

NOTICE OF MEETING  
VILLAGE OF FOX POINT  
BUILDING BOARD

Schwemer Hall  
7200 North Santa Monica Blvd.  
Fox Point, WI 53217

Wednesday  
August 13, 2024  
5:00 P.M.

**Join Zoom Meeting**

<https://us02web.zoom.us/j/81796805165>

**Meeting ID: 817 9680 5165**

**Dial by your location: 312.626.6799**

**AGENDA**

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the July 10, 2024 Building Board meeting.
3. [REDACTED], 1518 E Goodrich Ln, proposed bedroom & bathroom addition to 2<sup>nd</sup> floor.
4. Philip Lator, 7950 N Port Wash Rd, proposed sign.
5. Jaun Carlos Chang Shik, 803 E Bradley Rd, proposed roof mounted solar.
6. Susan LaBudde, 7439 N Fairchild Rd, proposed roof mounted solar.
7. David Sadoff, 7855 N Club Cir, proposed awning.
8. Greg Kauffmann, 8244 N Gray Log Ln, proposed window assemblies.
9. Elizabeth Casmer, 8566 N Regent Rd, proposed garage addition.
10. Adjourn.

Posted and published August 9, 2024 10:30 AM

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT  
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, July 10, 2024, at 5:00 pm. Those present included:

Justin Racinowski  
William Feldman-Absent  
Sharon Celek  
Lucille Sells  
Brian Tobiczky-Absent  
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

**MINUTES**

Motion was made by Lucille Sells to approve the minutes of June 12, 2024. Motion was seconded by Sharon Celek. Motion Caried.

**AGENDA**

1. **Stephen Henke, 7922 N Port Wash Rd, proposed sign.** It was the consensus of the Building Board to approve subject to background to be black with white lettering. Use logo lockup and center on sign, don't adjust lettering spacing. Use page 13 example in agenda packet with 12" letter height and logo may be larger. Resubmit copy to Building Inspector.
2. **Philip Lator, 7950 N Port Wash Rd, proposed sign.** It was the consensus of the Building Board to approve as submitted.
3. **Gary Rosenthal, 310 E Daphne Rd, proposed screen room.** It was the consensus of the Building Board to approve as submitted.
4. **Stasha Wuest, 8323 N Santa Monica Blvd, proposed window relocation.** It was the consensus of the Building Board to approve as submitted.
5. **Andrew Weber, 355 W Dean Rd, proposed new awning roof to replace balcony.** It was the consensus of the Building Board to approve as submitted.
6. **Thi Nguyen, 432 E Fox Dale Ct, proposed single family home.** It was the consensus of the Building Board to approve as submitted.
7. **Gerry Timms, 1000 E Bradley Rd, proposed single family home.** Building Board voted 2 to 1 with Sharon Celek voting nay.

**ADJOURN**

Motion to adjourn Building Board was made by Sharon Celek. Motion seconded by Lucille Sells. Motion Caried. Building Board adjourned at 6:28 pm.

Respectfully Submitted,



Michael Rakow  
Building Inspector  
Village of Fox Point



VILLAGE OF FOX POINT  
 7200 N Santa Monica Blvd  
 Fox Point, WI 53217  
 (414) 247-6622  
 www.villageoffoxpoint.com

Permit Number:

B-\_\_\_\_\_

OFFICE USE ONLY
Issued Date
Zoning

### BUILDING PERMIT

Job Address <u>1518 GOODRICH LANE</u>	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work <u>Bedroom + bathroom addition to 2nd floor</u>	
Estimated Cost of Project \$ <u>200,000</u>	

Owner/Occupant [REDACTED]	Contact Name [REDACTED]
Business Name	City/State/Zip <u>FOX POINT</u>
Address <u>1518 GOODRICH LN.</u>	Email
Phone [REDACTED]	

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

<b>Contractor</b>	
Company Name <u>NICHOLAS CAEL DESIGN</u>	Contact Name <u>NICK KONZAL</u>
Address <u>7031 S + JAMES ST</u>	City/State/Zip <u>WAUWATOSA, 53213</u>
Phone <u>414.510.3449</u>	Email <u>nick@nicholascael.com</u>
Dwelling Contractor # <u>042200403</u>	Dwelling Contractor Qualifier # <u>062200747</u>

