S.F.
PROPOSED PAVER PATIOS (2)	423 S.F.
<hr/>	
LOT SUBTOTAL TOTAL:	13,859 S.F.
MINUS ROAD (NORTH BEACH DRIVE):	2,872 S.F.
TOTAL:	10,987 S.F.
REMAINDER / OPEN SPACE	46,438 S.F. (80.87%)

BRUCH RESIDENCE
7632 N. BEACH DRIVE
FOX POINT, WI 53217

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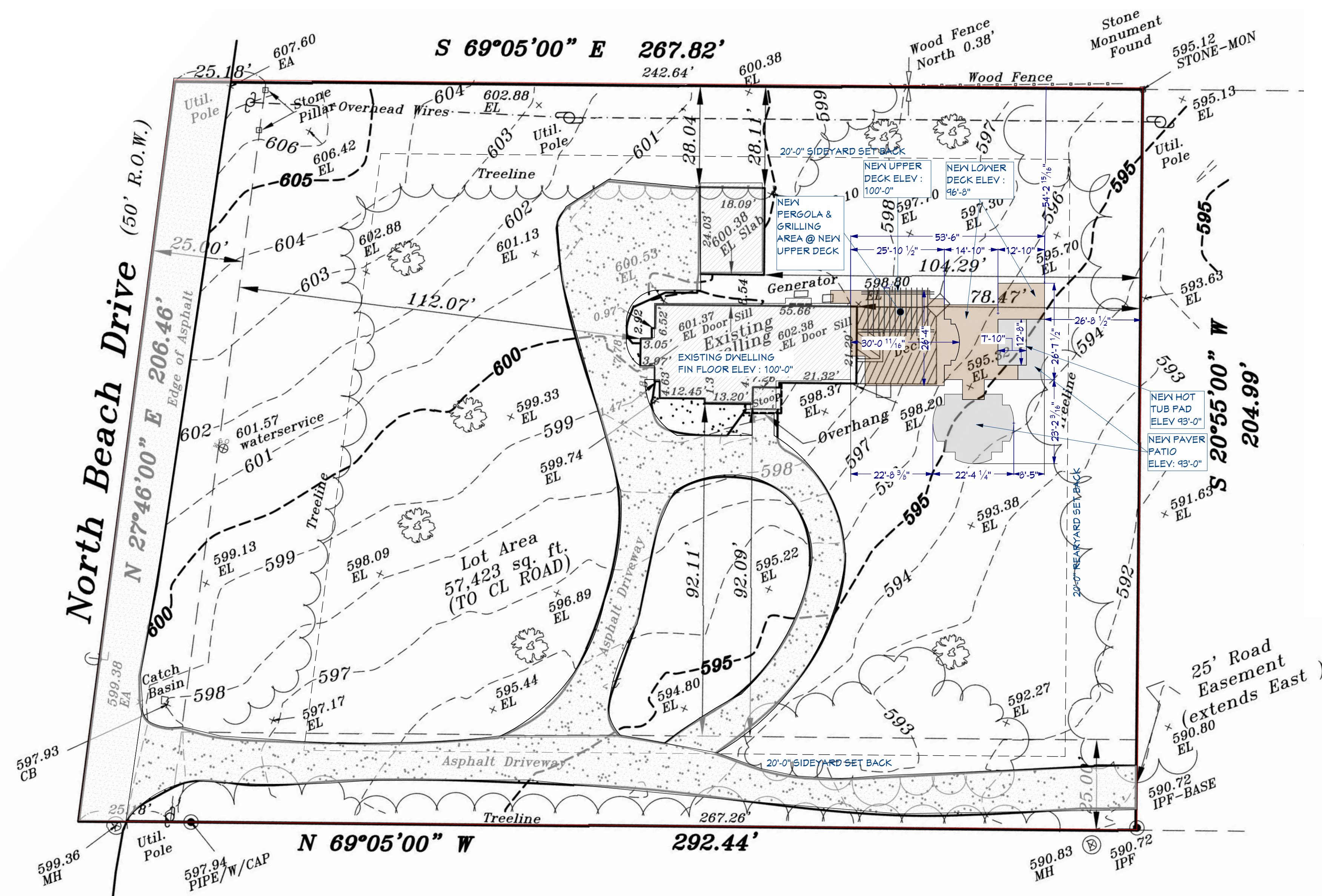
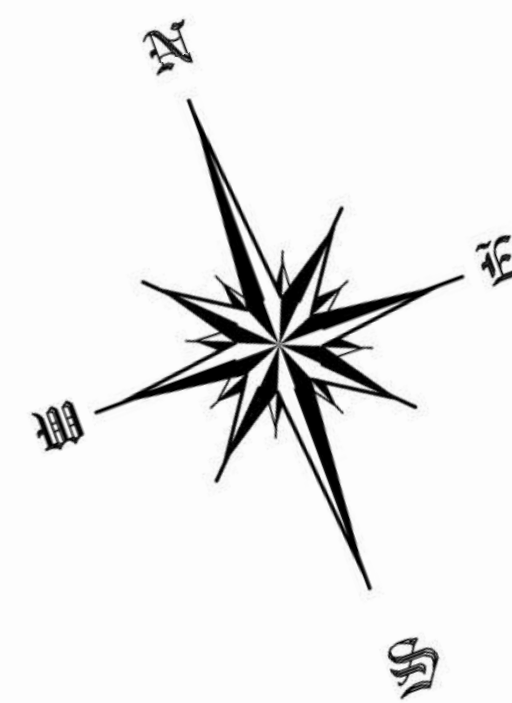
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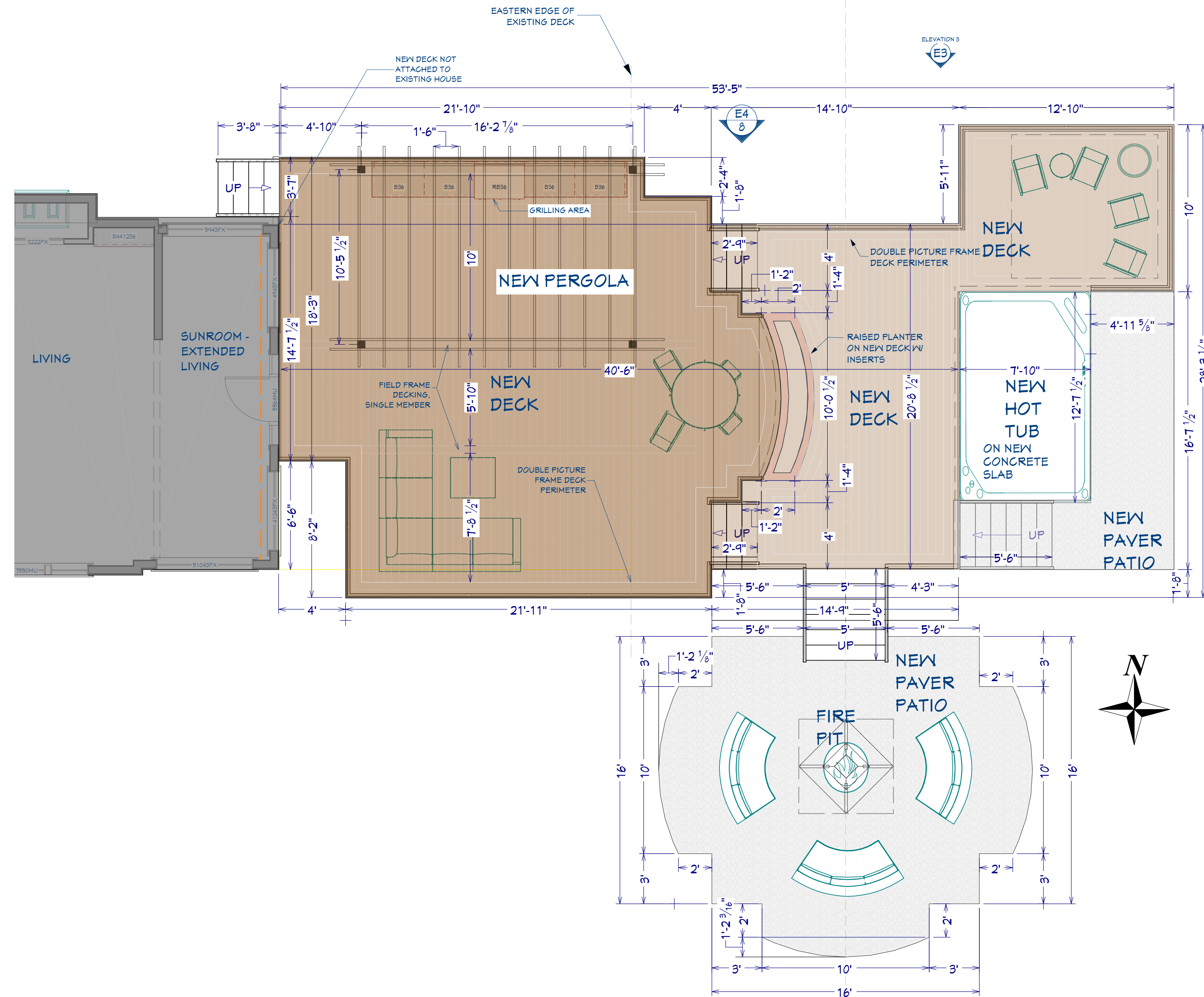
SHEET NUMBER:

