

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

NOTE: THIS MEETING WILL BE HELD
VIRTUALLY ONLY VIA WEBINAR.
NO IN-PERSON ATTENDANCE HELD

Wednesday
July 9, 2025
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/83877661472>

Meeting ID: 838 7766 1472

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the June 11, 2025 Building Board meeting.
3. Jessica Perez, 7902 N Boyd Way, resubmittal of proposed window size change.
4. David Swanson, 7631 N Santa Monica Blvd, resubmittal of proposed addition.
5. Max Chester, 300 W Indian Creek Ct, proposed removal of window.
6. Carolyn Smith, 240 W Indian Creek Ct, proposed deck.
7. Azura, 7770 N Port Wash Rd, proposed face change on freestanding sign.
8. Wendy Bast, 1045 E Thorne Ln, proposed pavilion.
9. Adjourn.

Posted and Published: July 7, 2025

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, June 11, 2025, at 5:00 pm. Those present included:

Justin Racinowski
William Feldman
Sharon Celek-Absent
Lucille Sells
Pat Algiers-Absent
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by William Feldman to approve the minutes of May 21, 2025. Motion was seconded by Lucille Sells. Motion Caried.

AGENDA

1. **Jessica Perez, 7902 N Boyd Way, proposed window size change.** It was the consensus of the Building Board to table.
2. **David Swanson, 7631 N Santa Monica Blvd, proposed addition.** It was the consensus of the Building Board to table.
3. **John Stappas, 8201 N Whitney Rd, proposed removal of entry door.** It was the consensus of the Building Board to approve as submitted.
4. **Matt Kirchner, 8040 N Whitney Rd, proposed deck.** It was the consensus of the Building Board to approve as submitted.
5. **Valerie Sabatino, 6741 N Holly Ct, proposed roof mounted solar.** It was the consensus of the Building Board to approve as submitted.
6. **Jay Schmidt, 7137 N Santa Monica Blvd, proposed expand second floor.** It was the consensus of the Building Board to approve subject to switch out to lap siding on second floor gable frize.
7. **David Bruch, 7632 N Beach Dr, proposed deck/pergola/hot tub.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by Lucille Sells. Motion seconded by William Feldman. Motion Caried. Building Board adjourned at 5:38 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- _____

| OFFICE USE ONLY | |
|-----------------|--|
| Issued Date | |
| Zoning | |

BUILDING PERMIT

| | |
|--|---|
| Job Address 7902 Boyd Way | Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> |
| Description of Work | |
| Will include the removal of existing windows and the main exterior door, and the installation of new smaller replacements. See details attached. | |
| Estimated Cost of Project \$ 5570.01 | |

| Owner/Occupant | |
|--------------------------------|---|
| Business Name | Contact Name Jessica Perez |
| Address 7902 N Boyd Way | City/State/Zip Fox Point, WI 53217 |
| Phone 414-510-8337 | Email perezsje@gmail.com |

****Cautionary Statement required when homeowner is applying for permit****

| Contractor | |
|------------------------------|--|
| Company Name N/A | Contact Name |
| Address | City/State/Zip |
| Phone | Email |
| Dwelling Contractor # | Dwelling Contractor Qualifier # |

| Square Footage Under Construction | | | | |
|-----------------------------------|-----------------------|----------|----------|--------|
| 1 st Floor | 2 nd Floor | Basement | Addition | Garage |

| Description | Rate | Amount |
|--|-------------------------|------------------|
| Project - Per \$1,000 of estimated cost | \$10.00 | \$70.00 |
| Building Board | \$75.00 | \$75.00 |
| Footing early start - \$230.00 one and two family; \$305.00 commercial | | |
| Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial | | |
| State Seal | \$75.00 | |
| Razing, Interior Demolition \$925.00 max/bld | \$95.00 minimum plus | \$0.13/sqft |
| Moving buildings | \$250.00 plus | \$0.13/sqft |
| Fuel tanks - Per 1,000 gallons | \$25.00 | |
| Re-inspection | \$100.00 | |
| Work started without permit | Double | 70.00 |
| | Minimum Fee | \$70.00 |
| Payable to: Village of Fox Point | Total Permit Fee | \$ 215.00 |

Applicant Signature **Date** 4/11/2025

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061324

Apr 14, 2025

7902 N BOYD WAY

| | |
|--|--------|
| Previous Balance: | .00 |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00 |
| 24-44440 BUILDING BOARD - FEE | |
| LICENSES & PERMITS - BUILDING PERMIT | 140.00 |
| 24-44460 BUILDING PERMIT | |

| | |
|--------|--------|
| Total: | 215.00 |
|--------|--------|

| | | |
|-------|----------------------|--------|
| CHECK | Check No: 103 | 215.00 |
| | Payor: JESSICA PEREZ | |

| | |
|----------------|--------|
| Total Applied: | 215.00 |
|----------------|--------|

| | |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

04/14/2025 8:06 AM

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, May 21, 2025, at 5:00 pm. Those present included:

Justin Racinowski
William Feldman
Sharon Celek
Lucille Sells
Pat Algiers
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by William Feldman to approve the minutes of April 9, 2025. Motion was seconded by Lucille Sells. Motion Caried.

AGENDA

1. **Jennifer Haraway, 8220 N Whitney Rd, proposed deck.** It was the consensus of the Building Board to approve as submitted.
2. **Jessica Perez, 7902 N Boyd Way, proposed window size change.** It was the consensus of the Building Board to table.
3. **Alisha Lemon, 7922 N Port Washington Rd, proposed signs.** It was the consensus of the Building Board to approve as submitted.
4. **Lauren Curtis, 164 E Bradley Rd, proposed 2nd floor addition.** It was the consensus of the Building Board to approve as submitted.
5. **Allen Pasch, 6445 N Lake Dr, proposed window removal.** It was the consensus of the Building Board to approve as submitted.
6. **Fox Point Beach Club, 7704 N Beach Dr, proposed shed.** It was the consensus of the Building Board to approve as submitted.
7. **Robert Schafer, 1406 E Fox Ln, proposed single family home.** It was the consensus of the Building Board to approve subject to removal of beltline.
8. **Robert Schafer, 8120 N Gray Log Ln, proposed single family home.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by William Feldman. Motion seconded by Pat Algiers. Motion Caried. Building Board adjourned at 6:34 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, June 11, 2025, at 5:00 pm. Those present included:

Justin Racinowski
William Feldman
Sharon Celek-Absent
Lucille Sells
Pat Algiers-Absent
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by William Feldman to approve the minutes of May 21, 2025. Motion was seconded by Lucille Sells. Motion Caried.

AGENDA

1. **Jessica Perez, 7902 N Boyd Way, proposed window size change.** It was the consensus of the Building Board to table.
2. **David Swanson, 7631 N Santa Monica Blvd, proposed addition.** It was the consensus of the Building Board to table.
3. **John Stappas, 8201 N Whitney Rd, proposed removal of entry door.** It was the consensus of the Building Board to approve as submitted.
4. **Matt Kirchner, 8040 N Whitney Rd, proposed deck.** It was the consensus of the Building Board to approve as submitted.
5. **Valerie Sabatino, 6741 N Holly Ct, proposed roof mounted solar.** It was the consensus of the Building Board to approve as submitted.
6. **Jay Schmidt, 7137 N Santa Monica Blvd, proposed expand second floor.** It was the consensus of the Building Board to approve subject to switch out to lap siding on second floor gable frize.
7. **David Bruch, 7632 N Beach Dr, proposed deck/pergola/hot tub.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by Lucille Sells. Motion seconded by William Feldman. Motion Caried. Building Board adjourned at 5:38 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point

Michael Rakow

From: Jessica Perez <perezsje@gmail.com>
Sent: Wednesday, June 25, 2025 3:38 PM
To: Michael Rakow
Subject: Follow-Up to May 21 Board Meeting - 7902 N Boyd Way
Attachments: Kensington Full - Halquist Stone.pdf; Jessica Juan Perez Quote.pdf

Hi Michael,

I hope you're doing well. Please accept my apologies for the delay in following up after the May 21st Board discussion. I want to thank you and the Board for the thoughtful feedback and suggestions provided during the meeting.

To address the concerns raised, we considered a path forward that would honor both the home's character and the Village's standards.

Here is an overview of my proposal and updated intentions:

Front Windows

- We are willing to move forward with replacing the front windows to properly fit the original rough openings.
- The proposed configuration is as follows:
 - A picture window on the south side(around the corner from main window)
 - One large picture window with double-hung in the main/front center
 - Two double-hung windows on the front
- Please see the attached quote for window replacement details

Back and North Side Windows

- We would like to keep the existing windows in these areas
- We kindly request that the kitchen window we previously closed remain closed, as it now aligns with the interior layout and allows for a cleaner exterior solution
- The empty area will be finished with Kensington stone, selected to match the existing stonework of the home. (See info attached)

Front Door and Shutters

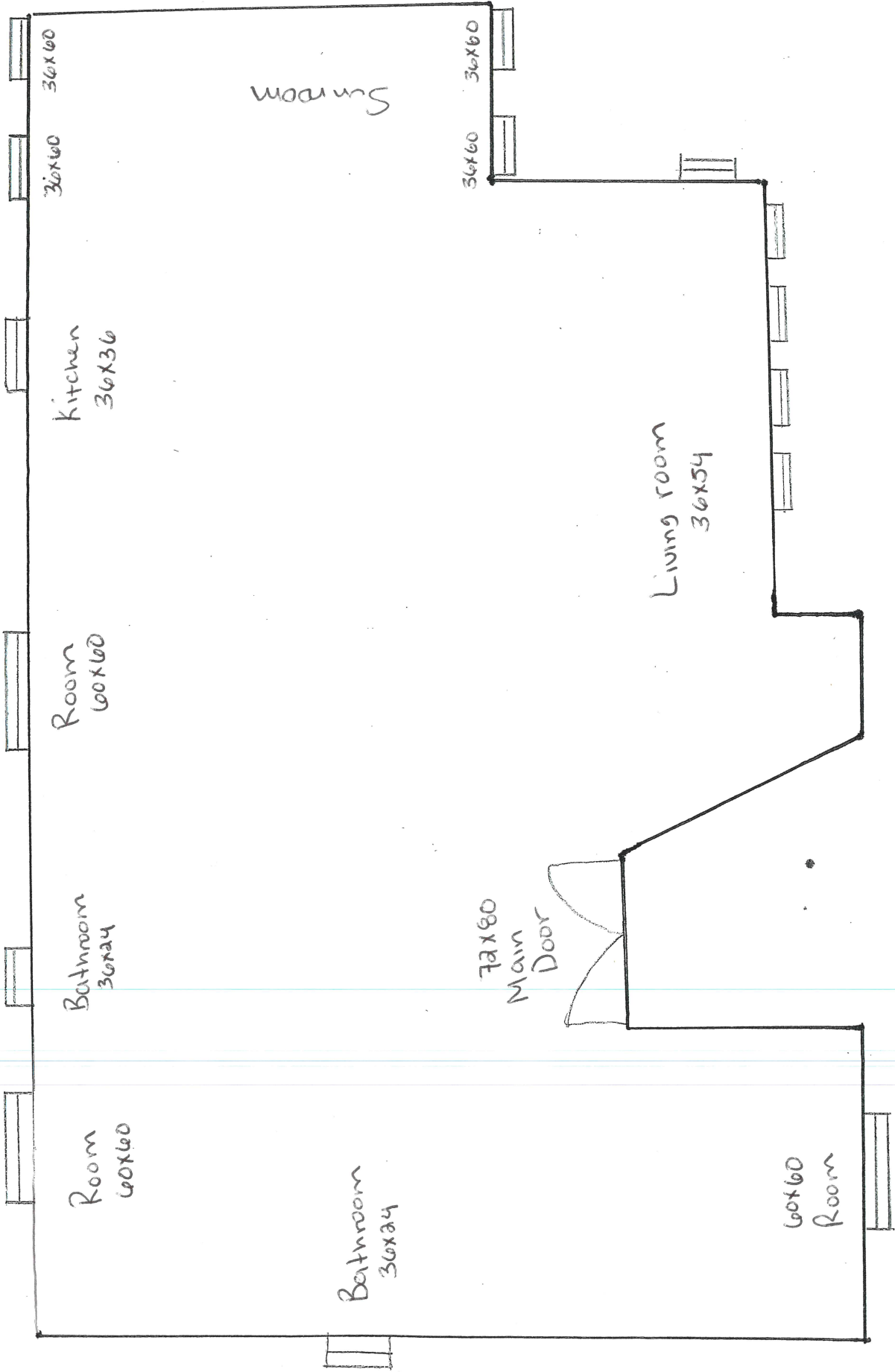
- Maybe to further support a unified look, we are thinking to paint the front door white to harmonize with the updated windows and trim
- We are also open to removing shutters, if needed for visual balance or paint them white

Thank you again for your time and guidance. I look forward to working together on a resolution that meets the Village's standards and reflects the Board's recommendations. I truly appreciate your continued support and understanding. It is my hope to honor the integrity of this home and the expectations of the village. Please let me know if this proposal is acceptable or if further action is needed on my part.

With sincere thanks,

Blessings,
Jessica Perez
414-510-8337

7902 N Boyd Way
Fox Point, WI 53217





* Proposal *



Status **Unsubmitted Order**

PO Number

Job Name

JESSICA& JUAN PEREZ

Submit Order

SHIP-TO - 580400 | [Change](#) | [Attn](#)
LISBON STORM SCREEN & DOOR
5006 W LISBON AVE
MILWAUKEE, WI 53210

414-445-8899
414-445-8608 FAX
<https://www.lisbonstorm.com/>


SOLD-TO:
LISBON STORM SCREEN & DOOR
5006 W LISBON AVE
MILWAUKEE, WI 53210

414-445-8899
414-445-8608 FAX

User 1: Lisbon
Enter Date: 6/24/2025
Order Type: Ship & Invoice
Ship Via: TRUCK

See the [Order Fulfillment Prediction Model](#) for order fulfillment expectations for new orders.

When this order is submitted and processed, a predicted fulfillment timeframe will be applied and revised throughout the life of the order.

| Line | Product and Price Details | Qty |
|------|---|-----|
| 1 |  <p>VINYL WINDOW SET - 0° Mullion - 13.58FT - Mull Header Cover - 13.29FT - Mull Strap Kit (2) - Product Options - - Endure Window - EN600 Series - White - FineLine - Opening Size: 160" x 82" - Three Across - Symmetrical Specifying Center - Center Size: 78" - Graphite Foam Insulation - Polyfoam Wrap (Four-sided) - Mull Header Cover - Mull Strap Kits (2) - Head Expander and Sill Extender - Configuration Warnings - Oversized tempered glass will have an extended lead time of 8-10 weeks. The glass thickness is not uniform across all windows in the set. Select the option to unify the glass thickness to correct this. Note that this may impact the energy ratings. Please contact Customer Support (800-669-4711 during business hours weekdays EST). The customer is responsible for ensuring that the opening is self-supporting for combo units wider than 120". (Warning acknowledged by Lisbon on 6/24/2025 at 1:08:18.) Tempered glass requires additional lead time.</p> <p>Due to variances in color and manufacturing process, image shown may vary from final product. Refer to color samples when making color selection.</p> | 1 |
| 2 | <p>VINYL WINDOW - 601 - Double Hung Base Price - Oversized Window Add-on - FineLine Upcharge - Perimeter Insulation Wrap - Product Options - - Window A1 - 601 - Double Hung - Unit Size: 40 3/4" x 81 1/2"</p> | 1 |

- Compound Tension Balance System
- Snap-In Frame Sash Stops
- Double Profile DA Locks
- White Vent Locks
- White Hardware
- INNERGY Thermal Sash Reinforcement
- Extruded Bottom Screen (White) with BetterVue Screen Mesh
- Glass Settings (All Sash):
- ComforTech DLA-UV
- Single Strength Glass (3/32" per pane)
- 3/4" IG Thickness

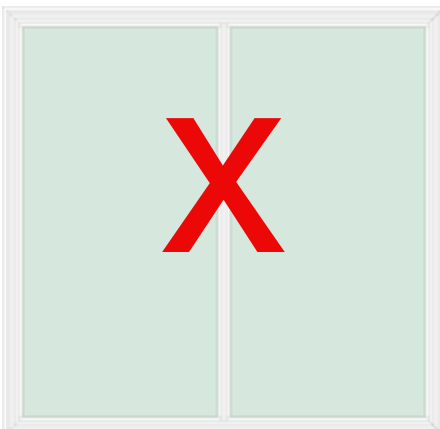
3 **VINYL WINDOW** 1

- 609 - Picture Window Base Price
- FineLine Upcharge
- Perimeter Insulation Wrap
- Tempered Glass
- **Product Options -**
- Window A2 - 609 - Picture Window
- Unit Size: 78" x 81 1/2"
- ComforTech DLA-UV
- 6mm Glass (1/4" per pane) (Tempered)
- 1" IG Thickness

4 **VINYL WINDOW** 1

- 601 - Double Hung Base Price
- Oversized Window Add-on
- FineLine Upcharge
- Perimeter Insulation Wrap
- **Product Options -**
- Window A3 - 601 - Double Hung
- Unit Size: 40 3/4" x 81 1/2"
- Compound Tension Balance System
- Snap-In Frame Sash Stops
- Double Profile DA Locks
- White Vent Locks
- White Hardware
- INNERGY Thermal Sash Reinforcement
- Extruded Bottom Screen (White) with BetterVue Screen Mesh
- Glass Settings (All Sash):
- ComforTech DLA-UV
- Single Strength Glass (3/32" per pane)
- 3/4" IG Thickness

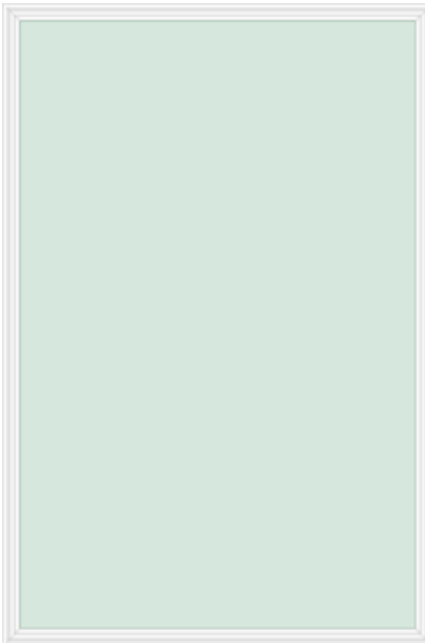
5 **VINYL WINDOW** 1



Due to variances in color and manufacturing process, image shown may vary from final product. Refer to color samples when making color selection.