Square Footage Under Construction				
1st Floor	2nd Floor	Basement	Addition <u>400</u>	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	<u>2000</u>
Building Board	\$75.00	<u>75</u>
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	<b>Minimum Fee</b>	<b>\$70.00</b>
Payable to: Village of Fox Point	<b>Total Permit Fee</b>	<b>\$</b>

Applicant Signature [Signature] Date 4/18/24

**ISSUED PERMITS** are available on the Village website under **PERMITS & LICENSES**



**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 247-6622  
www.villageoffoxpoint.com

**CAUTIONARY STATEMENT TO OWNERS  
OBTAINING BUILDING PERMITS**

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

**Wetlands Notice to Permit Applicants**

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

**Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil**

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

[Redacted Name]

1518 E. Goodrich Lane

Homeowner's Name – PRINTED

Property Address

DocuSigned by:

[Redacted Signature]

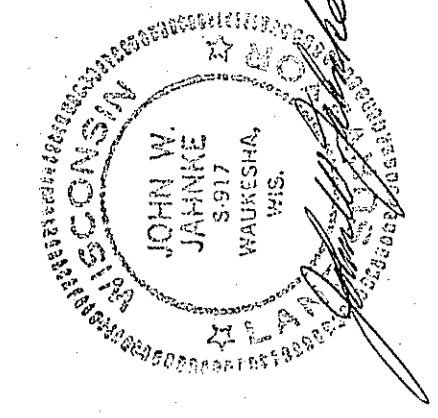
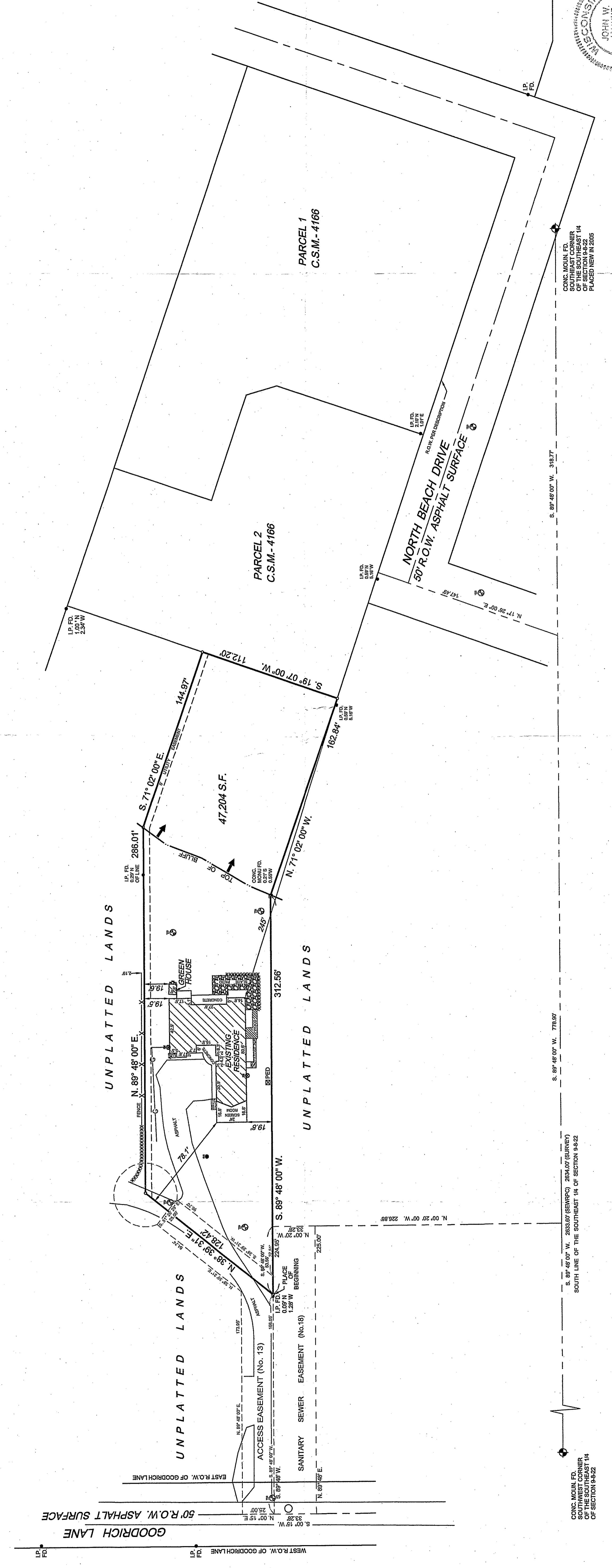
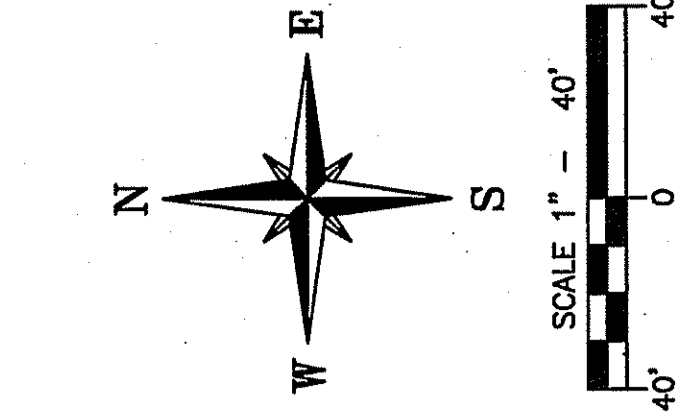
6/18/2024