3



SURVEY / SITE PLAN
SCALE: 1" = 20' = 0"

C



PROPOSED DECK
SCALE: 1/4" = 1'=0"

(C)

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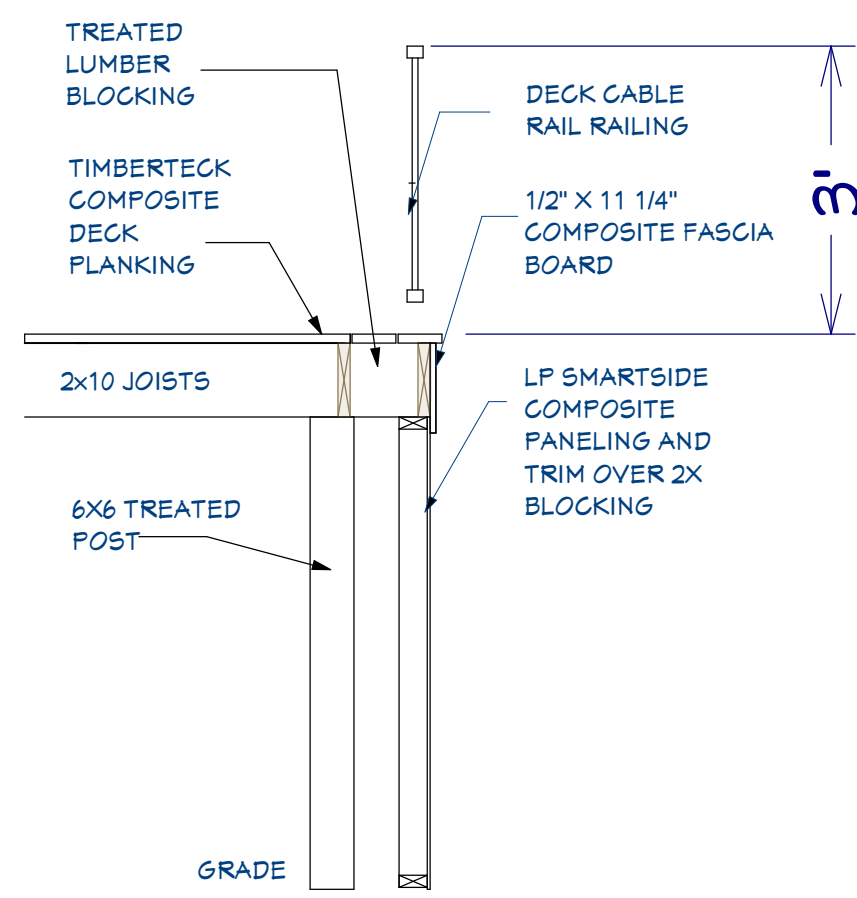