- 602 - 2-Lite Slider Base Price
- Oversized Window Add-on
- FineLine Upcharge
- Perimeter Insulation Wrap
- **Product Options -**
- Endure Window - EN600 Series
- 602 - 2-Lite Slider
- White
- FineLine
- Opening Size: 71" x 69"
- Unit Size: 70 1/2" x 68 1/2"
- Double Profile DA Passive Locks
- White Vent Locks
- White Hardware
- 1 Vent Lock
- Left Interior Sash (Outside Looking In)
- Operation: Left to Right (Outside Looking In)
- INNERGY Thermal Sash Reinforcement
- Extruded Left Screen (White) with BetterVue Screen Mesh
- Graphite Foam Insulation
- Polyfoam Wrap (Four-sided)
- Head Expander and Sill Extender
- ComforTech DLA-UV
- Double Strength Glass (1/8" per pane)
- 3/4" IG Thickness

This one will not fit the rough opening.



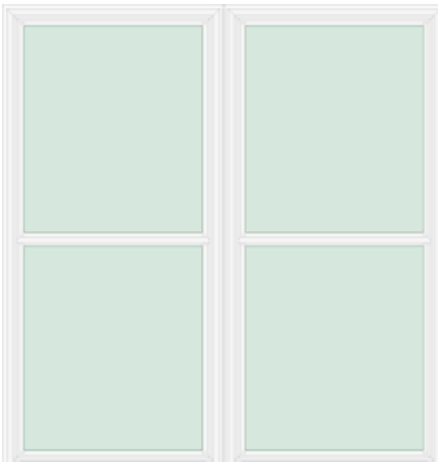
6

VINYL WINDOW

1

- 609 - Picture Window Base Price
- FineLine Upcharge
- Perimeter Insulation Wrap
- **Product Options -**
- Endure Window - EN600 Series
- 609 - Picture Window
- White
- FineLine
- Opening Size: 55" x 82"
- Unit Size: 54 1/2" x 81 1/2"
- Graphite Foam Insulation
- Polyfoam Wrap (Four-sided)
- Head Expander and Sill Extender
- ComforTech DLA-UV
- Triple Strength Glass (3/16" per pane)
- 3/4" IG Thickness

Due to variances in color and manufacturing process, image shown may vary from final product. Refer to color samples when making color selection.



7

VINYL WINDOW SET

1

- Factory Mulling with 0° Mullion
- **Product Options -**
- Endure Window - EN600 Series
- White
- FineLine
- Opening Size: 71" x 74"
- Two Across - Even
- Graphite Foam Insulation
- Polyfoam Wrap (Four-sided)
- Factory Mulling
- Mull Header Cover
- Head Expander and Sill Extender
- Glass -- All Units:
- ComforTech DLA-UV
- Single Strength Glass (3/32" per pane)
- 3/4" IG Thickness

Due to variances in color and manufacturing process, image shown may vary from final product. Refer to color samples when making color selection.

8

VINYL WINDOW

1

- 601 - Double Hung Base Price
- FineLine Upcharge
- Perimeter Insulation Wrap
- **Product Options -**
- Window A1 - 601 - Double Hung
- Unit Size: 35 1/4" x 73 1/2"
- Compound Tension Balance System
- Snap-In Frame Sash Stops
- Double Profile DA Locks
- White Vent Locks
- White Hardware
- INNERGY Thermal Sash Reinforcement
- Extruded Bottom Screen (White) with BetterVue Screen Mesh

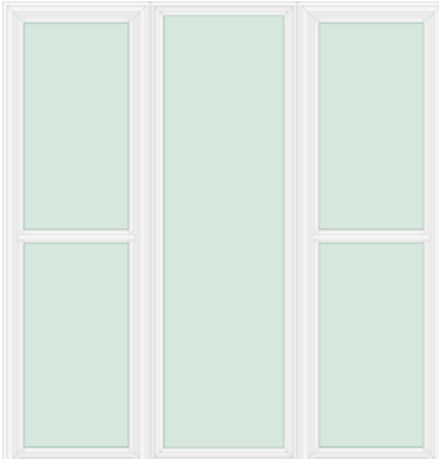
9

VINYL WINDOW

1

- 601 - Double Hung Base Price
- FineLine Upcharge
- Perimeter Insulation Wrap
- **Product Options -**
- Window A2 - 601 - Double Hung
- Unit Size: 35 1/4" x 73 1/2"
- Compound Tension Balance System
- Snap-In Frame Sash Stops
- Double Profile DA Locks

- White Vent Locks
- White Hardware
- INNERGY Thermal Sash Reinforcement
- Extruded Bottom Screen (White) with BetterVue Screen Mesh



Due to variances in color and manufacturing process, image shown may vary from final product. Refer to color samples when making color selection.

10 **VINYL WINDOW SET** 1

- Factory Mulling with 0° Mullion
- **Product Options -**
- Endure Window - EN600 Series
- White
- FineLine
- Opening Size: 71" x 74"
- Three Across - 1/3-1/3-1/3 (Even)
- Graphite Foam Insulation
- Polyfoam Wrap (Four-sided)
- Factory Mulling
- Mull Header Cover
- Head Expander and Sill Extender
- Glass -- All Units:
- ComforTech DLA-UV
- Single Strength Glass (3/32" per pane)
- 3/4" IG Thickness

This style will be to narrow

11 **VINYL WINDOW** 1

- 601 - Double Hung Base Price
- FineLine Upcharge
- Perimeter Insulation Wrap
- **Product Options -**
- Window A1 - 601 - Double Hung
- Unit Size: 23 1/2" x 73 1/2"
- Compound Tension Balance System
- Snap-In Frame Sash Stops
- Double Profile DA Locks
- White Vent Locks
- White Hardware
- INNERGY Thermal Sash Reinforcement
- Extruded Bottom Screen (White) with BetterVue Screen Mesh

12 **VINYL WINDOW** 1

- 609 - Picture Window Base Price
- FineLine Upcharge
- Perimeter Insulation Wrap
- **Product Options -**
- Window A2 - 609 - Picture Window
- Unit Size: 23 1/2" x 73 1/2"

13 **VINYL WINDOW** 1

- 601 - Double Hung Base Price
- FineLine Upcharge
- Perimeter Insulation Wrap
- **Product Options -**
- Window A3 - 601 - Double Hung
- Unit Size: 23 1/2" x 73 1/2"
- Compound Tension Balance System
- Snap-In Frame Sash Stops
- Double Profile DA Locks
- White Vent Locks
- White Hardware
- INNERGY Thermal Sash Reinforcement
- Extruded Bottom Screen (White) with BetterVue Screen Mesh

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/ Blend Collection (<https://www.halquiststone.com/products/building-stone/blend-collection>) / Kensington Full

Kensington Full Color | blend



2401/KENSINGTONFULLCOLOR/stone.com/application/files/2116/8614/1506/KENSINGTONFULLCOLOR.jpg) application/files/4215





The **Blend Collection** combines a wide variety of stones into one beautiful blend. They represent a mixture of weatheredge, splitface, bedface and boulders. So no matter what your vision, Halquist can help bring it to reality. **Kensington Full Color** is available in both full veneer and Thinstone® or otherwise known as thincut veneer.

Heights: 2" to 6" and 4" to 10" | **Lengths:** 8" to 36"

Color tones: cream, tan, buff and gold with grey undertones

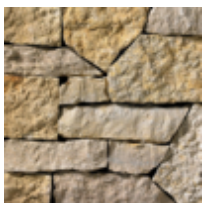
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Available Color Profiles



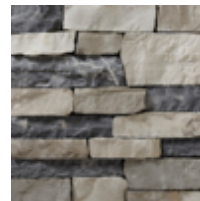
Beaver Creek Marsh

<https://www.halquiststone.com/products/building-stone/blend-collection/beaver-creek-marsh>



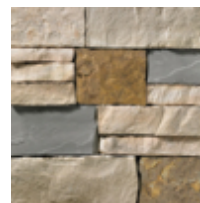
Beaver Creek Prairie

<https://www.halquiststone.com/products/building-stone/blend-collection/beaver-creek-prarie>



Mulberry

<https://www.halquiststone.com/products/building-stone/blend-collection/mulberry>



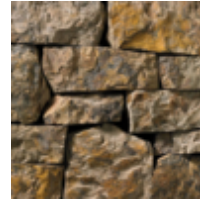
Rochester

<https://www.halquiststone.com/products/building-stone/blend-collection/rochester>



Calumet

(<https://www.halquiststone.com/products/building-stone/blend-collection/calumet>)



Rustic Strip

(<https://www.halquiststone.com/products/building-stone/blend-collection/rustic-strip>)



(<https://www.halquiststone.com/>)



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800-255-8811

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VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- _____

| OFFICE USE ONLY | |
|-----------------|--------|
| Issued Date | |
| Zoning | C, 85' |

BUILDING PERMIT

| | |
|--|---|
| Job Address 7631 N. Santa Monica Blvd. | Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> |
| Description of Work | |
| Addition of a single-stall garage and covered patio. New concrete path around addition and expansion to existing driveway. | |
| Estimated Cost of Project \$101,000. | |

| | |
|---|---|
| Owner/Occupant David Swanson | |
| Business Name N/A | Contact Name David Swanson |
| Address 7631 N. Santa Monica Blvd. | City/State/Zip Fox Point, WI 53217 |
| Phone 763-226-5954 | Email dswanson2315@gmail.com |

****Cautionary Statement required when homeowner is applying for permit****

| | |
|--|--|
| Contractor | |
| Company Name JM Remodeling | Contact Name Josh Meldman |
| Address 7701 N. Teutonia Ave. | City/State/Zip Milwaukee, WI 53209 |
| Phone 414-354-2800 | Email josh@jmremodelingwi.com |
| Dwelling Contractor # 020400015 | Dwelling Contractor Qualifier # 090702037 |

| Square Footage Under Construction | | | | |
|-----------------------------------|-----------------------|----------|----------|------------|
| 1 st Floor | 2 nd Floor | Basement | Addition | Garage 419 |

| Description | Rate | Amount |
|--|----------------------------------|-----------------|
| Project - Per \$1,000 of estimated cost | \$10.00 | |
| Building Board | \$75.00 | 75.00 |
| Footing early start - \$230.00 one and two family; \$305.00 commercial | | |
| Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial | | |
| State Seal | \$75.00 | |
| Razing, Interior Demolition \$925.00 max/bld | \$95.00 minimum plus \$0.13/sqft | |
| Moving buildings | \$250.00 plus \$0.13/sqft | |
| Fuel tanks - Per 1,000 gallons | \$25.00 | |
| Re-inspection | \$100.00 | |
| Work started without permit | Double | |
| Minimum Fee | \$70.00 | |
| Payable to: Village of Fox Point | Total Permit Fee | \$ 75.00 |

Applicant Signature _____

Date 5/2/2025

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061401

May 6, 2025

7631 N SANTA MONICA BLVD

| | |
|--|-------|
| Previous Balance: | .00 |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00 |
| 24-44440 BUILDING BOARD - FEE | |

| | |
|--------|-------|
| Total: | 75.00 |
|--------|-------|

| | | |
|-------|------------------------------|-------|
| CHECK | Check No: 4058 | 75.00 |
| | Payor: THRIVE ARCHITECTS LLC | |

| | |
|----------------|-------|
| Total Applied: | 75.00 |
|----------------|-------|

| | |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

Duplicate Copy

05/06/2025 2:50 PM



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

**CAUTIONARY STATEMENT TO OWNERS
OBTAINING BUILDING PERMITS**

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

David Swanson

Homeowner's Name – PRINTED

7631 N. Santa Monica Blvd.

Property Address

Homeowner's Signature

Date

Plat of Survey

Known as 7631 North Santa Monica Boulevard, V of Fox Point,
Wisconsin

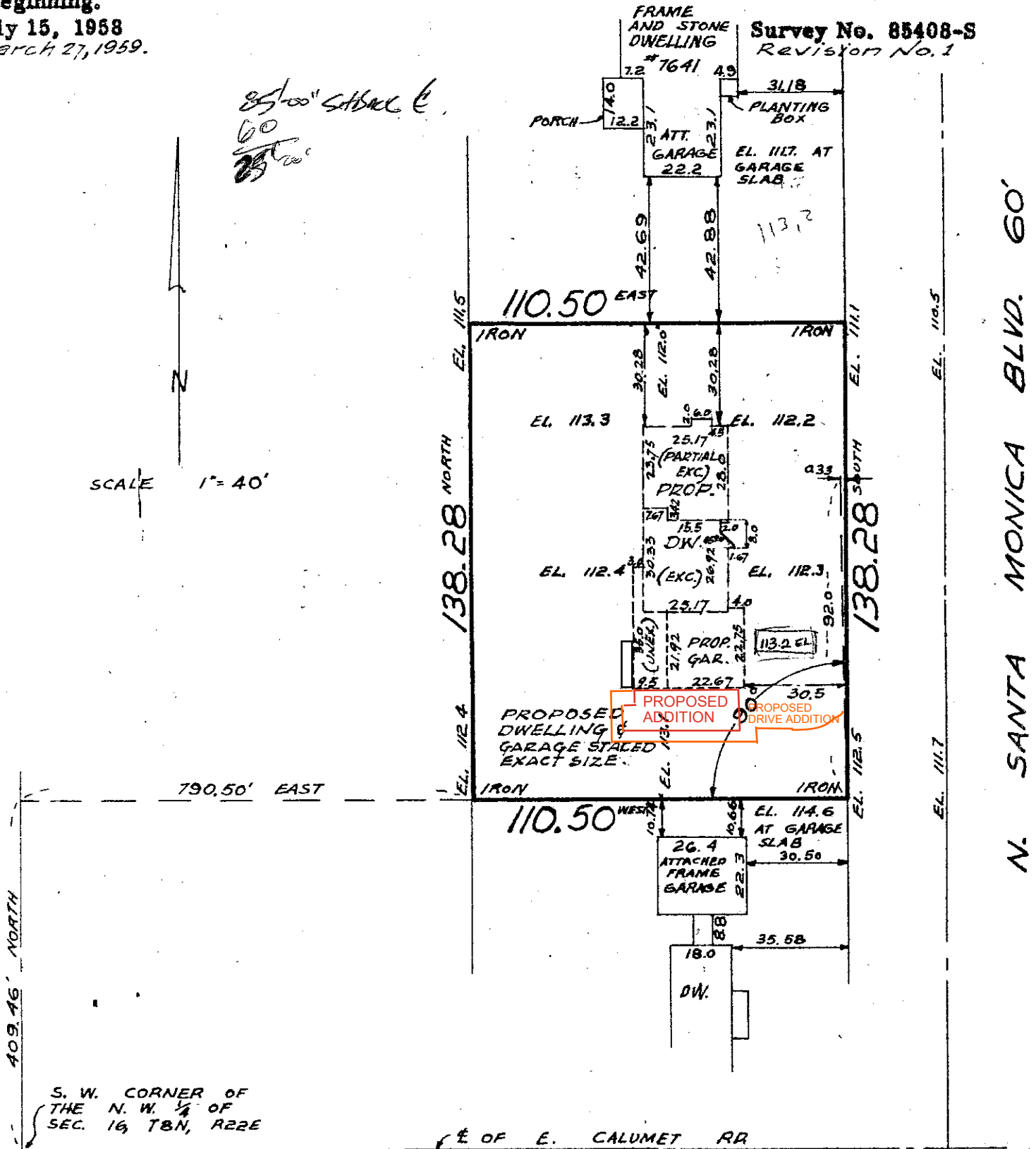
Lot 38 in CALUMET LAND CO PLAT UNRECORDED--Commencing 409.46 ft. North and 790.50 ft. East of the Southwest corner of the N. W. 1/4 of Section 16, T 8 N, R 22 E, in the Village of Fox Point, Milwaukee County, Wisconsin; thence North 138.28 ft; thence East 110.50 ft; thence South 138.28 ft; thence West 110.15 ft. to the point of beginning.