07f28f8c74004a2...

Homeowner's Signature

Date

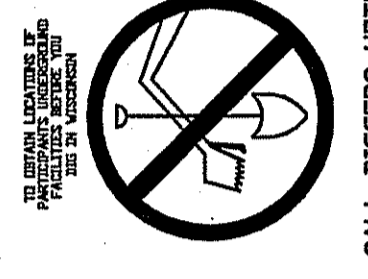
FOR: ROBERT K. GARDINER & ELLEN R. GARDINER & EXPRESS TITLE INC.  
 LEGAL DESCRIPTION: That part of the SE 1/4 of Section 9, T8N, R22E, in the Village of Fox Point, Milwaukee County, Wisconsin, which is bounded and described as follows:  
 Commencing at a point marked by a stone monument which is 778.80 feet South 89°48'00" West of and 226.86 feet North 00°20' West of the Southeast corner of the SE 1/4 of Section 9; thence South 89°48'00" West 53.55 feet to the point of beginning of the land herein to be described; running thence North 38°39'31" East 128.42 feet to a point; thence North 89°48'00" East 286.01 feet to a point; thence South 71°02'00" East 144.97 feet to a point; thence South 19°07'00" West 112.20 feet to a point; thence North 71°02'00" West 162.84 feet to a point; thence South 89°48'00" West 312.56 feet to the point of beginning.  
 REFERENCE BEARING: South line of Southeast 1/4 of Section 9-8-22 described as S89°48'W per legal description.



THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND STRUCTURES AND UTILITIES IS TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.

**PLAT SURVEY**  
 RE: ROBERT K. GARDINER & ELLEN R. GARDINER  
 PART OF THE SOUTHEAST 1/4 OF SEC. 9, T.8N., R.22E.  
 VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN  
**JAHNKE & JAHNKE ASSOCIATES INC.**  
 PLANNERS & PROFESSIONAL ENGINEERS  
 7111 W. MORELAND BLVD.-WALKESHA, WI 53188  
 TEL. No. (262) 542-5797 FAX (262) 542-7688  
 SCALE: 1"=40'  
 DRAWN BY: P.M.  
 CHECKED BY: J.W.J.  
 DATE: OCTOBER 22, 2007  
 BLOCK NO.: MILWAUKEE87 PG 15 JOB: 82-2601 FILE NO.: MILWAUKEE-800 SHEET OF

**SURVEY CERTIFICATE:** I have surveyed the above described property and the map shown is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements and roadways and visible encroachments if any. This survey is made for the exclusive use of the present owners of the property and also those who purchase or guarantee the title thereto within one (1) year from date hereof and as to them I warrant the accuracy of said survey and map.