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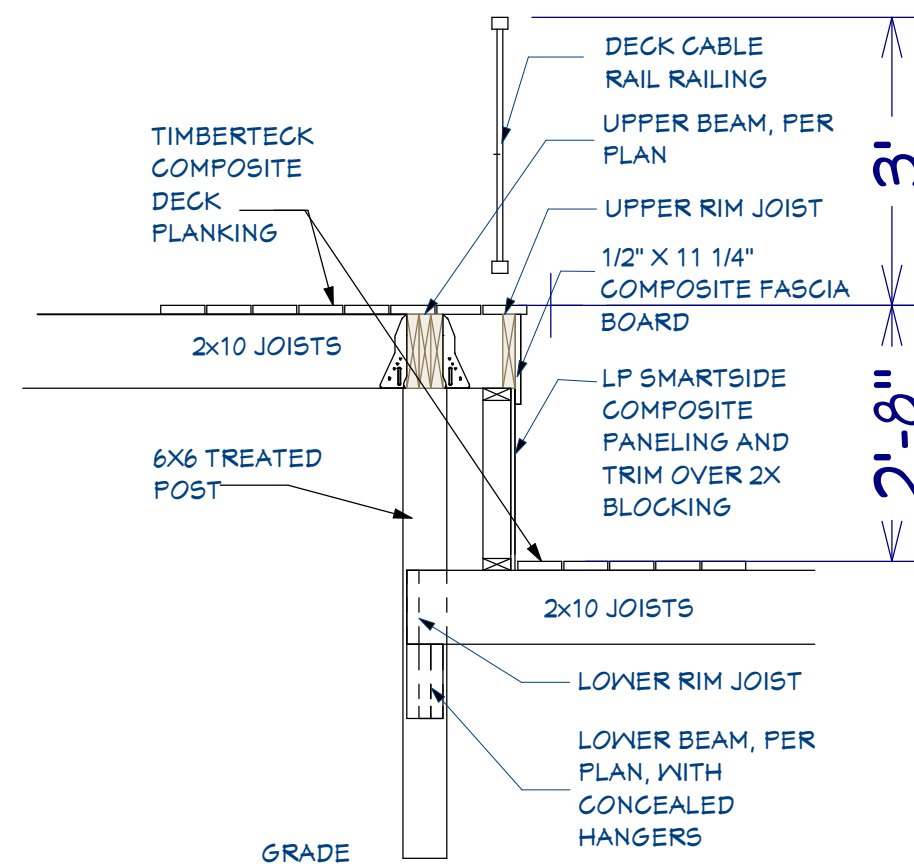
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