July 15, 1958
March 27, 1959.

Survey No. 85408-S
Revision No. 1

*85'00" SABBAL E.
60
25'*

SCALE 1" = 40'



We Certify that we have surveyed the above described property and that the above plat is an accurate survey and a true representation thereof and correctly shows the exterior boundary lines and location of buildings and other improvements on said property and the correct measurements thereof.

NATIONAL SURVEY SERVICE
CIVIL ENGINEERS AND SURVEYORS
5729 W. VLIET ST. BLUEMOUND 5-9830
MILWAUKEE 8, WISCONSIN



Kenneth E Berke
SURVEYOR



| | |
|----------|------------|
| Drawn by | Checked by |
| JAJ | JDB |

| Revisions | | |
|-----------|------------|-----------------------|
| No. | Date | Description |
| | 05.02.2025 | Building Board Review |
| | | |
| | | |
| | | |

NOT FOR CONSTRUCTION

CONSTRUCTION NOTES

1. THE GENERAL CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE FINAL MATERIALS, METHODS OF CONSTRUCTION AND WARRANTY OF PRODUCT FOR THIS DWELLING.
2. STEP FOOTING AND FOUNDATION WALL AS REQUIRED. COORDINATE WITH EXISTING GRADES AND PLAN NOTES.
3. ASSUMED SOIL BRG. CAPACITY OF 2,000 PSF PADS TYP. (FINE OR MEDIUM CLAY SOILS)
4. FOOTINGS SHALL BEAR ON FIRM SOIL
5. COORDINATE ALL FLOOR AND WALL FINISH REQUIREMENTS WITH OWNER.
6. COORDINATE THE LOCATION OF ALL EXTERIOR LIGHTING, HOSE BIBS, DRYER VENTS, AND OTHER PENETRATIONS WITH OWNER.
7. PROVIDE ALUMINUM GUTTERS AND DOWNSPOUTS ON ALL OVERHANGS. COORDINATE LOCATION OF DOWNSPOUTS WITH OWNER.
8. SITE GRADING TO BE COORDINATED WITH OWNER, FOUNDATION WALL HEIGHTS, AND STONE HEIGHTS WILL NEED TO BE VERIFIED. SITE GRADING IS NOT DEPICTED IN THIS SET OF PLANS.
9. FINAL STRUCTURAL SIZING OF FRAMING MEMBERS TO BE THE RESPONSIBILITY OF THE LUMBER SUPPLIER.
10. ALL WOOD BLOCKING IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
11. ALL EXTERIOR WALLS TO BE SHEATHED AS REQUIRED FOR SHEAR WALL CONSTRUCTION.
12. ALL SAWN LUMBER SHALL BE DOUGLAS FIR-LARCH NO. 2 GRADE OR EQUIVALENT.

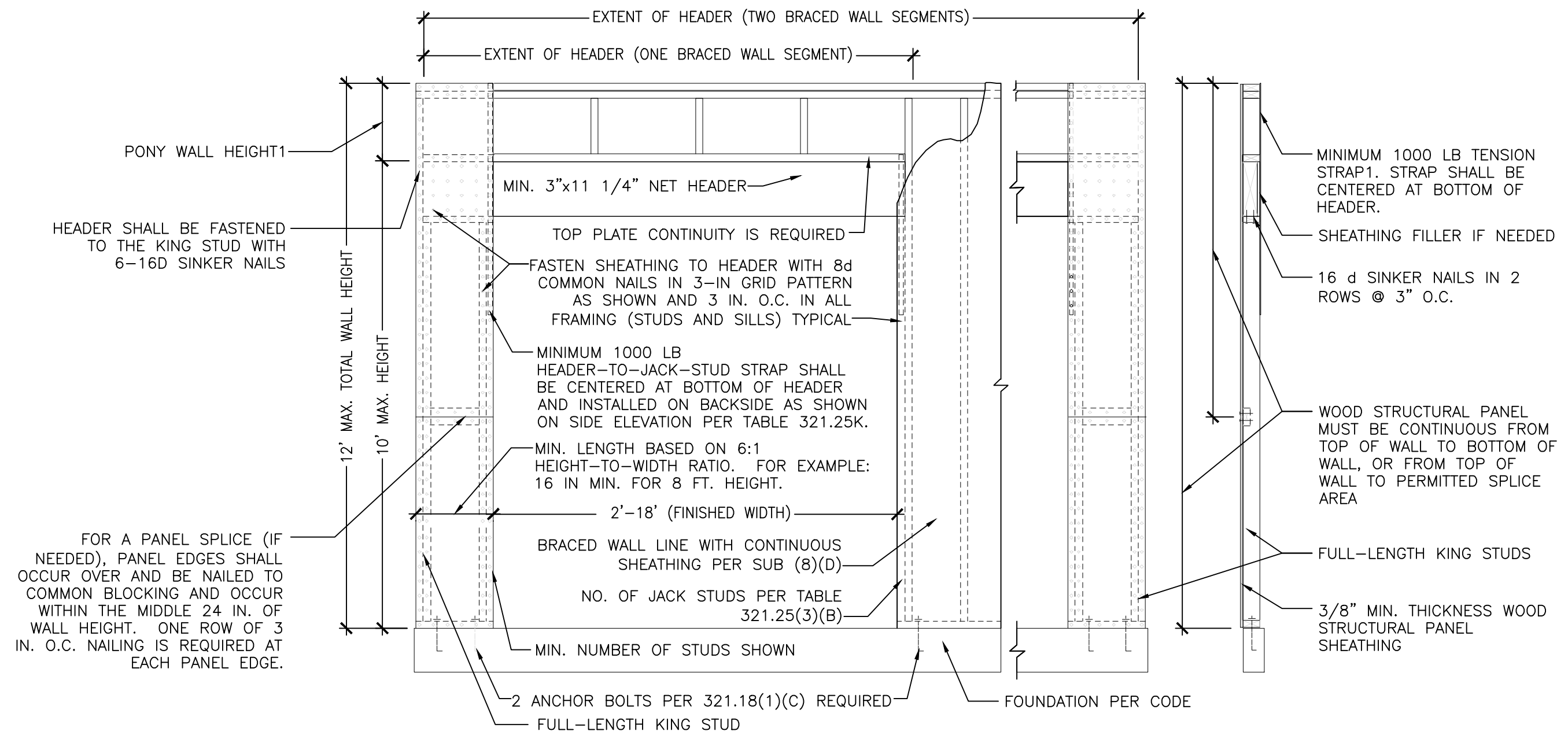
DRAWING INDEX

- T1.0 PROJECT INFO, SITE PLAN, ROOF PLAN
- D1.0 DEMOLITION PLAN, FOUNDATION PLAN
- A1.0 FIRST LEVEL FLOOR PLAN, BLDG SECTION
- A2.0 EXTERIOR ELEVATIONS
- A3.0 EXISTING PHOTOS, 3D IMAGES

BUILDING INFORMATION

GARAGE ADDITION 419 SF

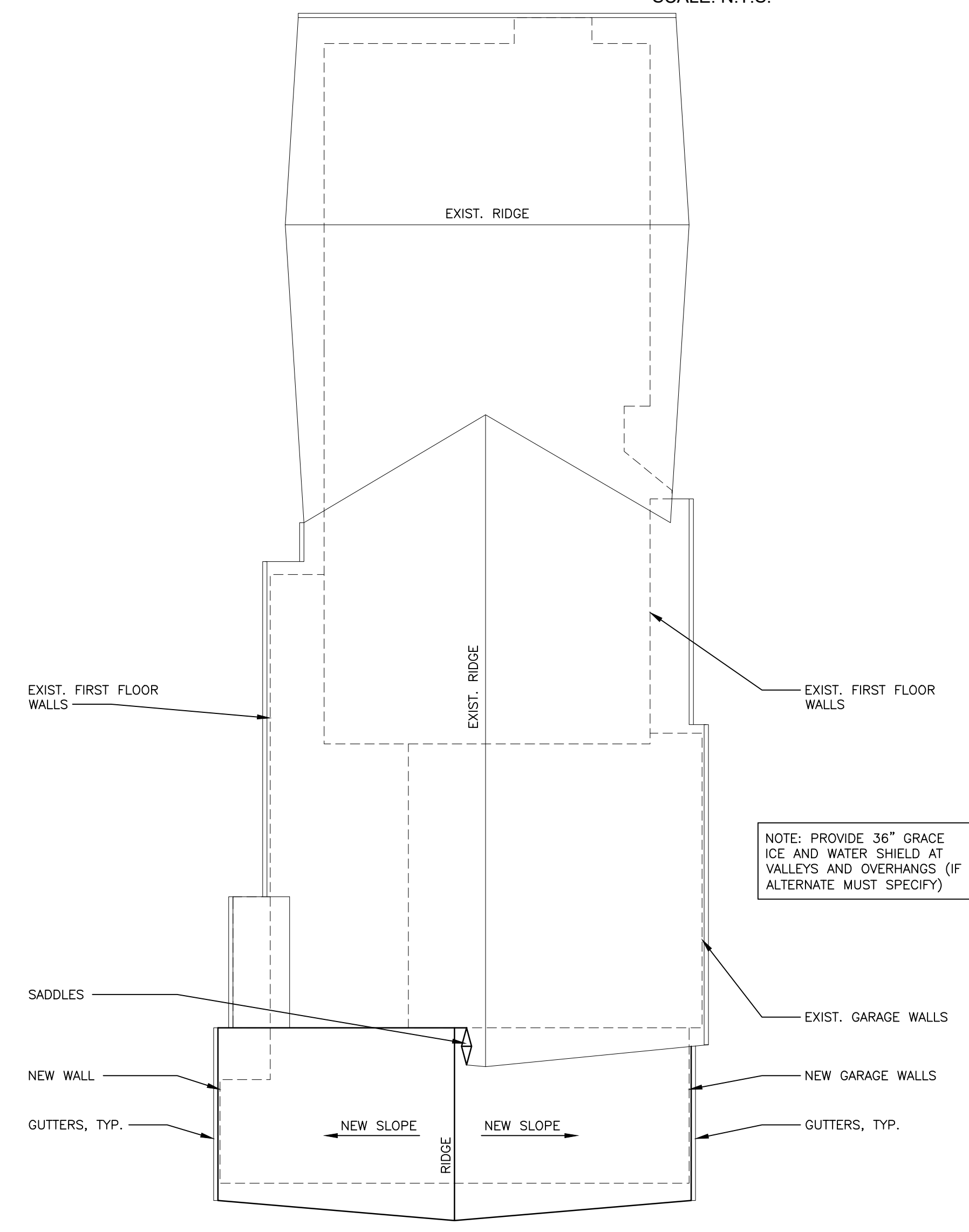
OUTSIDE ELEVATION **SIDE ELEVATION**



1 PER TABLE R602.10.4.1.1

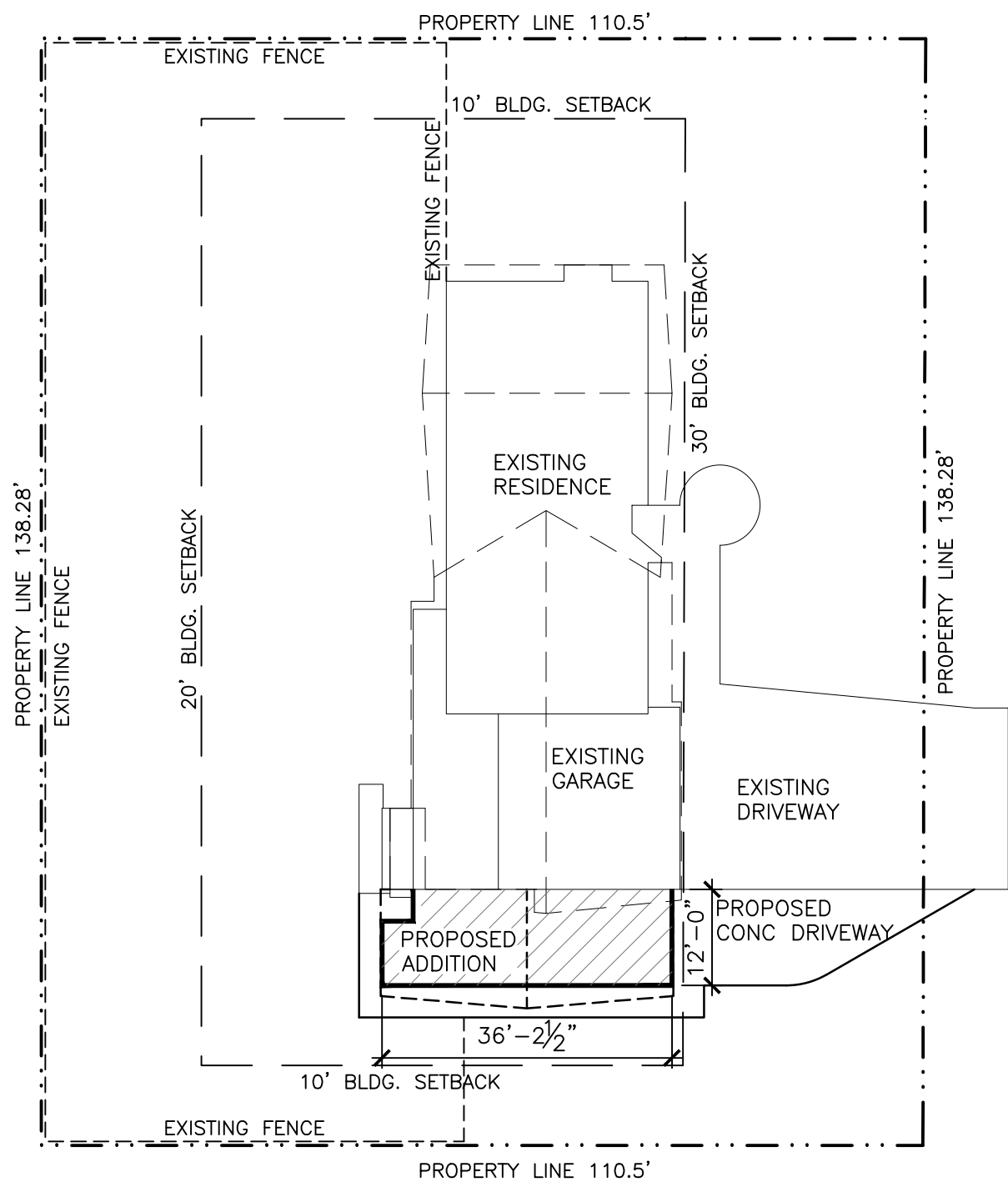
UDC DETAIL 321.25-K
STANDARD PORTAL FRAME DETAIL
SCALE: N.T.S.