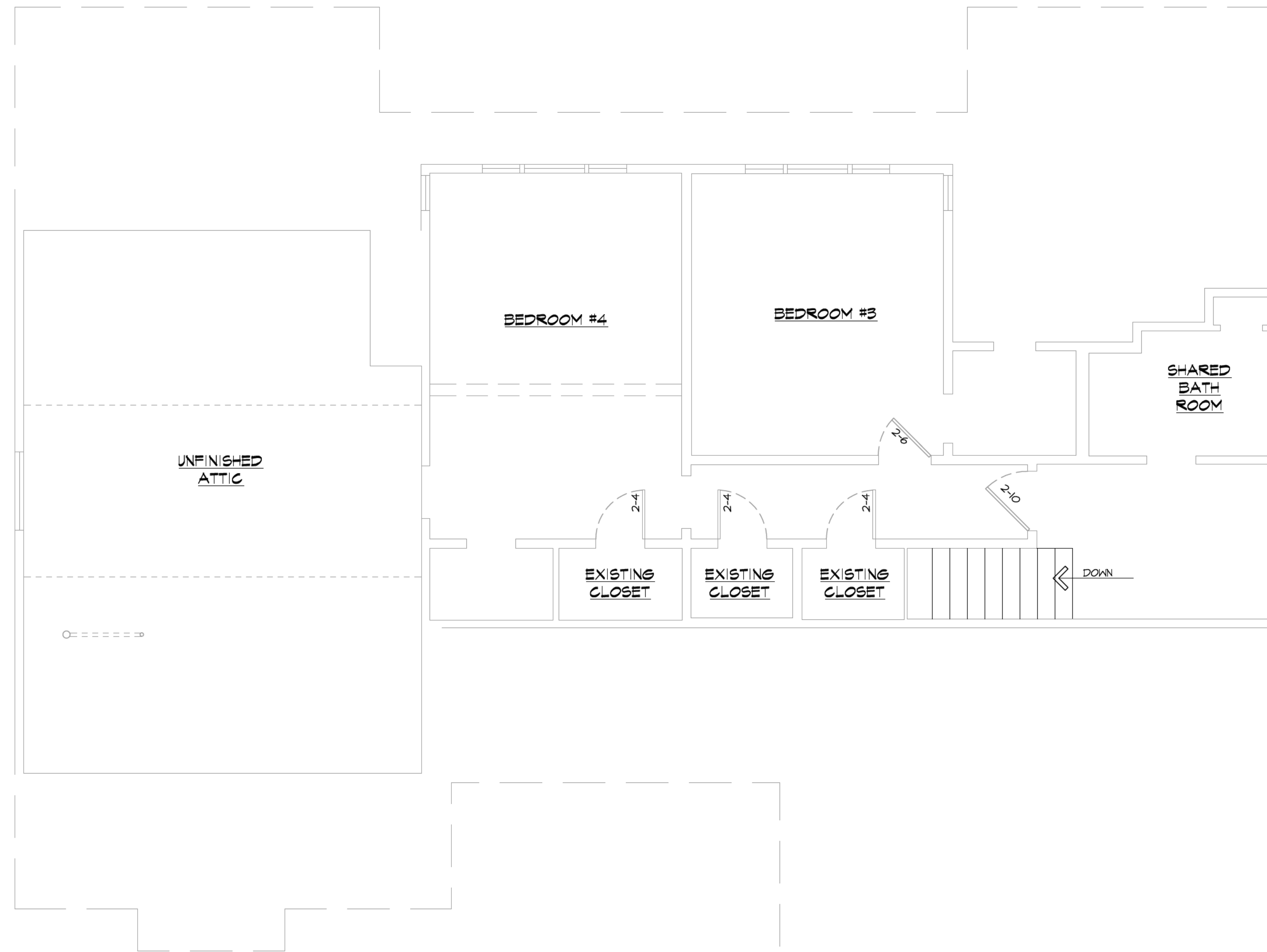


NOTE: The location and size of the underground structures and utilities shown on this drawing are based on the information provided to the Engineer and Surveyor by the contractor. The Engineer and Surveyor does not guarantee their exact location or depth. The location of pipes not shown. Contact Diggers Hitline, Inc., Etc.