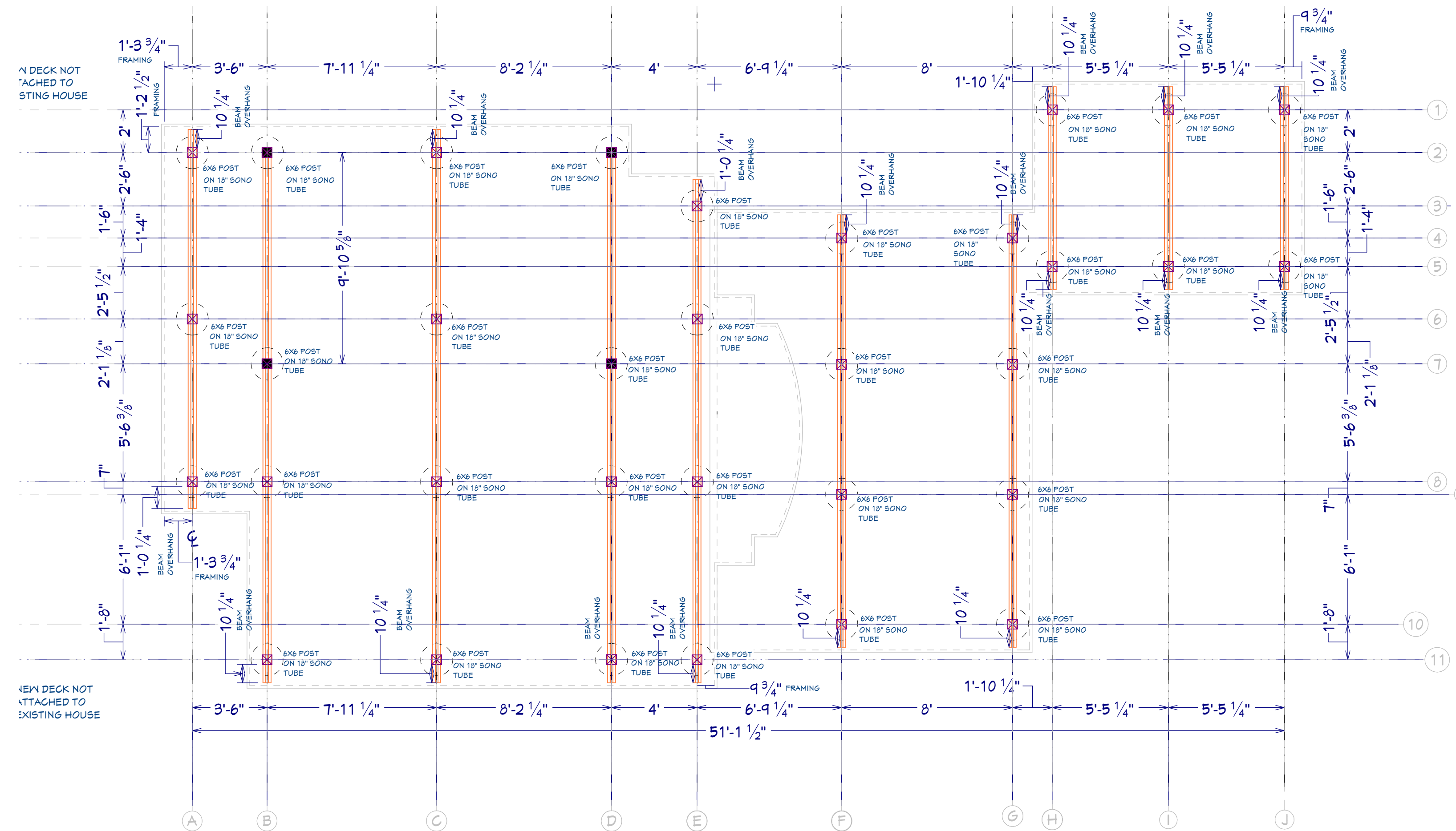
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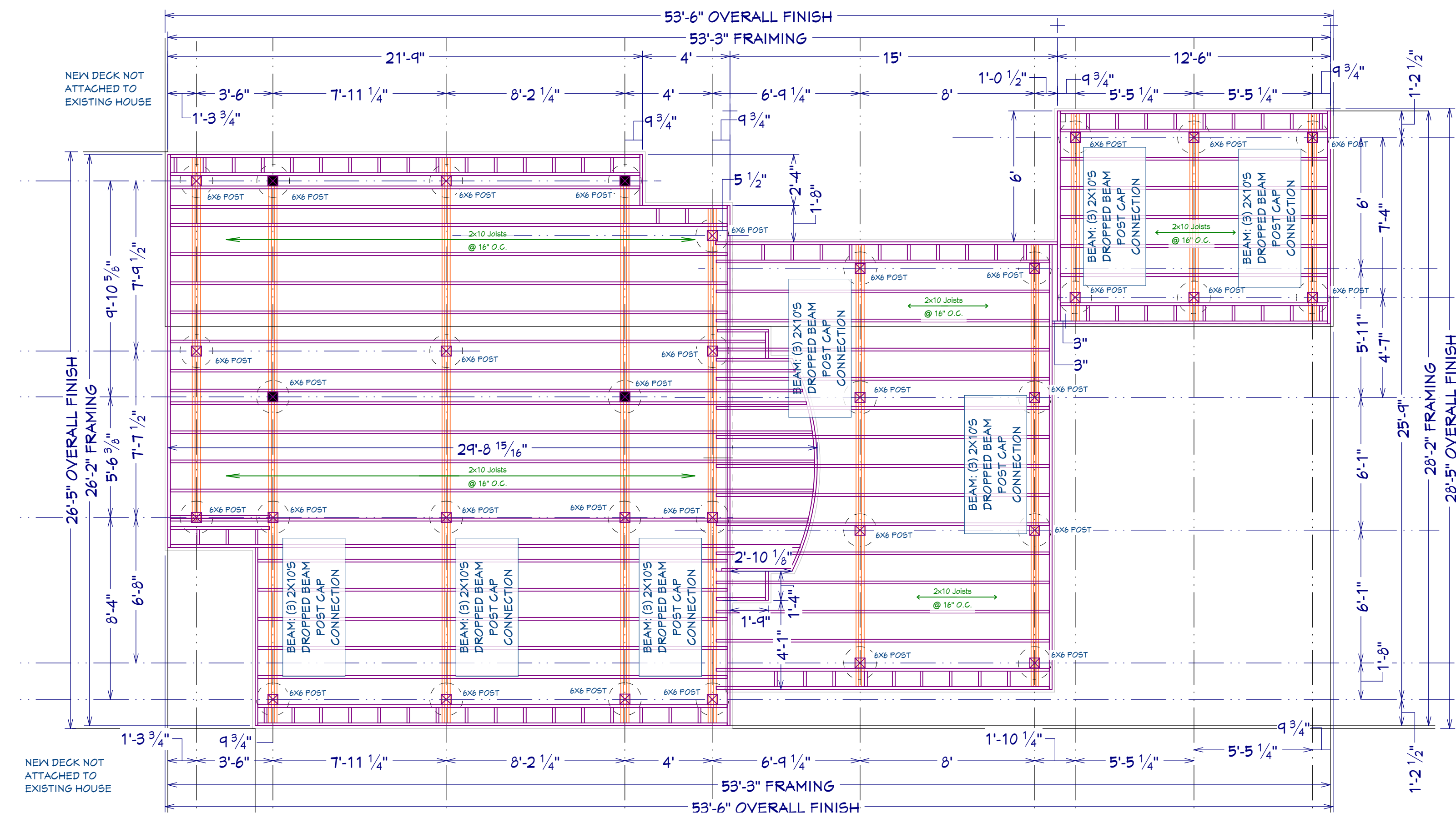
SECTION
SCALE: 1/2" = 1'=0"