3



ROOF PLAN
SCALE: 1/8"=1'-0" (22x34); 1/16"=1'-0" (11x17)

2



G1 RESIDENTIAL IN C RESIDENCE DISTRICT
SITE SF: 15,290 SF (.351 ACRES)
OPEN SPACE CALCULATIONS
MINIMUM OPEN SPACE REQUIRED: 10,500 SF
OPEN SPACE PROVIDED: 11,070 SF
72.4% OF SITE IS OPEN SPACE

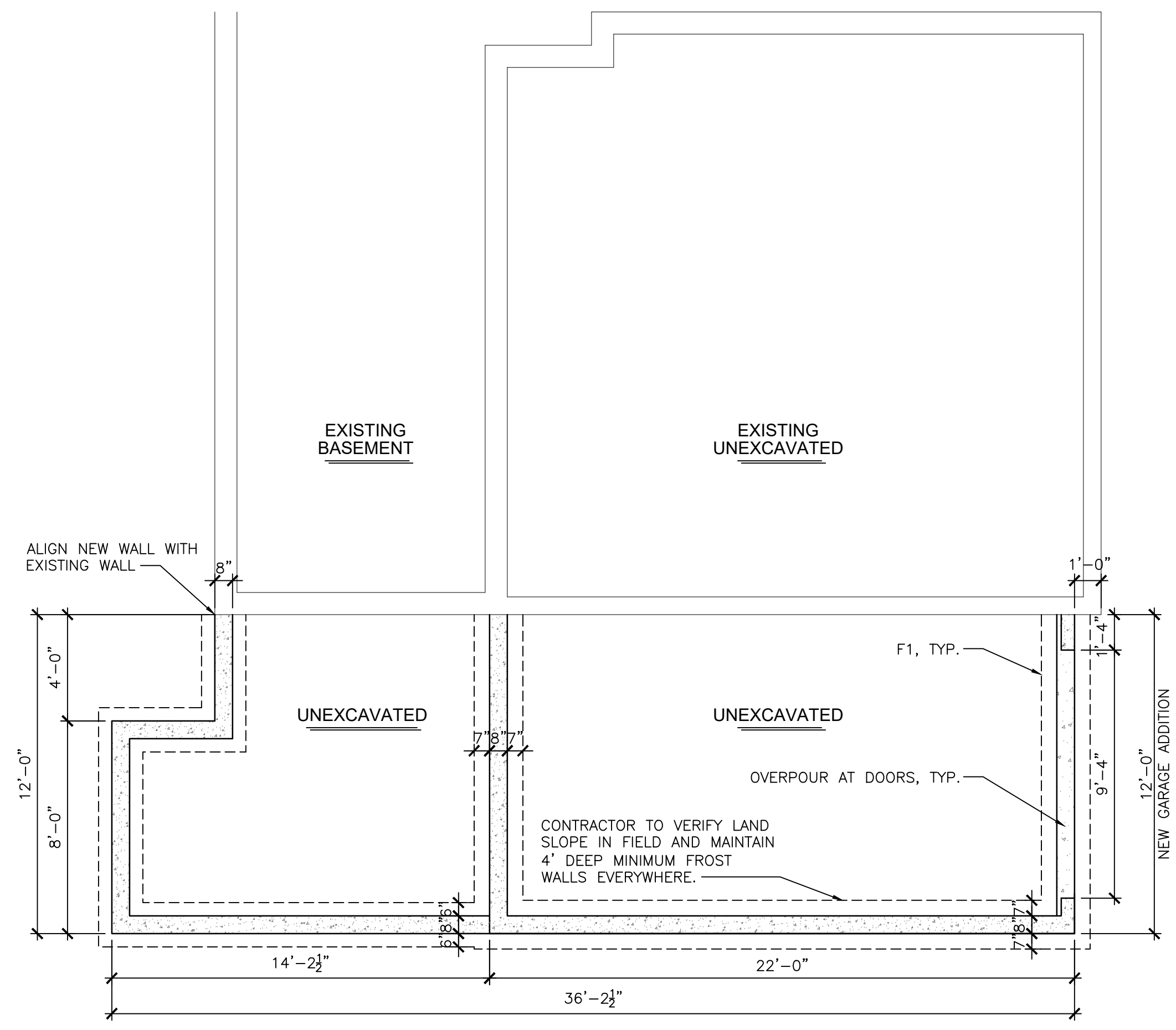
SITE PLAN
SCALE: 1"=20'-0" (22x34); 1"=40'-0" (11x17)

1

**DEMOLITION PLAN,
FOUNDATION PLAN**

| | |
|----------|------------|
| Drawn by | Checked by |
| JAJ | JDB |

| Revisions | | |
|-----------|------------|-----------------------|
| No. | Date | Description |
| | 05.02.2025 | Building Board Review |
| | | |
| | | |
| | | |

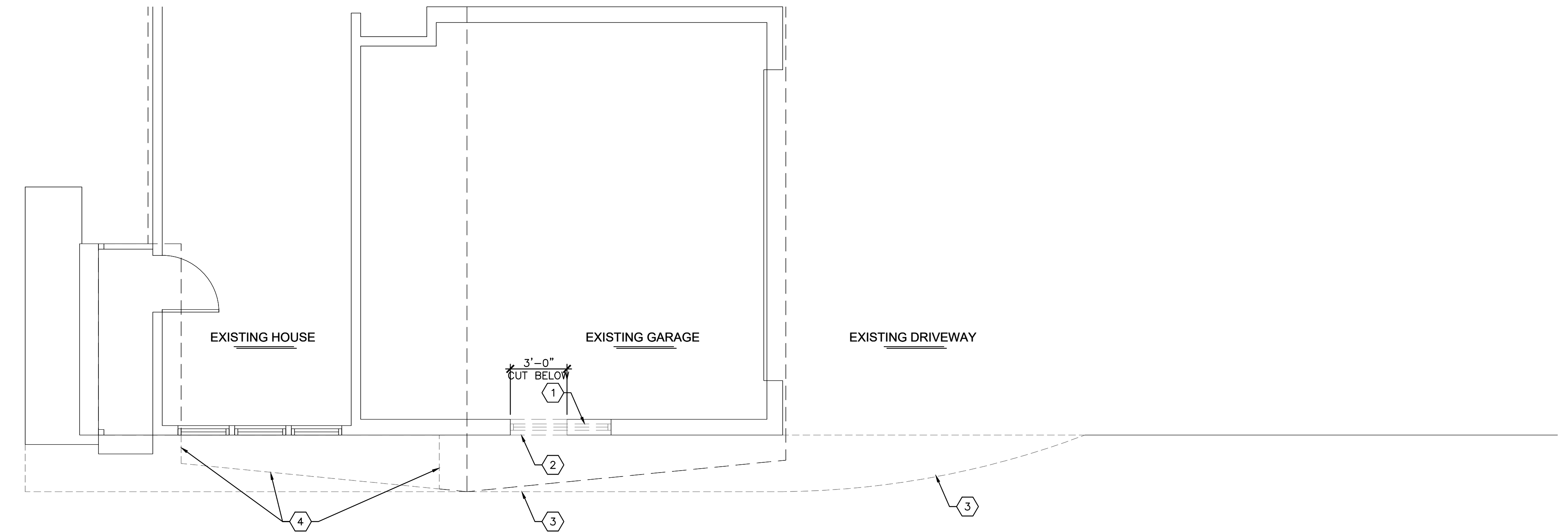


FOUNDATION PLAN
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

2



| DEMOLITION PLAN KEYNOTES | |
|--------------------------|--|
| 1 | REMOVE EXISTING WINDOW IN ITS ENTIRETY |
| 2 | CUT WALL AND SALVAGE BRICK TO REUSE |
| 3 | REMOVE EXISTING CONCRETE PAVEMENT |
| 4 | CUT ROOF EDGE EXISTING TO ACCOMMODATE NEW ROOF |



DEMOLITION PLAN
SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17)

1

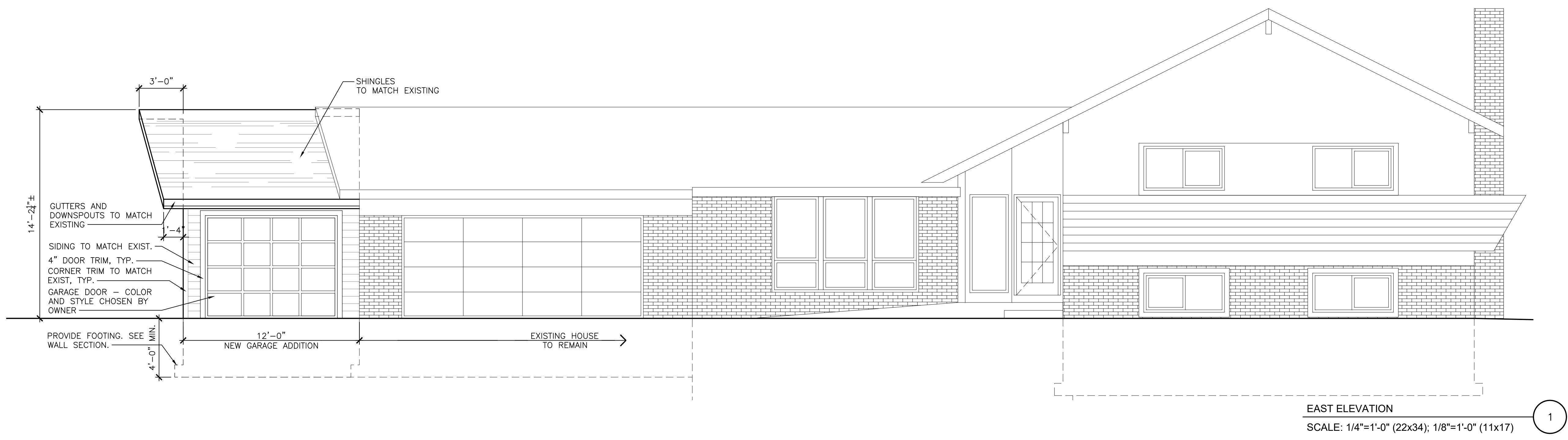
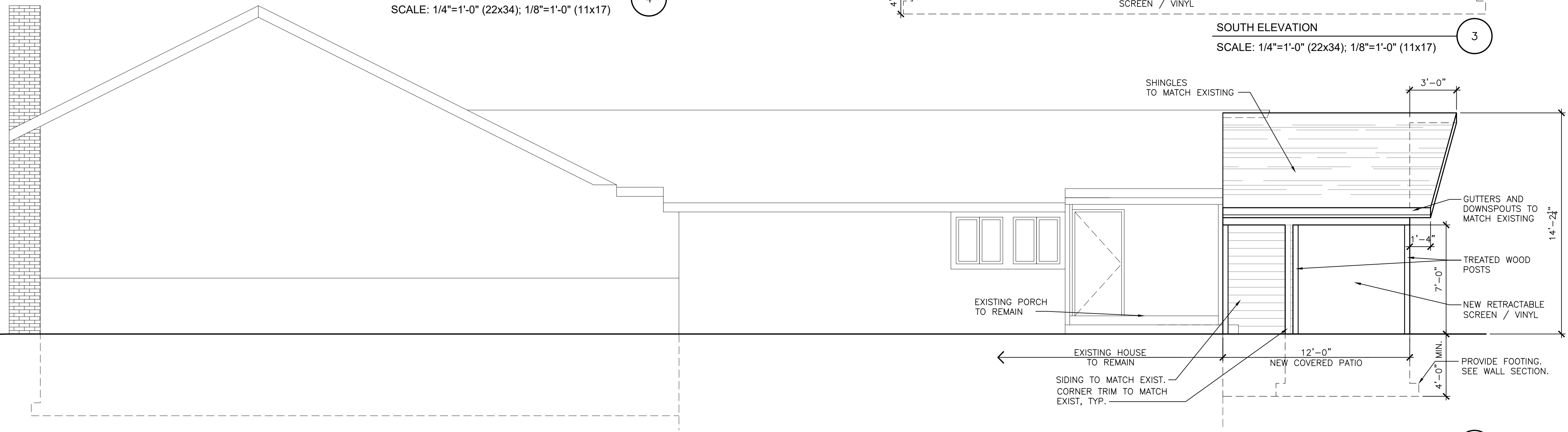
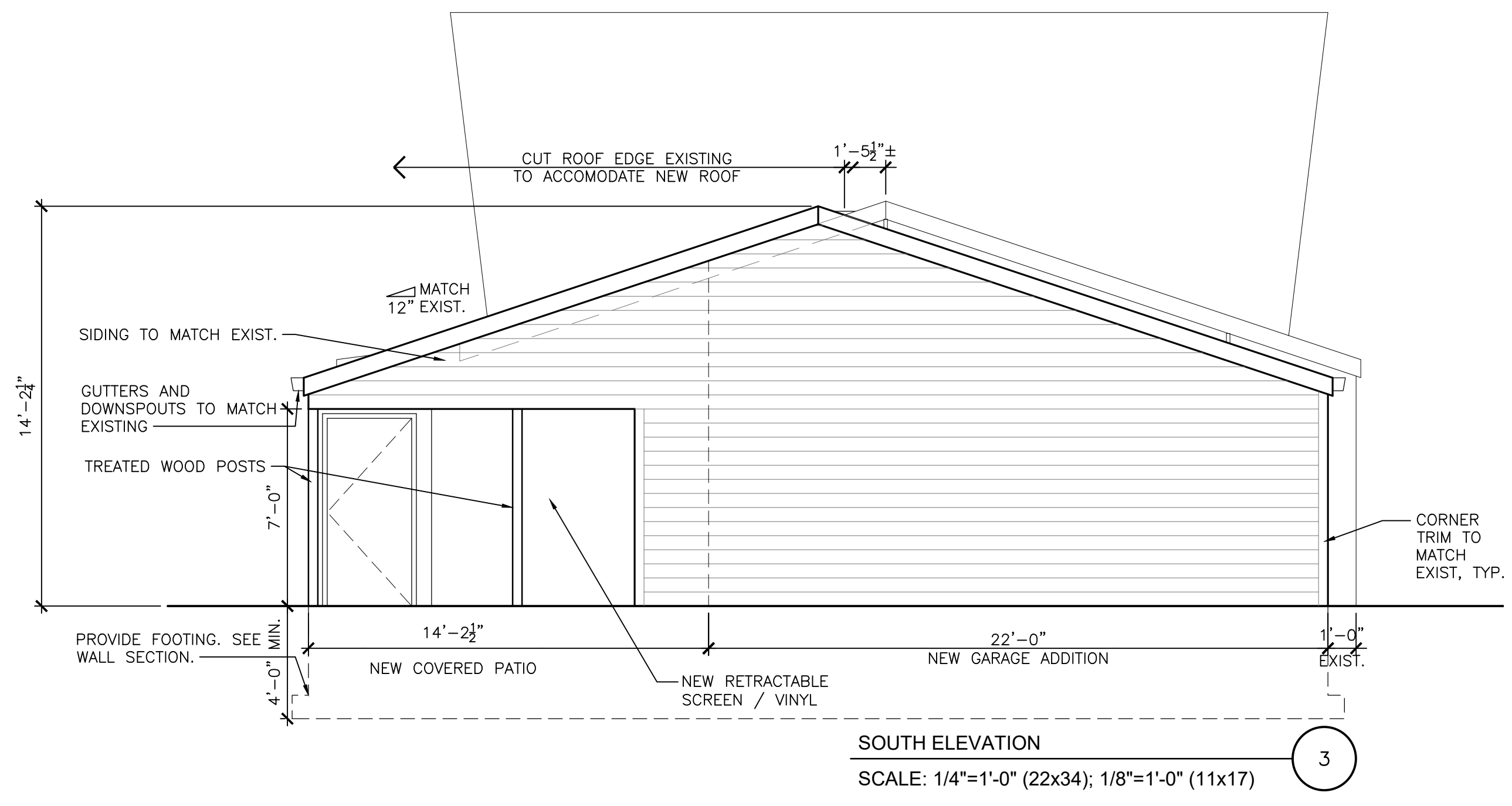
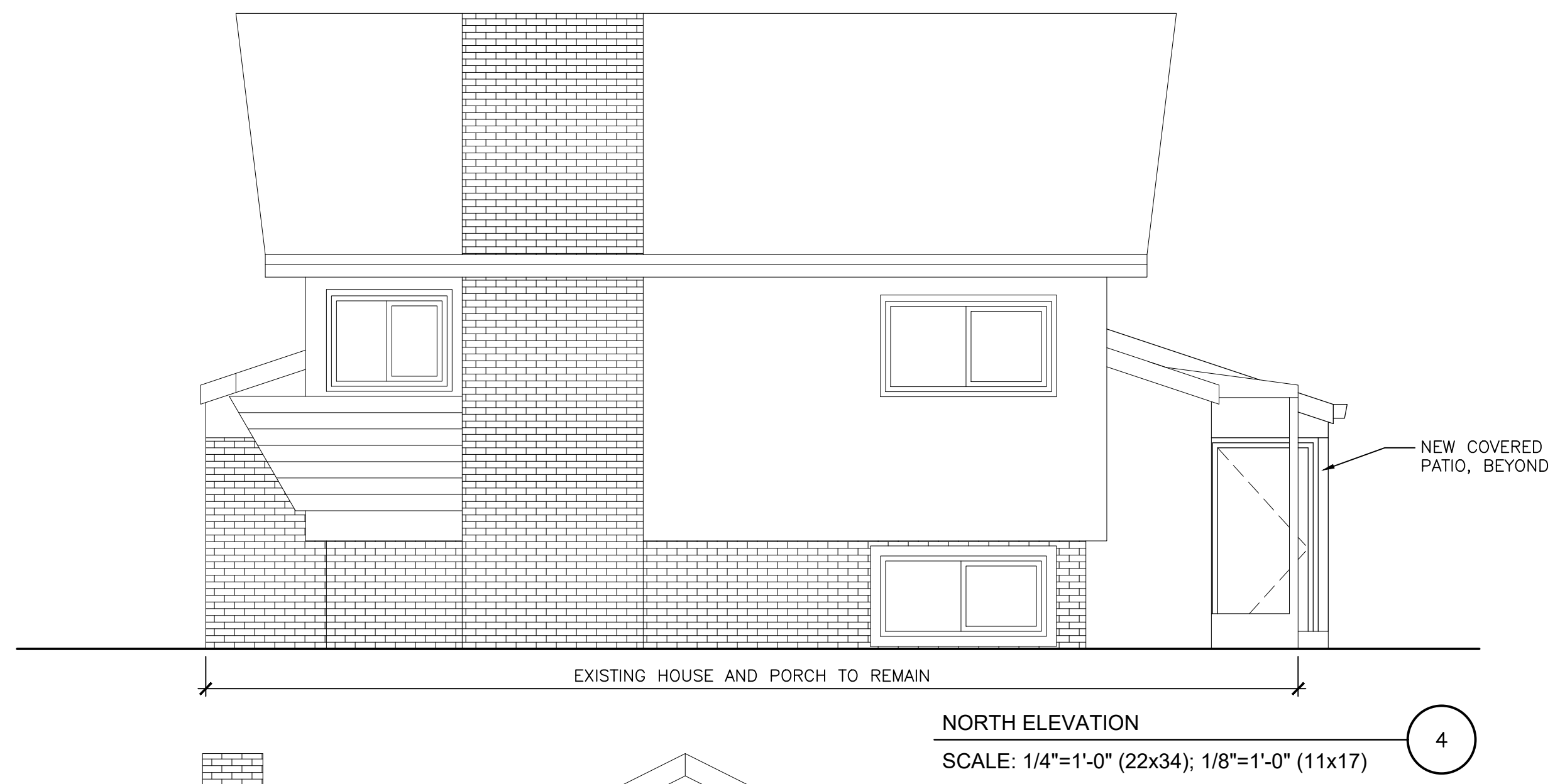


NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS

| | |
|----------|------------|
| Drawn by | Checked by |
| --- | --- |

| Revisions | | |
|-----------|------------|-------------|
| No. | Date | Description |
| | mm.dd.yyyy | Preliminary |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



NOT FOR CONSTRUCTION



EAST ELEVATION



3D VIEW SOUTHEAST CORNER



SOUTH ELEVATION



SOUTHEAST ELEVATION



3D VIEW SOUTHWEST CORNER



WEST ELEVATION



3D VIEW NORTHWEST CORNER

THRIVE ARCHITECTS

Architect
259 South Street, Suite A
WAUKESHA, WI 53186
p: 833-380-6180



Contractor
7701 N. Teutonia Ave.
Milwaukee, WI 53209
p: 414-354-2800
e: josh@jmremodelingwi.com

Project Info. — 25014 —

SWANSON RESIDENCE
GARAGE ADDITION

7631 N. Santa Monica Blvd.
Fox Point, WI 53217

Sheet Title

**EXISTING PHOTOS,
3D IMAGES**

| | |
|----------|------------|
| Drawn by | Checked by |
| JAJ | JDB |

| Revisions | | |
|-----------|------------|-----------------------|
| No. | Date | Description |
| | 05.02.2025 | Building Board Review |
| | | |
| | | |
| | | |
| | | |

Sheet No.

A3.0

NOT FOR CONSTRUCTION



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B-_____

| OFFICE USE ONLY |
|-----------------|
| Issued Date |
| Zoning |

BUILDING PERMIT

| | |
|---|--|
| Job Address <i>300 W Indian Creek Ct</i> | Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> |
| Description of Work <i>Bathroom remodel, need to close side window in the bathroom</i> | |
| Estimated Cost of Project \$ <i>100</i> | |

| Owner/Occupant | |
|--------------------------------------|-------------------------------------|
| Business Name <i>MAX B. CHESTER</i> | Contact Name |
| Address <i>300 W Indian Creek Ct</i> | City/State/Zip <i>Fox Point, WI</i> |
| Phone <i>414 305 8433</i> | Email <i>mchester@foley.com</i> |

****Cautionary Statement required when homeowner is applying for permit****

| Contractor | |
|----------------------------------|--|
| Company Name <i>Sanctum Inc.</i> | Contact Name <i>Dariusz Matewski</i> |
| Address <i>12502 N. River Rd</i> | City/State/Zip |
| Phone <i>262 960 5500</i> | Email <i>dariusz@sanctumbuilders.com</i> |
| Dwelling Contractor # | Dwelling Contractor Qualifier # |

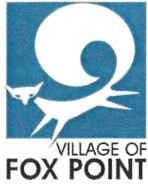
| Square Footage Under Construction | | | | |
|-----------------------------------|-----------|----------|----------|--------|
| 1st Floor | 2nd Floor | Basement | Addition | Garage |
| | | | | |

| Description | Rate | Amount |
|---|-------------------------|-------------------------|
| Project - Per \$1,000 of estimated cost | \$10.00 | <i>70.00</i> |
| Building Board | \$75.00 | <i>75.00</i> |
| Footing early start - \$230.00 one and two family; \$305.00 commercial | | |
| Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial | | |
| State Seal | \$75.00 | |
| Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus | \$0.13/sqft | |
| Moving buildings \$250.00 plus | \$0.13/sqft | |
| Fuel tanks - Per 1,000 gallons | \$25.00 | |
| Re-inspection | \$100.00 | |
| Work started without permit | Double | |
| | Minimum Fee | \$70.00 |
| Payable to: Village of Fox Point | Total Permit Fee | \$ <i>145.00</i> |

Applicant Signature _____ Date *6/9/25*

Rev 01/22

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
Fox Point, WI 53217
(414) 247-6622
www.villageoffoxpoint.com

**CAUTIONARY STATEMENT TO OWNERS
OBTAINING BUILDING PERMITS**

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Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

MAX B. CHESTER

Homeowner's Name – PRINTED

300 W Indian Creek Ct

Property Address

Homeowner's Signature

6/9/25

Date

Receipt No: 3.120100

Jun 9, 2025

300 W INDIAN CREEK

| | |
|-----------------------------|-------|
| Previous Balance: | .00 |
| LICENSES & PERMITS | |
| BUILDING PLANS - FILING FEE | 75.00 |
| 24-44440 | |
| BUILDING BOARD - FEE | |
| LICENSES & PERMITS | |
| BUILDING PERMIT | 70.00 |
| 24-44460 | |
| BUILDING PERMIT | |

| | | |
|--------|-------|--------|
| Total: | ----- | 145.00 |
| | ===== | |

| | |
|----------------|--------|
| CHECK | |
| Check No: 123 | 145.00 |
| Total Applied: | 145.00 |

| | | |
|------------------|-------|-----|
| Change Tendered: | ----- | .00 |
| | ===== | |

06/09/2025 9:26 AM

Michael Rakow

From: Chester, Max B. <mchester@foley.com>
Sent: Friday, June 20, 2025 9:21 AM
To: Michael Rakow
Subject: FW: 300 W Indian Creek Court Chester residence bathroom remodel // window closing
Attachments: IMG_2776.jpg; IMG_2779.jpg; IMG_2778.jpg; IMG_2777.jpg

Good morning Mike,

Per our call, I am attaching pics of our house from all sides. I circled the bathroom window (IMG_2777) that we would like to close with siding to match existing on the rest of the house (color and structure). Please let me know if you need anything further on this.

Kind regards,

Max

Max B. Chester
Partner

Foley & Lardner LLP
777 E Wisconsin Ave, Milwaukee, WI 53202-5306
Phone 414.297.5573 | Cell 414.305.8433
[View My Bio](#) | [Visit Foley.com](#) | mchester@foley.com



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VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- _____

| OFFICE USE ONLY |
|-----------------|
| Issued Date |
| Zoning |

BUILDING PERMIT

| | |
|--|---|
| Job Address 240 Indian Creek Ct. | Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> |
| Description of Work | |
| Dismantle the existing 13 feet x 13 feet rotted deck. Replace with pressure treated wood, adding three more footings, enlarging one side of it to 19 feet long. So the completed deck will be 13 feet by 19 feet | |
| See scope attached | |
| Estimated Cost of Project \$19,110. | |


| | |
|------------------------------|-------------------------------------|
| Owner/Occupant | |
| Business Name | Contact Name Carolyn Smith |
| Address 240 Indian Creek Ct. | City/State/Zip Fox Point, WI 53217 |
| Phone 414-303-6202 | Email carolyn.s.smith@marquette.edu |

****Cautionary Statement required when homeowner is applying for permit****

| | |
|---------------------------------------|--|
| Contractor | |
| Company Name Ramirez Restoration, LLC | Contact Name Karl or Ivan |
| Address 2314 W. State St. | City/State/Zip Milwaukee, WI 53233 |
| Phone 414-232-1366 | Email ramirezrestoration@gmail.com |
| Dwelling Contractor #032000283 | Dwelling Contractor Qualifier #081100002 |

| Square Footage Under Construction | | | | |
|-----------------------------------|-----------------------|----------|----------|--------|
| 1 st Floor | 2 nd Floor | Basement | Addition | Garage |

| Description | Rate | Amount |
|---|-------------------------|----------------|
| Project - Per \$1,000 of estimated cost | \$10.00 | 190 |
| Building Board | \$75.00 | 75 |
| Footing early start - \$230.00 one and two family; \$305.00 commercial | | |
| Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial | | |
| State Seal | \$75.00 | |
| Razing, Interior Demolition \$925.00 max/bld | \$95.00 minimum plus | \$0.13/sqft |
| Moving buildings | \$250.00 plus | \$0.13/sqft |
| Fuel tanks - Per 1,000 gallons | \$25.00 | |
| Re-inspection | \$100.00 | |
| Work started without permit | Double | |
| | Minimum Fee | \$70.00 |
| Payable to: Village of Fox Point | Total Permit Fee | \$265 |

Applicant Signature  Date 6-10-25

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061541

Jun 17, 2025

240 INDIAN CREEK

| | |
|--|--------|
| Previous Balance: | .00 |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00 |
| 24-44440 BUILDING BOARD - FEE | |
| LICENSES & PERMITS - BUILDING PERMIT | 190.00 |
| 24-44460 BUILDING PERMIT | |

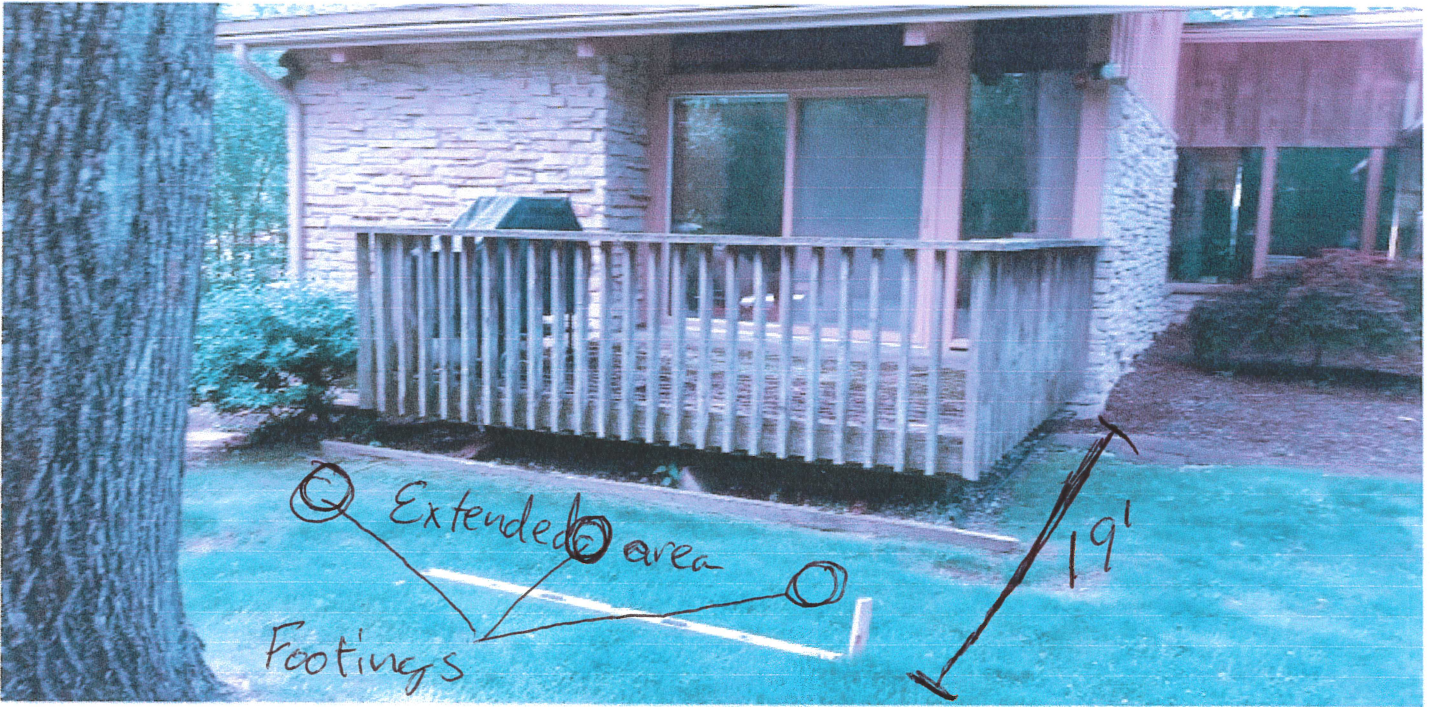
| | |
|--------|--------|
| Total: | 265.00 |
|--------|--------|

| | | |
|-------|----------------------------|--------|
| CHECK | Check No: 2294 | 265.00 |
| | Payor: RAMIREZ RESTORATION | |

| | |
|----------------|--------|
| Total Applied: | 265.00 |
|----------------|--------|

| | |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

06/17/2025 11:42 AM



Another entrance and exit &
concrete



RAMIREZ RESTORATION LLC.

2314 W. STATE ST. STE. E | MILWAUKEE, WI 53233

SCOPE OF WORK

May 12, 2025

For the Owner Carolyn Smith
240 W. Indian Creek Ct.
Fox Point WI 53217

Project Type: Deck, Painting and Carpentry Restoration

1. Deck

Dismantle the existing deck (in the backyard) and dispose. Install additional footings to extend the deck from 13 feet by 13 feet to 13 feet by 19 feet. The deck will be rebuilt with pressure treated wood duplicating the same design. New joists (16" on center), rim boards, stringers, riders, posts, bottom and top railings, and spindles will be cut to fit and secured. Three new footings will be dug out to 48" in depth and 12" in width. Joist hangers, straps and brackets will be secured as necessary to code. Add another deck entrance and exit. Two concrete landing pads approximately 2 feet by 4 feet will be formed and poured for the bottom staircase stringer to land on.

2. Painting and Caulking

Scrape the loose paint. Prime and paint all the exposed exterior wood on the house and garage. Apply caulking around the windows and seams as necessary. Grind/chisel out the joints between the stone sills and tuck-point with Doves Coming sealant.