*John W. Jahnke*  
 JOHN W. JAHNKE - ME, Reg. No. S-917  
 Executed this 24th day of October, 2007  
 Revised this 14th day of November, 2007



1 EXISTING WEST ELEVATION  
1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN  
1/4" = 1'-0"

REVISIONS:

6-19-24	DESIGN REV. JGB

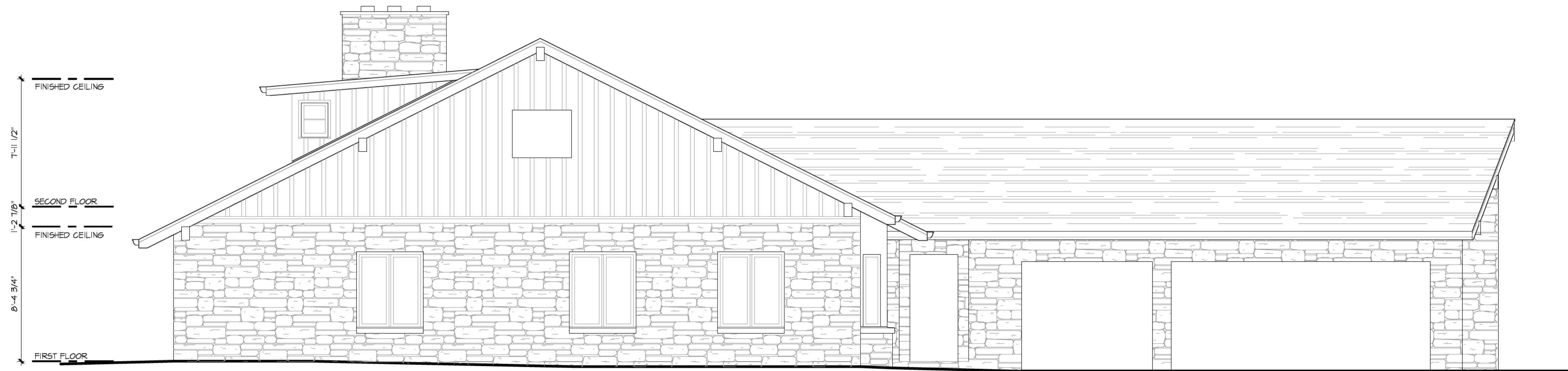
**TABLESON ADDITION**

1518 GOODRICH LANE  
FOX POINT, WI 53217  
SHEET TITLE:  
**EXISTING SECOND FLOOR PLAN**

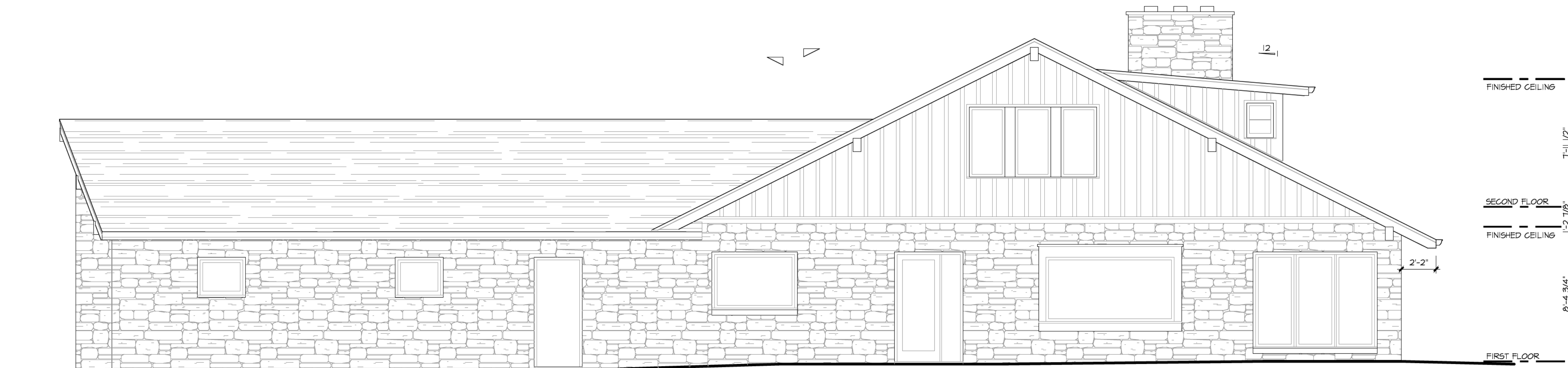
**EX-1**



3 EXISTING EAST ELEVATION  
1/4" = 1'-0"



3 EXISTING NORTH ELEVATION  
1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION  
1/4" = 1'-0"

REVISIONS:

6-19-24	DESIGN REV. JGB

**TABLESON ADDITION**

1518 GOODRICH LANE  
FOX POINT, WI 53217

**EXISTING EAST, NORTH, AND SOUTH ELEVATIONS**

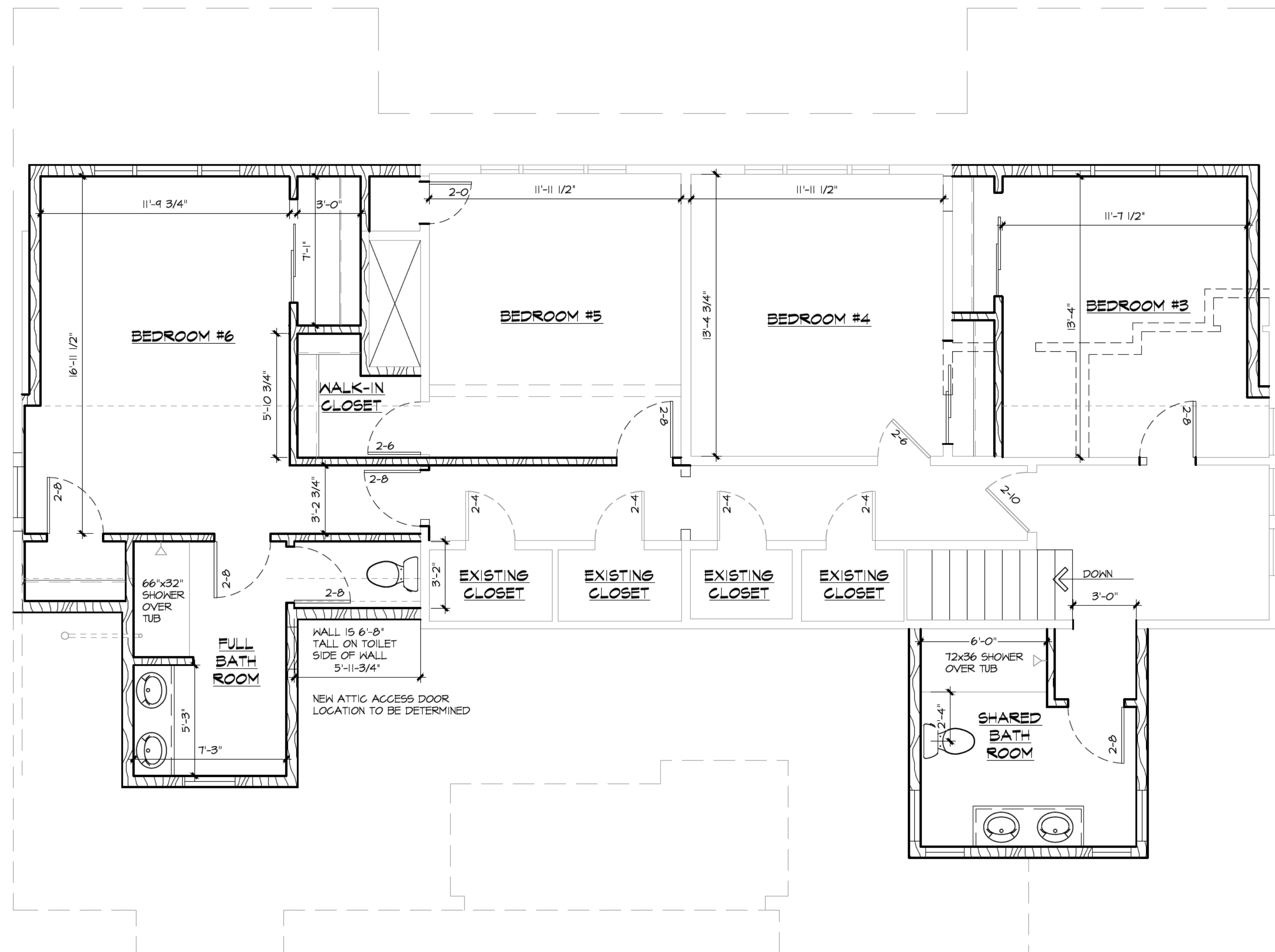
**EX-2**

DATE: 5/20/25

PROJECT NUMBER: 24-212