SECTION
SCALE: 1/2" = 1'=0"



DECK POST PLAN
SCALE: 1/4" = 1'=0"



DECK FRAMING PLAN
SCALE: 1/4" = 1'=0"

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(C)



EXISTING EAST EXTERIOR ELEVATION



EXISTING EAST EXTERIOR ELEVATION



EXISTING NORTH EXTERIOR ELEVATION



EXISTING SOUTH EXTERIOR ELEVATION



EXISTING SOUTH EXTERIOR ELEVATION



EXISTING WEST EXTERIOR ELEVATION



EXISTING NORTH EXTERIOR ELEVATION



EXISTING NORTH EXTERIOR ELEVATION



EXISTING EAST EXTERIOR ELEVATION

EXISTING EXTERIOR PHOTOS
SCALE: NTS

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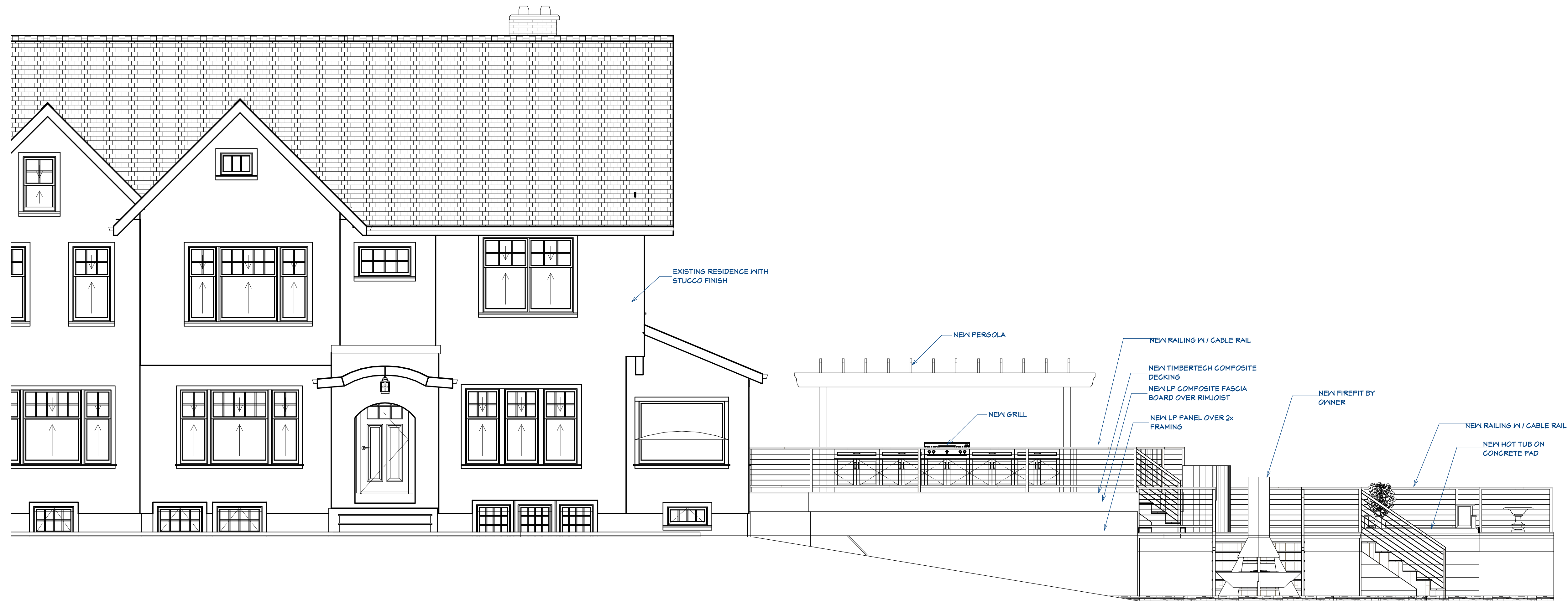
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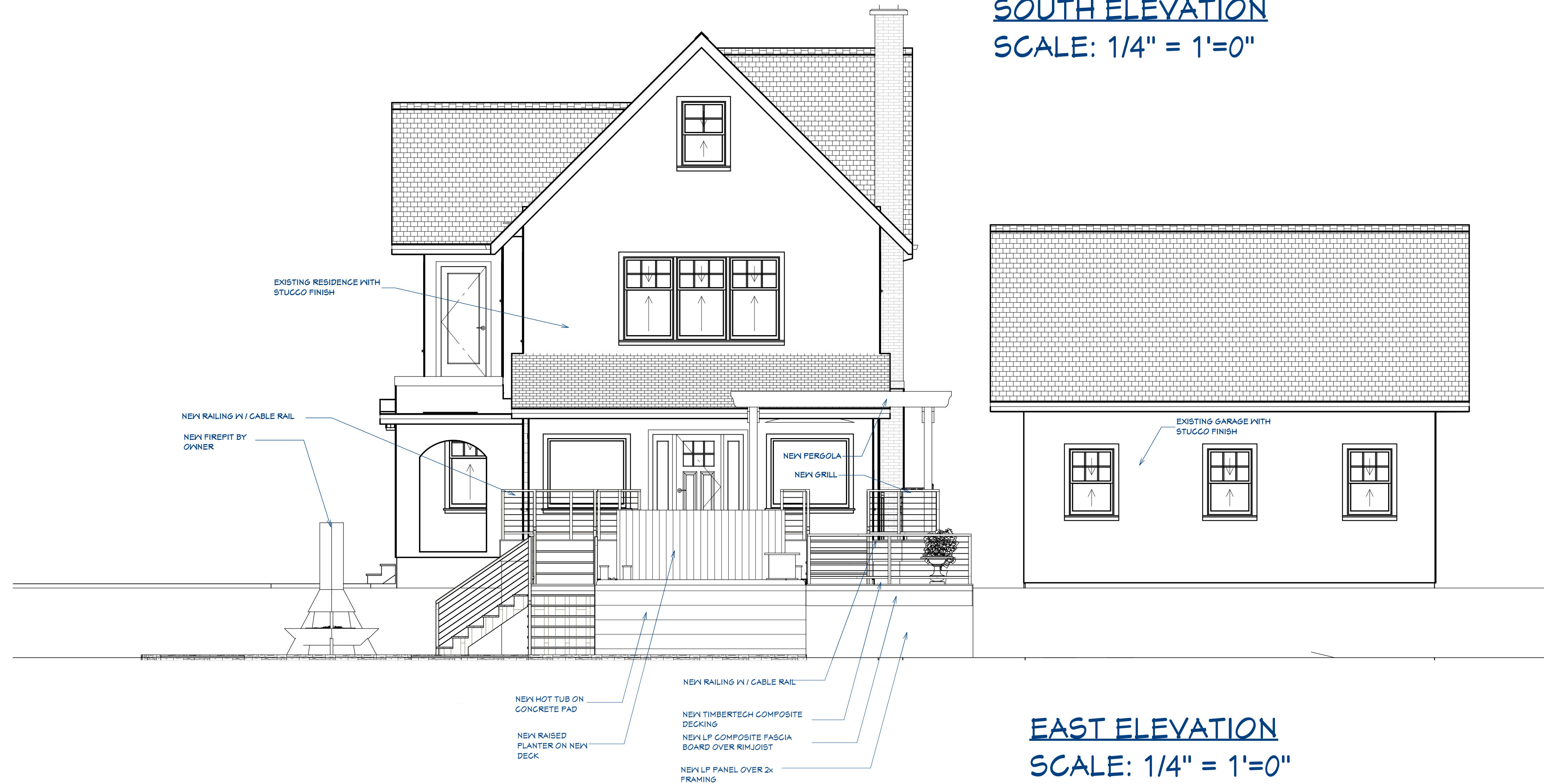
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6