3. Carpentry

Approximately 64 square feet of soffit and 20 linear feet of fascia to be replaced.

4. Basement Carpeting

Remove and dispose of the existing carpeting and tacking strips from approximately 900 square feet from the basement floor.

Karl Ramirez
Ramirez Restoration LLC
ramirezrestoration@gmail.com

o. 414-962-4982
c. 414-232-1366

Date: 7/03/2025 - 3:43 PM
Design ID: 322658966664
Estimated Price: \$6,302.36

**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*



How to recall and purchase your design at home:

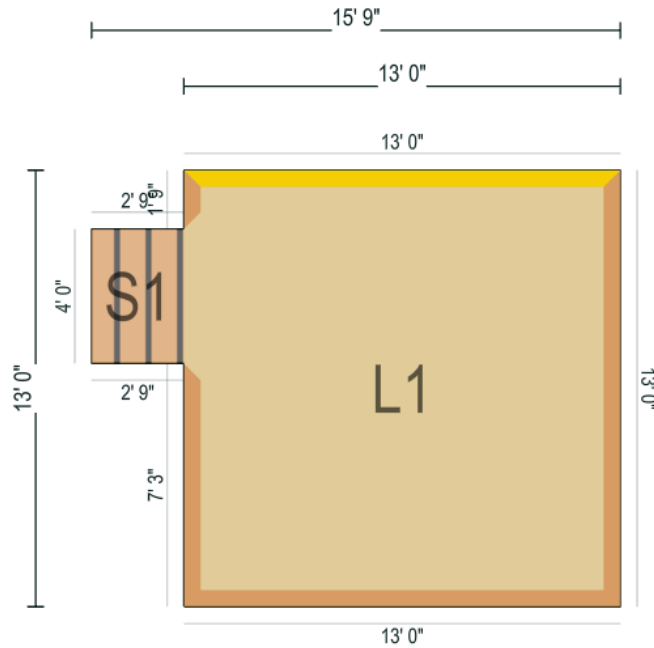


OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Deck Designer
3. Recall your design by entering Design ID: 322658966664
4. Follow the on-screen purchasing instructions

How to purchase your design at the store:

1. Enter Design ID: 322658966664 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions



Deck Side Color Legend

| | | | |
|--|----------------------|--|----------------|
| | Open Side/No Railing | | Railing |
| | Unattached Walls | | Attached Walls |

Illustration intended to show general deck size and shape. Some options may not be shown for picture clarity.

Layout dimension sheets are intended as a construction aid. Not all options selected are shown.

Final design should be performed by a registered professional engineer to ensure all applicable building codes and regulations are met. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE CUSTOMER WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the customer. Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE CUSTOMER. BECAUSE OF THE WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.

For other design systems search "Design & Buy" on Menards.com

Date: 7/03/2025 - 3:43 PM

Design ID: 322658966664

Estimated Price: \$6,302.36

**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*



Level 1

Height off the ground: 2' 3"
 Width: 13' 0"
 Length: 13' 0"
 Joist Spacing: 16" On Center
 Load Rating: 40 lbs

Stair 1

Height off the ground: 2' 3"
 Width: 4' 0"
 Length: 2' 9"

Decking

Deck Board Material Type: Red Cedar
 Deck Board: 2x6 Cedar
 Deck Board Fastener: Grip Fast® 6 Lobe

Framing

Framing Material Type: Red Cedar
 Joist: 2x10
 Beam: 2x8
 Framing Post: 6x6 Framing Post
 Footing: 12" Poured Footing
 Footing Depth: 42" Footing Depth
 Ledger Board Fastener Type: FastenMaster® LedgerLOK®
 Joist Hanger Type: Galvanized Joist Hanger
 Joist Hanger Fastener Type: Joist Hanger Fastener Screw

Date: 7/03/2025 - 3:43 PM

Design ID: 322658966664

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Railing

- Railing Material Type: Cedar Railing
- Railing Style: Vertical Rail, Sweep Outside Posts
- Spindle: 2x2x36 Square
- Handrail: 2 x 4
- Railing Post: 4 x 4 x 54 No-Notch Western Red Cdr Chamfer Posts
- Mounting Hardware: FastenMaster® ThruLOK®

Additional Options

- Deck Flashing: Joist Flashing 1-5/8"x50'

Date: 7/03/2025 - 3:43 PM**Design ID: 322658966664****Estimated Price: \$6,302.36****Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

Fastener Usages

| SKU | Description | Comments |
|---------|---|--|
| 2271507 | Grip Fast 1-1/2" HDG Joist Hanger Nail - 1 lb. Box | Ledger Corner Anchor Fastener,Stringer Bracket Fastener |
| 2272425 | USP Structural Connectors #9 1-3/8" Gold-Coated Screw | Ledger Deck Tie Bracket Fastener,Joist Hanger Fastener,Beam To Joist Fastener,Framing Post Fastener |
| 2272427 | MiTek® 10D x 3" Gold-Coated Joist Hanger Nail - 1 lb Box | Footing Anchor Fastener |
| 2295010 | Grip Fast® 3-1/2" 16D Hot-Dipped Galvanized Smooth Shank Common Nail - 1 lb. | Y-Bracing Fastener |
| 2300027 | FastenMaster LedgerLOK Ledger Board Fastener 3-5/8" 12pc | Ledger Fastener |
| 2300118 | THRULOK 6-1/4" INDY FMTHR614-INDY | ThruLok Fastener |
| 2300119 | ThruLOK® 5/16" x 7" INDY FMTHR614-INDY | ThruLok Fastener |
| 2302228 | Grip Fast® Premium #10 x 2.5" Star Drive Steel Flat Head Exterior Construction Screw - 1 lb Box | Spindle to Top Rail Fastener,Spindle to Bottom Rail Fastener,Beam To Beam Fastener |
| 2302231 | Grip Fast® Premium #10 x 3" Star Drive Steel Flat Head Exterior Construction Screw - 1 lb Box | Tread Fastener,Deck Board Fastener,Bottom Rail Fastener,Joist to Joist Fastener,Riser Fastener,Railing to Post Connection Fastener,Joist Blocking Fastener |
| 2302232 | Grip Fast® Premium Stainless Steel #10 x 3" Star Drive Flat Head Exterior Construction Screw - 5 lb Box | Tread Fastener,Deck Board Fastener,Bottom Rail Fastener,Joist to Joist Fastener,Riser Fastener,Railing to Post Connection Fastener,Joist Blocking Fastener |
| 2302234 | Grip Fast® Premium #10 x 3.5" Star Drive Steel Flat Head Exterior Construction Screw - 1 lb Box | Top Rail Fastener |
| 2302235 | Grip Fast® Premium #10 x 3.5" Star Drive Steel Flat Head Exterior Construction Screw - 5 lb Box | Top Rail Fastener |
| 2324399 | Grip Fast® 3/8" x 8" Grade 2 Galvanized Hex Head Lag Screw - 5 Count | Ledger Deck Tie Bracket Fastener |

Date: 7/03/2025 - 3:43 PM

Design ID: 322658966664

Estimated Price: \$6,302.36

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Fastener Usages

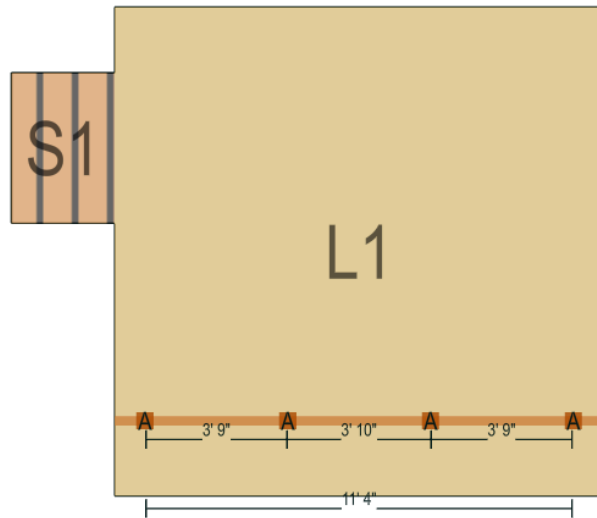
| SKU | Description | Comments |
|---------|---|------------------------------|
| 2329020 | Grip Fast 1/2" x 6" HDG Anchor Bolt w/ Nut & Washer - 2pc Bag | Footing Anchor Bolt Fastener |

Date: 7/03/2025 - 3:43 PM
Design ID: 322658966664
Estimated Price: \$6,302.36

**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*



L1 - Posts and Footings



Dimensions displayed are from center of post to center of post.

L1 - Framing Posts

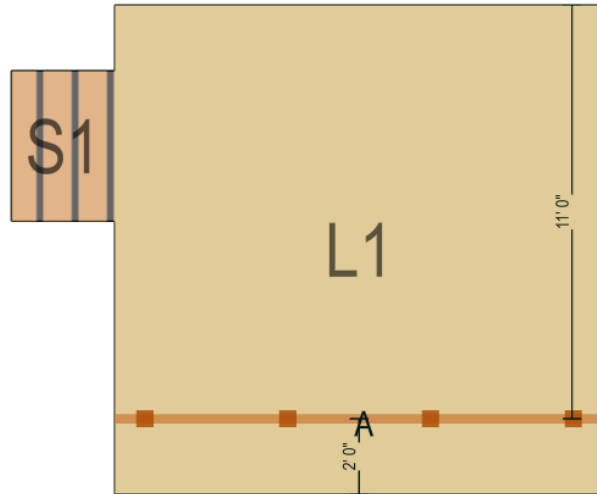
| Label | Post Size | Count |
|-------|-----------|-------|
| A | 6 x 6 | 4 |

Date: 7/03/2025 - 3:43 PM
Design ID: 322658966664
Estimated Price: \$6,302.36

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L1 - Beams



2 boards nailed together is 2 ply

L1 - Lumber: 2 ply - 2 x 8 Cedar

| Label | Length | Count |
|-------|--------|-------|
| A | 13' 0" | 1 |

Date: 7/03/2025 - 3:43 PM

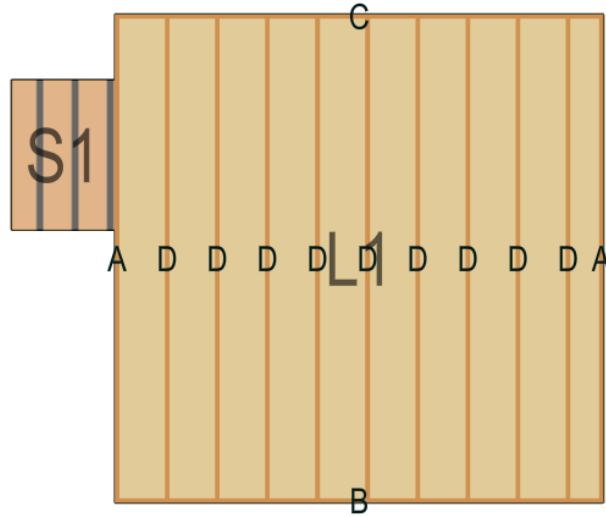
Design ID: 322658966664

Estimated Price: \$6,302.36

**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*



L1 - Joists



Lumber: 2 x 10 Cedar

Joist Spacing: 16" on center

| Label | Length | Count | Usage |
|-------|--------|-------|----------------|
| A | 13' 0" | 2 | Rim Joist |
| B | 12' 9" | 1 | Rim Joist |
| C | 12' 9" | 1 | Ledger Joist |
| D | 12' 9" | 9 | Internal Joist |

Date: 7/03/2025 - 3:43 PM
Design ID: 322658966664
Estimated Price: \$6,302.36

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L1 - Railing Posts

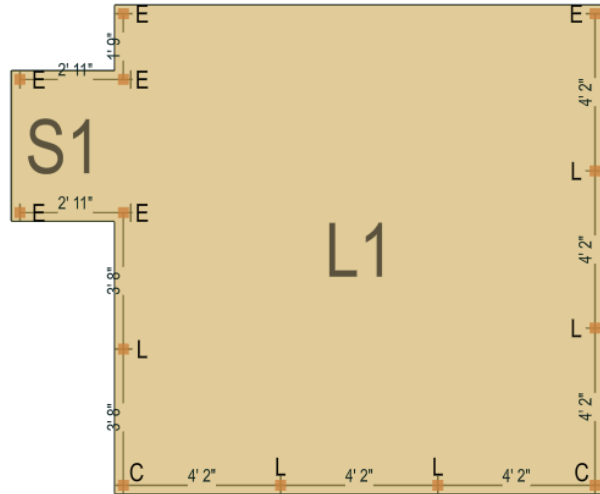


Illustration does not represent all available railing post placement options.
 Railing post dimensions are on center.

| | | |
|-----------|-----------------|--------------|
| L1 | | |
| | Label | Count |
| | E - End Post | 2 |
| | L - Line Post | 5 |
| | C - Corner Post | 2 |
| | E - End Post | 2 |
| S1 | | |
| | Label | Count |
| | E - End Post | 2 |

Date: 7/03/2025 - 3:43 PM

Design ID: 322658966664

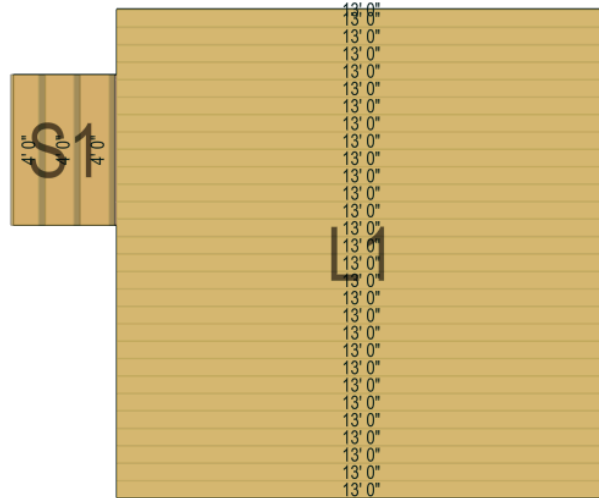
Estimated Price: \$6,302.36

*Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.



Design & Buy™ DECK

L1 - Deck Boards and Treads



Decking over 240" is shown as one length and decking must be spliced - multiple lengths of decking may be estimated. The deck board lengths and/or quantities may need to be adjusted based on framing or the deck board splice pattern you prefer. Please review the deck board lengths and quantities prior to the start of your project. A divider board may be added to improve the look and eliminate splices. To add dividers, recall the design and add a divider on the Design>Decking tab in the program.

Deck Board

| Length | Count |
|--------|-------|
| 13' 0" | 29 |

Tread

| Length | Count |
|----------|-------|
| S1 4' 0" | 3 |

Date: 7/03/2025 - 3:43 PM

Design ID: 322658966664

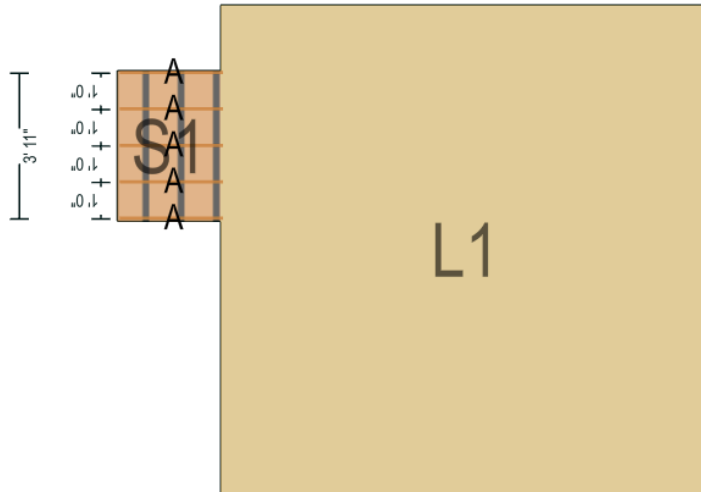
Estimated Price: \$6,302.36

**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*



Design & Buy™ DECK

L1 - Stair Framing



S1 - Stringer

| Label | Length | Count |
|-------|--------|-------|
| A | 2' 6" | 5 |

Date: 7/03/2025 - 3:43 PM

Design ID: 322658966664

Estimated Price: \$6,302.36

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Menards Deck Building Checklist

Planning

1. Get a permit. Check restrictions, building codes or local zoning to make sure your design complies with all requirements.
2. Contact local utilities to ensure construction will not disturb any electrical, cable or plumbing.
3. If necessary, hire a professional to help with planning and construction.
4. Consider site conditions including soil type, grade, and runoff before finalizing your design.
5. For decks attached to a building the attachment is critical, the attachment may require additional hardware and/or framing material including additional material inside the building for proper attachment.
6. Material estimates provided can be changed to meet your needs.
7. Additional joist blocking and bracing may be required based on deck location, elevation, and deck board type.
8. Menards offers professional delivery of materials, delivery is extra based on the distance from your local Menards store to your building site.
9. Final deck design and material calculations should be performed by a registered professional engineer.

Construction

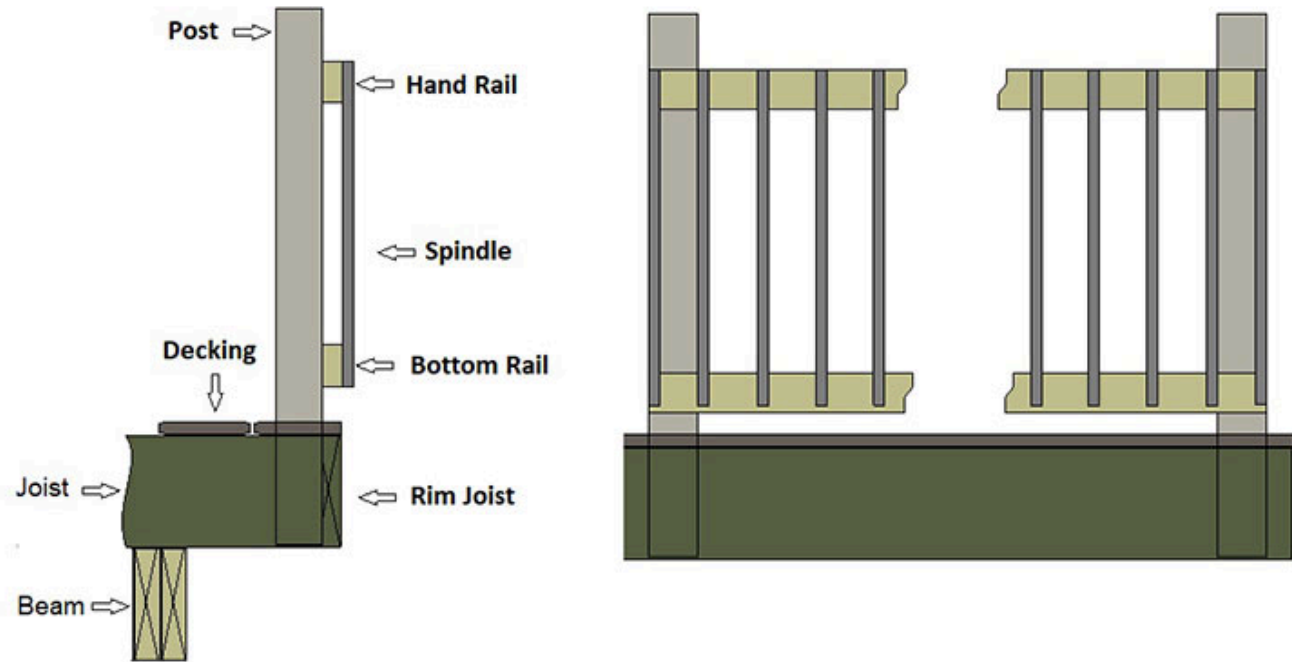
- Practice good safety habits, use PPE including eye protection & dust masks during construction
- The deck railing will provide both a finishing touch to your project and the required safety needed. Make sure to follow good building practice and all manufacturer's instructions.
- Use all the hardware and fasteners recommended.
- With treated material its recommended to seal and/or stain your deck as soon as the decking will absorb the sealant.

Enjoy!!!

Date: 7/03/2025 - 3:43 PM
Design ID: 322658966664
Estimated Price: \$6,302.36

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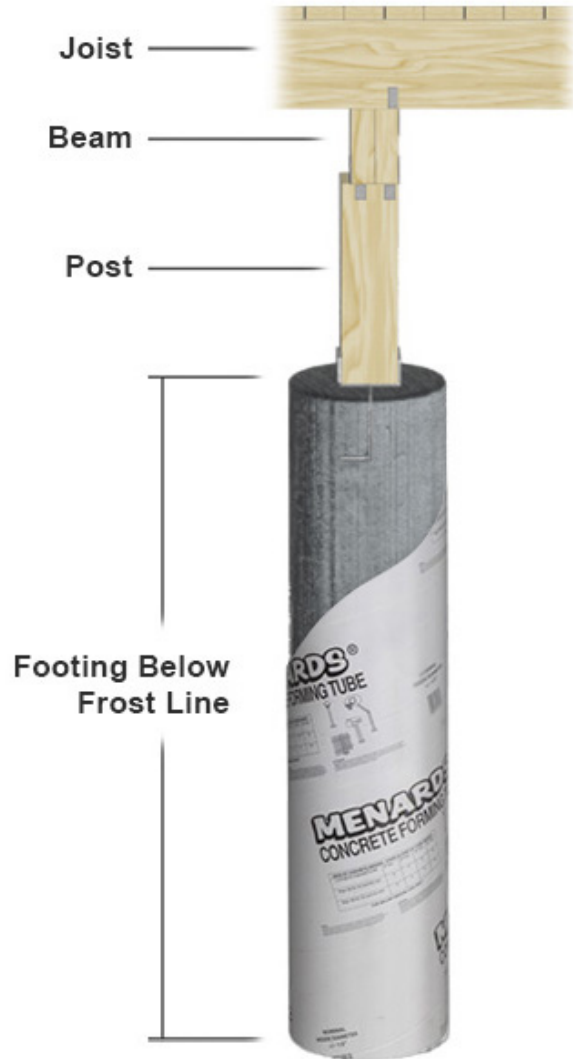
Traditional Railing



Date: 7/03/2025 - 3:43 PM
Design ID: 322658966664
Estimated Price: \$6,302.36

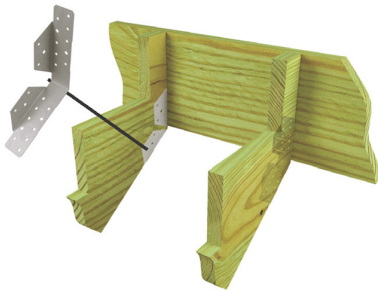
**Today's estimated price. Future pricing may go up or down. Tax, labor, and delivery not included.*

Typical Framing and Footing

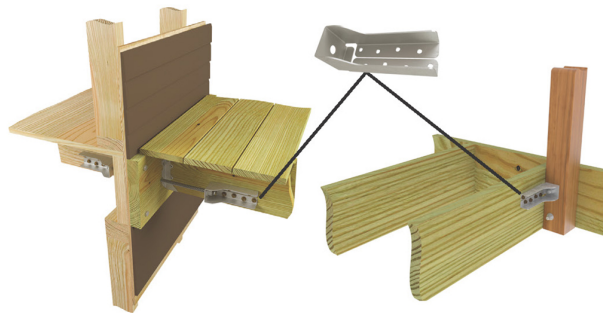




Deck Hardware Installation



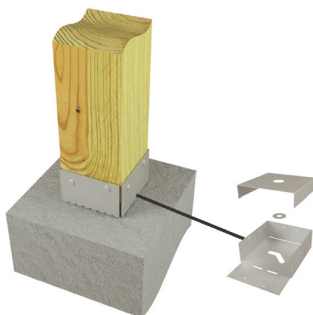
Typical CSH-TZ installation



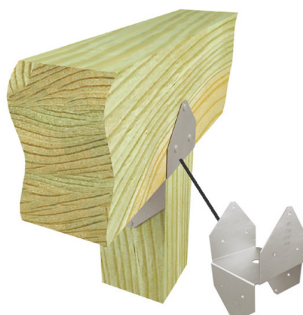
Typical DTB-TZ installations



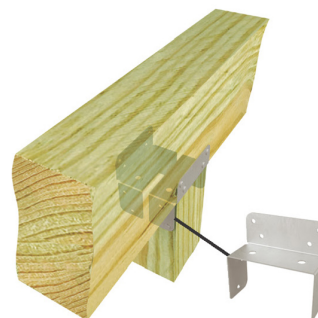
Typical ADTT-TZ installation



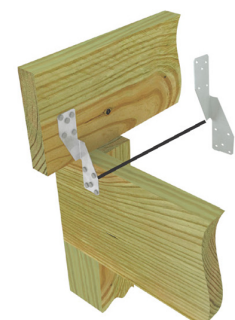
Typical PA-TZ installation



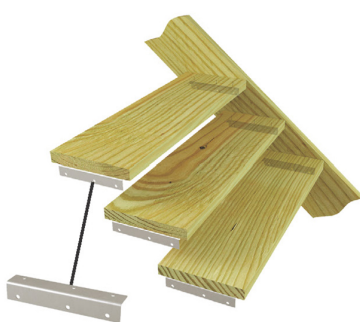
Typical C44-TZ installation



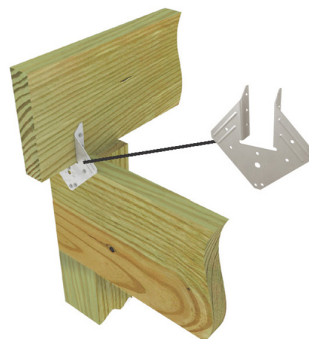
Typical PB44-6TZ installation



Typical RT7A installation



Typical SCA9-TZ installation



Typical RT15-TZ installation

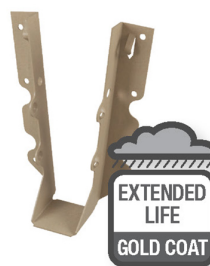
The type and quantity of fasteners used to install MiTek products is critical to connector performance. MiTek has a full range of structurally-rated fasteners for wood frame structures. Hot-dip galvanized, stainless steel, and Gold Coat corrosion resistant finishes are available for exterior applications.



MiTek Deck Hardware is available in Triple Zinc (TZ) and Gold Coat (GC).



TZ galvanizing provides a prefabrication coating of 1.85 (G-185) ounces of zinc per square foot of surface area (both sides) measured in accordance with ASTM A 653. Use with Hot-dip galvanized fasteners.



Gold Coat is a proprietary multi-layer protection system. It is comprised of an organic top coat barrier layer and a zinc layer placed over a steel substrate. Use with Gold Coat or Hot-dip galvanized fasteners.

Customer Service 1-800-328-5934 • MiTek-US.com

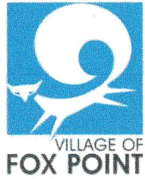


Deck Hardware



Disclaimer: Some of the products displayed are optional and not estimated

Customer Service 1-800-328-5934 • MiTek-US.com



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

SIGN PERMIT

Sign Address 7770 N Port Washington Rd

| | |
|--|---|
| Owner/Occupant | |
| Business Name Azura | Contact Name Mike Lien |
| Address 1233 Mayfair Rd Suite 301 | City/State/Zip Milwaukee, WI 53226 |
| Phone 414-242-9560 | Email mike@azuraliving.com |

Property Owner/Lessee Signature Michael L. Lien **Date** 6-17-2025

| | |
|---|---|
| Contractor | |
| Company Name Elevated Identity Inc | Contact Name Vito Parente |
| Address 12425 Knoll Rd Suite 200 | City/State/Zip Elm Grove, WI 53122 |
| Phone 414-255-6179 | Email vitop@elevatedidentity.com |

| | |
|---------------------|---|
| Type of Sign | |
| Freestanding | Other Face change to existing freestanding sign |
| Awning | Other |
| Wall | Other |

| | |
|--|-------------------------------|
| Sign Size | |
| Dimensions of sign: 2'-8"h x 4'-7"w | Square footage of sign: 12.22 |
| Distance from grade to top of sign: 4' | |

| | |
|---------------------|------------|
| Illumination | |
| Internally | Externally |

| | |
|--------------|--------|
| Sided | |
| Single | Double |

| Description | Rate | Amount |
|--|---------|--|
| Sign double faces sign saying Azura memory care assisted living and address non lit. | \$70.00 | |
| Building Board | \$75.00 | |
| Payable to: Village of Fox Point | | Total Permit Fee \$ <u>145.00</u> |

Applicant Signature Vito Parente **Date** 6-17-25

| | |
|---------------------------------------|-------|
| OFFICE USE ONLY | |
| Approved by Building Inspector: _____ | _____ |
| Signature | Date |

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

Receipt No: 22000135 Jun 23, 2025

AZURA

Previous Balance: .00
LICENSES & PERMITS
SIGN PERMIT 70.00

Total: 70.00

LICENSES & PERMITS
BUILDING PLANS - FILING 75.00
FEE

Total: 75.00

ONLINE - CREDIT CARD 145.00

Payor:
AZURA

Total Applied: 145.00

Change Tendered: .00

06/23/2025 12:35 PM

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217 414-351-8900

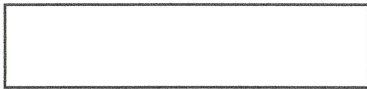
Mike Kinsella

From: Vito Parente
Sent: Wednesday, June 18, 2025 12:27 PM
To: Mike Kinsella
Subject: FW: Azura face change
Attachments: Building Board 0122.pdf

Mike,

Do you have time to go to the village and pay this. Looks like it's close to you. 7200 N Santa Monica Blvd Fox Point, WI 53217 \$145 and deadline is the 27th.

Thank you,

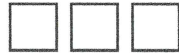


Vito Parente
**Vice President of Operations &
Project Services**

M: [414.255.6179](tel:414.255.6179) **F:** [262.364.2272](tel:262.364.2272)

E: vitop@elevatedidentity.com

W: www.elevatedidentity.com



From: Michael Rakow <mrakow@villageoffoxpoint.com>
Sent: Wednesday, June 18, 2025 10:48 AM
To: Vito Parente <vitop@elevatedidentity.com>
Subject: RE: Azura face change

This will have to go to Building Board. The fee will be \$145.00. Once I receive payment I will put you on the Building Board agenda. Building Board deadline is 6/27/25.

Regards,



Michael Rakow

Building Inspector

Phone: 414-247-6622

Web: www.villageoffoxpoint.com

7200 N Santa Monica Blvd, Fox Point, WI 53217

From: Vito Parente <vitop@elevatedidentity.com>
Sent: Wednesday, June 18, 2025 7:48 AM
To: Michael Rakow <mrakow@villageoffoxpoint.com>
Subject: Azura face change

Good Morning,

We are updating the existing monument face with the new brand. Please see the application for this work and let me know if you need anything else to proceed with reviewing.