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

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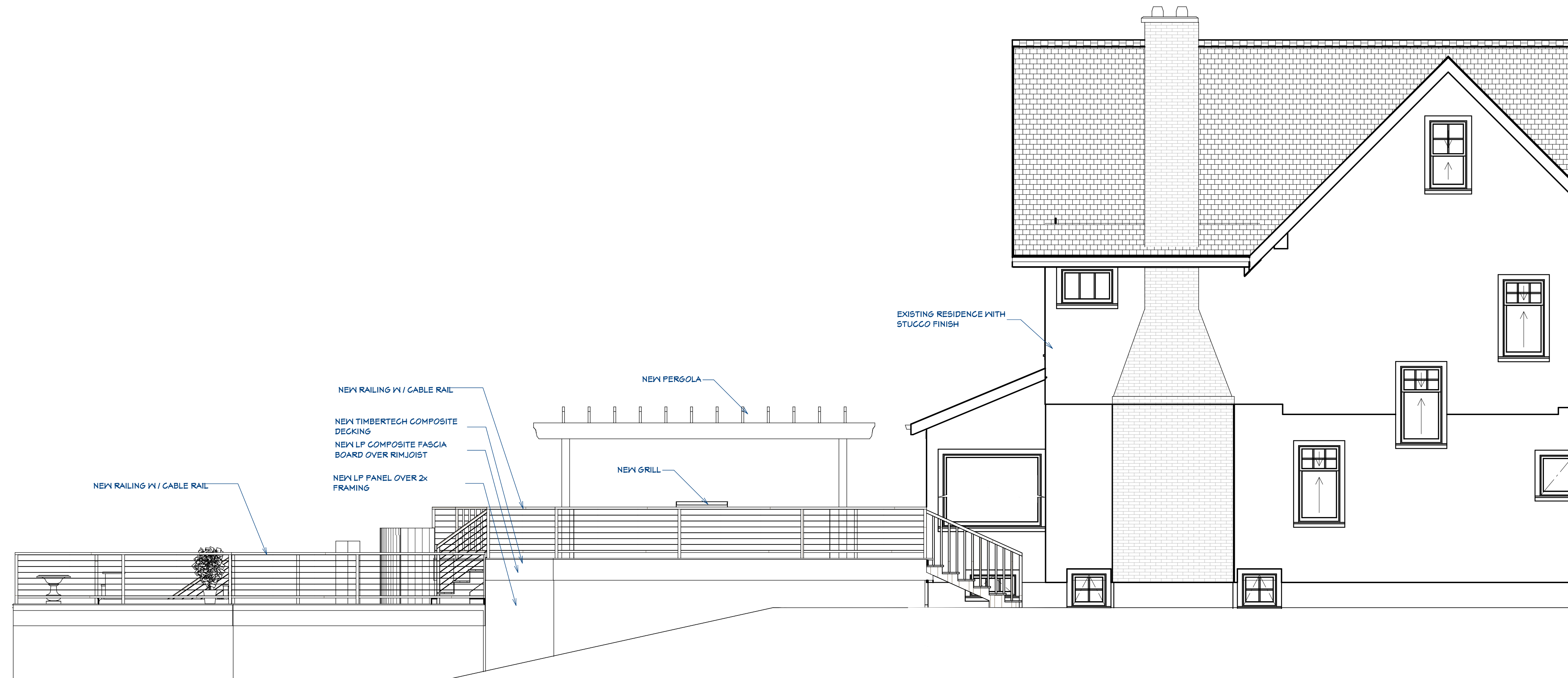
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NORTH ELEVATION
SCALE: 1/4" = 1'-0"

©

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SHEET NUMBER:

8



Home / Spas / Swim Series™ / S150

S150

★★★★★ 12 Reviews

Available Seats: 13

Premium JetPak Seats: 4

Lounge Seats: 1

Size: 12' 8" (3.86m) x 7' 10" (2.38m) x 4' 4" (1.32m)

Product Overview:

Enjoy an upgraded backyard water experience unlike any other with the all-new Swim Series by Bullfrog Spas®. Build endurance and strength with preset or customizable fitness programs, resistance training, and space for any number of low-impact, water-based workouts. Practice swimming, play games, or splash around on the unique splash pad area. With an ample number of multilevel seats, you'll have plenty of room for everyone to join the fun. Work out, play, or relax away tension, all year round, right from the comfort of your own backyard. No other product in the category offers the numerous therapy options available with the patented JetPak Therapy System™. Swim Series is built with legendary Bullfrog Spas quality and reliability, attractive aesthetics, features designed for an endless variety of uses, and a remarkably functional layout you're certain to love.

Therapy Pumps: 2

Multi-Function Auxiliary Controls: 1

Dry Weight: 2000 lbs/907 kg

Filled Weight: 11924 lbs/5409 kg

Water Capacity: 1190 gal/4504 L

[DESIGN YOUR SPA FOR PRICING](#)

HOT TUB SELECTION
SCALE: NTS



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RENDERINGS
SCALE: NTS