Thank you,

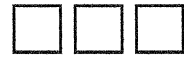


Vito Parente
**Vice President of Operations &
Project Services**

M: [414.255.6179](tel:414.255.6179) **F:** [262.364.2272](tel:262.364.2272)

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AZURA®

MEMORY CARE • ASSISTED LIVING

PROPOSED EXTERIOR SIGNAGE

Fox-Point, WI

Project # 5889 rev.01

Created 05.22.25



D/F PAN OVERLAY

1 - FLAT PANEL

Material: Fabricated Aluminum
Color: Paint to Match PMS 7460c Blue, Satin Finish – ■
Installation: Flush to Both Sides of Existing D/F Panel

2 - GRAPHICS

Material: Vinyl
Color: 3M 7725-20 Matte White – □

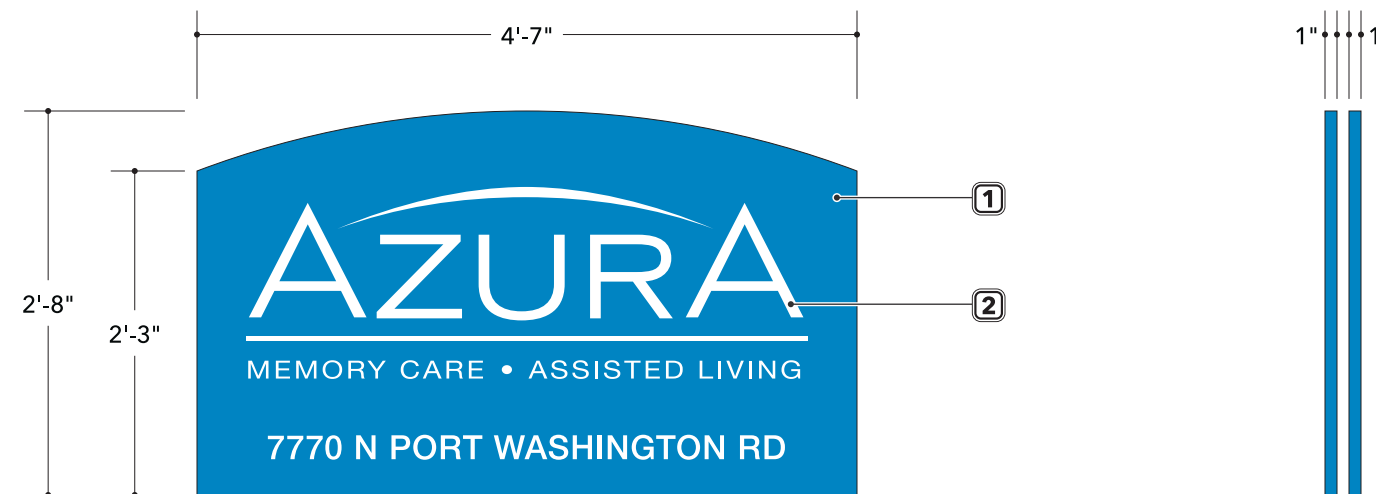
NOTE: SURVEY REQUIRED, ALL DIMENSIONS TO BE VERIFIED



1 Existing D/F Monument



2 Proposed Layout
 OPPOSITE FACE IS IDENTICAL



3 Sign Detail



N Mohawk Rd

W Dunwood Rd

W Dunwood Rd

Existing sign to be refaced

Layers

Google





VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B-_____

| OFFICE USE ONLY |
|-----------------|
| Issued Date |
| Zoning |

BUILDING PERMIT

| | |
|---|--|
| Job Address <u>1045 E. THORNE LANE</u> | Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> |
| Description of Work <u>Pavillion</u> | |
| Estimated Cost of Project \$ | |

| | |
|------------------------------------|---|
| Owner/Occupant <u>Wendy Boast</u> | Contact Name <u>Wendy Boast</u> |
| Business Name | City/State/Zip <u>FOX POINT, WI 53217</u> |
| Address <u>1045 E. THORNE LANE</u> | Email <u>Wendysid@gmail.com</u> |
| Phone <u>414.303.9698</u> | |

****Cautionary Statement required when homeowner is applying for permit****

| | |
|--|--|
| Contractor | |
| Company Name <u>Breckenridge Landscape</u> | Contact Name <u>Cezig Olsen</u> |
| Address <u>11225 W. Bluemound Rd</u> | City/State/Zip <u>Wauwatosa, WI 53226</u> |
| Phone <u>414.315.9717</u> | Email <u>Cezig@BreckenridgeLandscape.com</u> |
| Dwelling Contractor # | Dwelling Contractor Qualifier # |

| Square Footage Under Construction | | | | |
|-----------------------------------|-----------------------|----------|---------------------|--------|
| 1 st Floor | 2 nd Floor | Basement | Addition <u>272</u> | Garage |

| Description | Rate | Amount |
|---|----------------------|----------------|
| Project - Per \$1,000 of estimated cost | \$10.00 | 150- |
| Building Board | \$75.00 | 175- |
| Footing early start - \$230.00 one and two family; \$305.00 commercial | | |
| Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial | | |
| State Seal | \$75.00 | |
| Razing, Interior Demolition \$925.00 max/bld | \$95.00 minimum plus | \$0.13/sqft |
| Moving buildings | \$250.00 plus | \$0.13/sqft |
| Fuel tanks - Per 1,000 gallons | \$25.00 | |
| Re-inspection | \$100.00 | |
| Work started without permit | Double | |
| | Minimum Fee | \$70.00 |
| Payable to: Village of Fox Point | Total Permit Fee | \$ <u>225-</u> |

Applicant Signature

Wendy Boast

Date

6/25/25

Rev 01/22

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd

Fox Point, WI 53217

(414) 247-6622

www.villageoffoxpoint.com

**CAUTIONARY STATEMENT TO OWNERS
OBTAINING BUILDING PERMITS**

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Wendy Bast

Homeowner's Name – PRINTED

1045 E. THORNE LANE

Property Address

Wendy Bast

Homeowner's Signature

4.25.25

Date

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061575

Jun 26, 2025

1045 E THORNE LANE

| | |
|--|--------|
| Previous Balance: | .00 |
| LICENSES & PERMITS - BUILDING PERMIT 24-44460 BUILDING PERMIT | 150.00 |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE 24-44440 BUILDING BOARD - FEE | 75.00 |
| <hr/> | |
| Total: | 225.00 |
| <hr/> | |
| CHECK Check No: 9996 | 225.00 |
| Payor: BRECKENRIDGE LANDSCAPE | |
| Total Applied: | 225.00 |
| <hr/> | |
| Change Tendered: | .00 |
| <hr/> | |

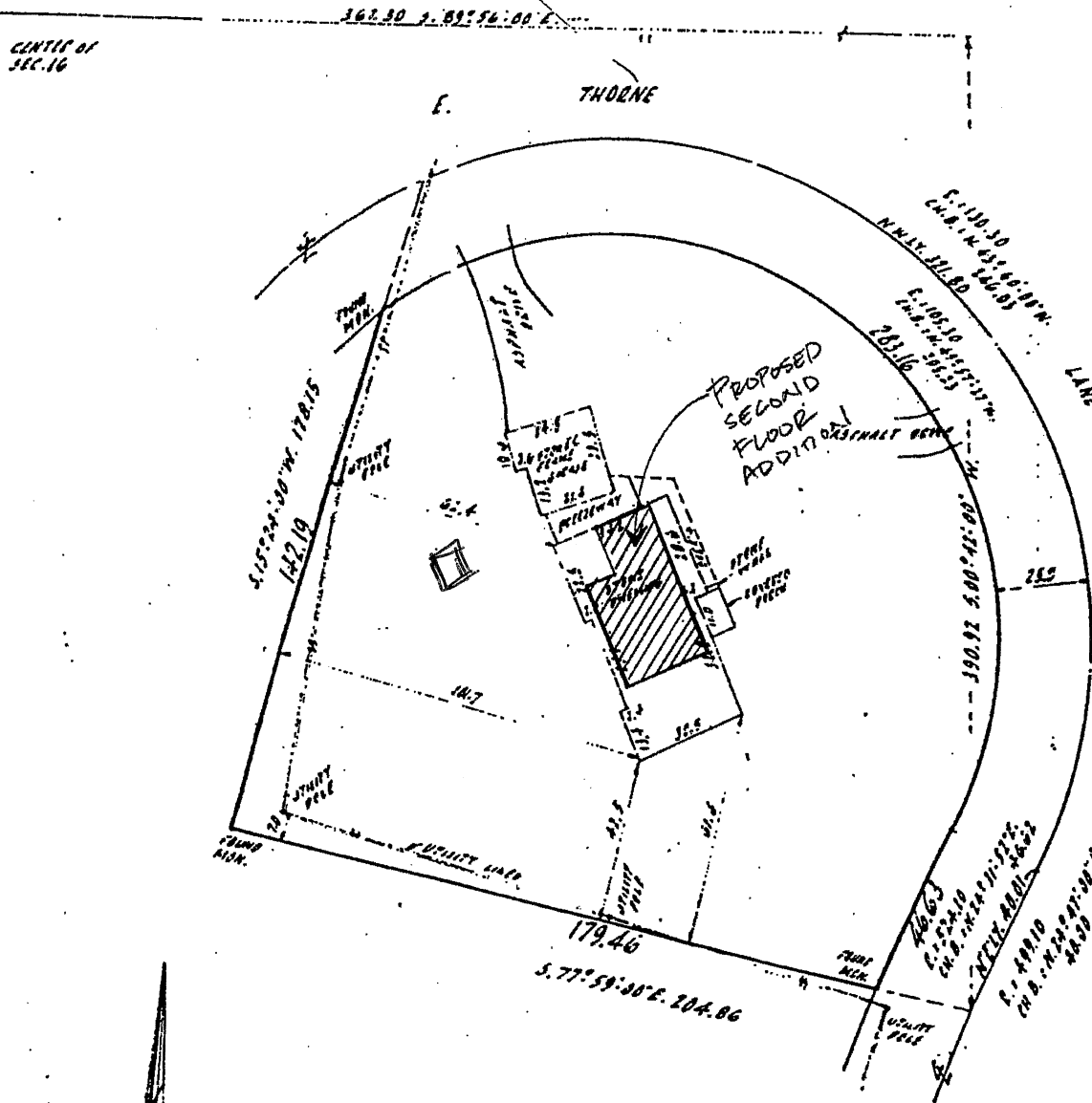
06/26/2025 3:31 PM

KNOWN AS 1045 EAST THORNE LANE, IN THE VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN.
 OF LOT 9 IN THE SE 1/4 OF SECTION 16, T 8 N, R 22 E, IN THE VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN, MORE
 DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT WHICH IS 367.30 FT. SOUTH 89° 56' 00" EAST OF A POINT WHICH IS 390.92 FT. SOUTH 00° 42' 00" WEST ON THE CENTER
 OF SAID SECTION 16;
 THENCE NORTHEASTERLY 40.01 FT. ALONG A CURVED LINE WHOSE CENTER IS TO THE EAST AND WHOSE RADIUS IS 499.10 FT. (THE LONG CHORD OF WHICH
 CURVE BEARS NORTH 24° 47' 00" EAST 40.00 FT.) TO A POINT;
 THENCE NORTHWESTERLY 321.80 FT. ALONG A CURVED LINE WHOSE CENTER IS TO THE SOUTH AND WHOSE RADIUS IS 130.30 FT. (THE LONG CHORD OF WHICH
 CURVE BEARS NORTH 43° 40' 00" WEST 246.03 FT.) TO A POINT, SAID LAST TWO DESCRIBED COURSES BEING ON AND ALONG THE CENTER LINE OF EAST
 THORNE LANE 50.00 FT. IN WIDTH, AND THAT PORTION OF SAID 50.00 FT STRIP LYING WITHIN THE BOUNDARIES OF THE PREMISES HEREIN DESCRIBED;
 THENCE SOUTH 15° 24' 00" WEST 178.15 FT. TO A POINT;
 THENCE SOUTH 77° 59' 00" EAST 204.86 FT. TO THE PLACE OF BEGINNING.

MAY 28, 1986

WAYNE T AND BEVERLY HANSEN

SURVEY NO. 31515-M



SCALE: 1" = 30'

I Certify that I have surveyed the above described property (Property), and the above map is a true representation thereof and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements and roadways and visible encroachments, if any. This survey is made for the exclusive use of the present owners of the Property, and of those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.



national survey engineering

3478 north 127th street • a box 644 • brookfield, wisconsin, 53005 • phone 614 / 781 7900

Handwritten signature: *Kenneth E. ...*
 KENNETH E. ...
 LAND SURVEYOR



BAST RESIDENCE
1045 E. THORN DRIVE
FOX POINT, WI 53217

SCALE: 1/8" = 1'0"
DATE: APRIL 2025
DESIGNER: C. OLSEN



OUTCROPPING

PLANTING BED

EXISTING TREES

FIREPIT

SEATING AREA

ORNAMENTAL SCREEN

TURF

IRREGULAR STEPPER PATH

BIRDBATH/ART

PLANTING AREA

STRUCTURE
CASUAL SEATING

STEPPER PATH
IN STONE

ART

BEER GARDEN

PLANTING AREA
STONE DETAIL

GRILL

WALKWAY

S

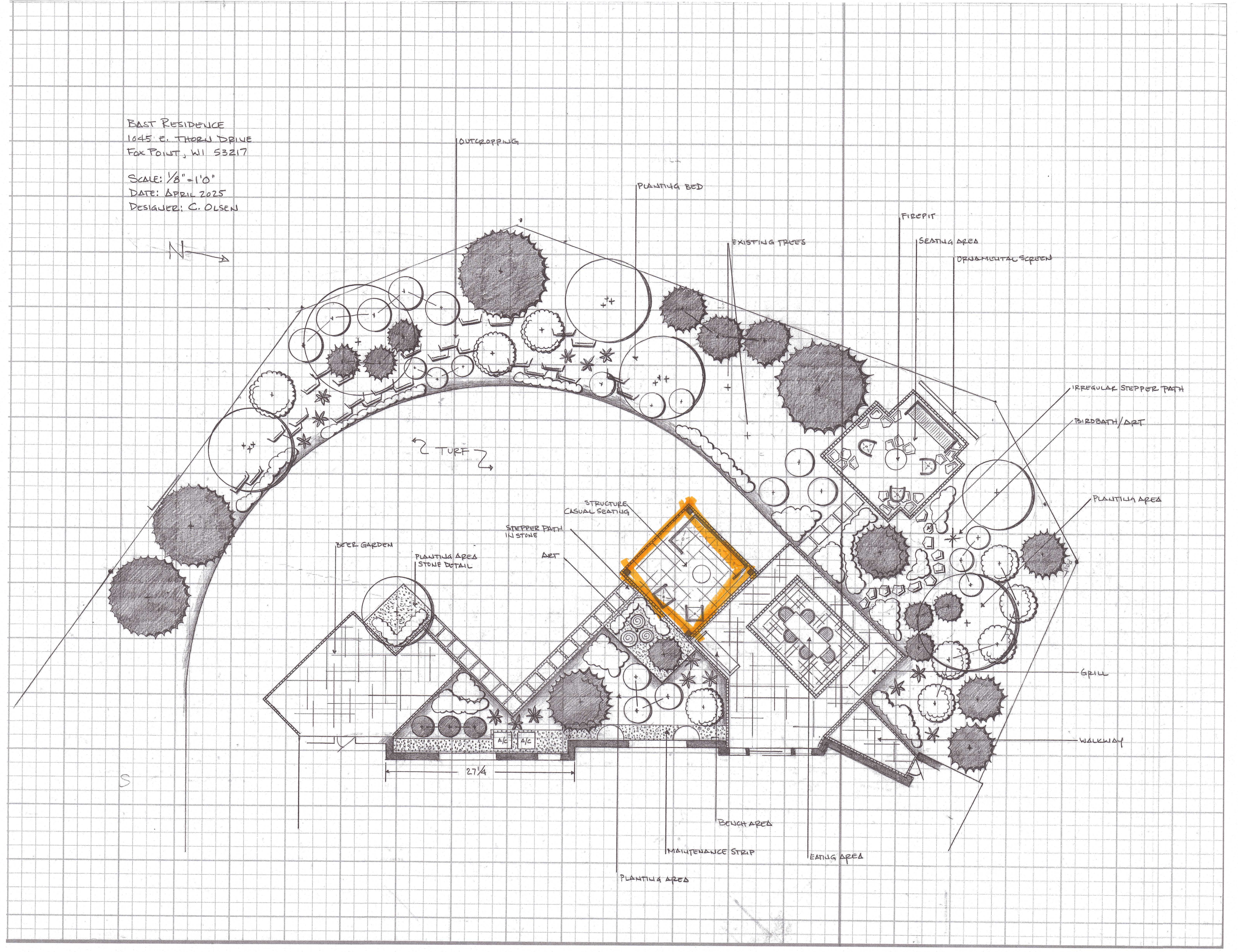
27 1/4

BENCH AREA

MAINTENANCE STRIP

EATING AREA

PLANTING AREA





DRAWN BY
CAO
DESCRIPTION
PATIO PLAN

Scale: N.T.S
Date: 6/17/2025

BAST RESIDENCE
1045 E. THORNE LN
FOX POINT WI 53217

Breckenridge
Landscape
Design, Construction & Maintenance, LLC
TM







DRAWN BY
CAO
DESCRIPTION
PATIO PLAN

Scale: N.T.S
Date: 6/17/2025

BAST RESIDENCE
1045 E. THORNE LN
FOX POINT WI 53217

Breckenridge
Landscape
Design, Construction & Maintenance, LLC
TM



Roof Structure:

- 8x8 treated posts Wrapped in 3/4" LP
- Posts set in 20" sono Tube or Diamond Pier System
- 2x12 LVL beams
- 2x10 construction-grade pine rafters
- Tongue and groove ceiling
- 1x8 LP trim
- 1x12 LP fascia and post wrap
- OSB plywood
- Owens Corning Shingle Rook or
- Optional Metal roof with accessories and gutters
- Overall size: 14' x 15' with soffit and overhang, total footprint 16' x 17'

Top of Post Height 10'













→ pavilion
concept