1 WEST ELEVATION  
1/4" = 1'-0"



2 PROPOSED FLOOR PLAN  
1/4" = 1'-0"

REVISIONS:  
6-19-24 DESIGN REV. JGB

**TABLESON ADDITION**

1518 GOODRICH LANE  
FOX POINT, WI 53217

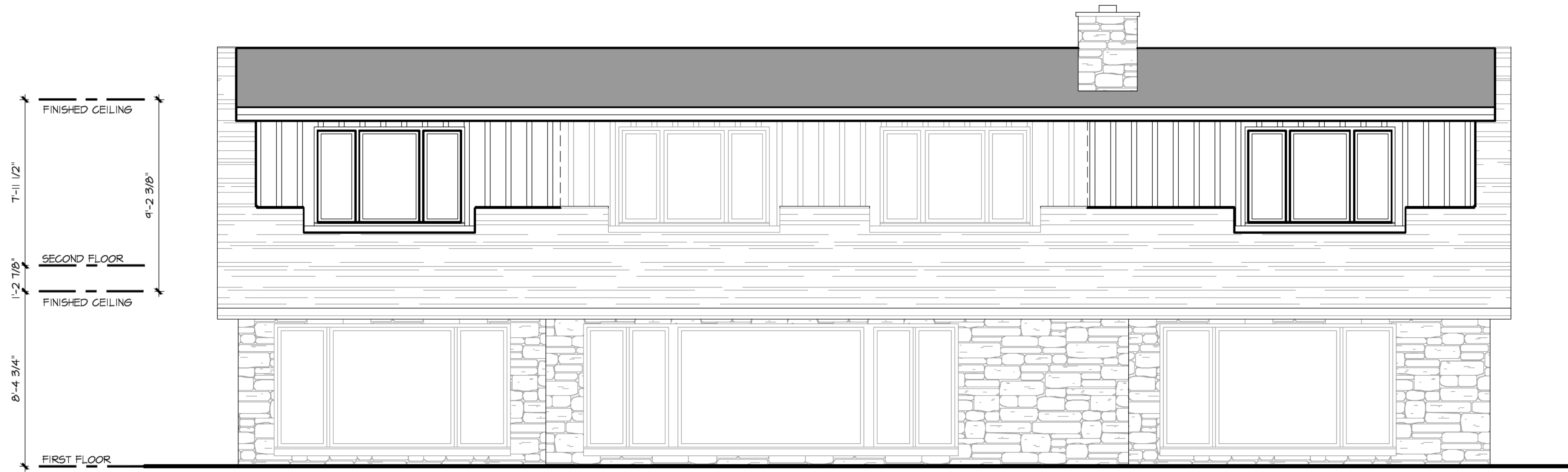
SHEET TITLE:

**PROPOSED WEST ELEVATION AND SECOND FLOOR PLAN**

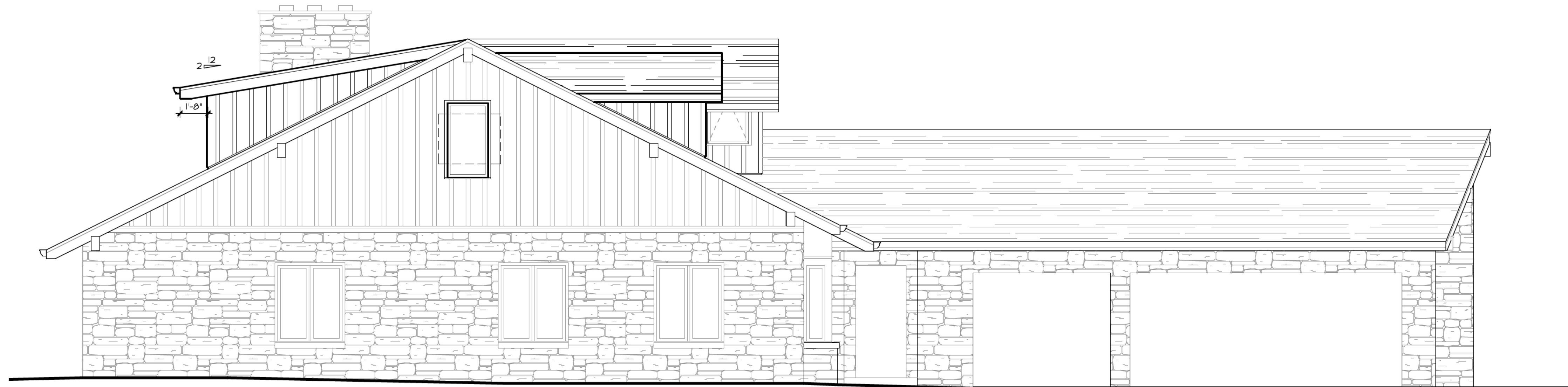
**A-1**

DATE: 5/20/25

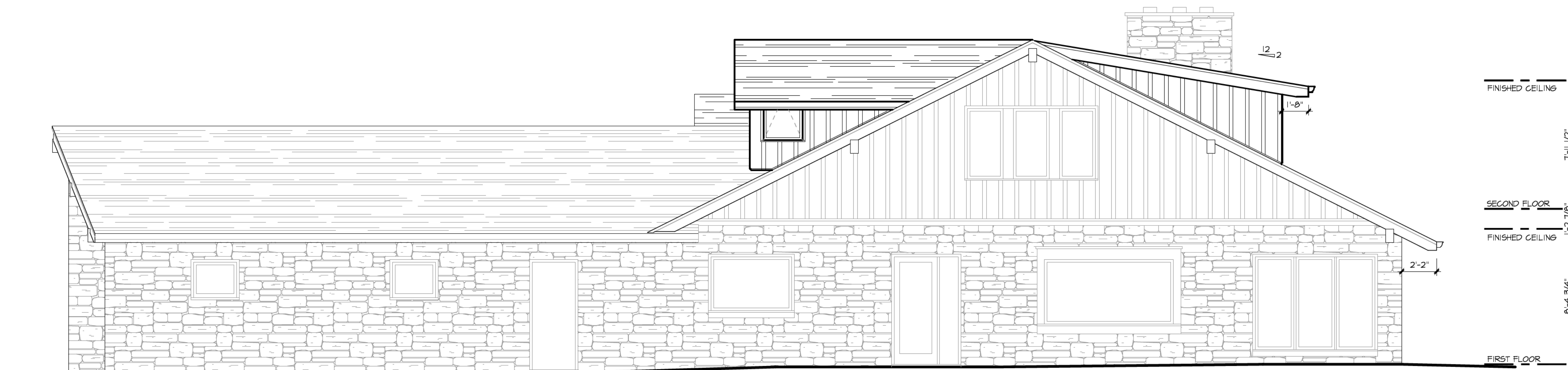
PROJECT NUMBER: 24-212



1 EAST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"



3 SOUTH ELEVATION  
1/4" = 1'-0"

REVISIONS:  
6-19-24 DESIGN REV. JGB

**TABLESON ADDITION**

1518 GOODRICH LANE  
FOX POINT, WI 53217

SHEET TITLE:

**PROPOSED NORTH, EAST, AND SOUTH ELEVATIONS**

**A-2**

DATE: 5/20/24

PROJECT NUMBER: 24-212







1518





VILLAGE OF FOX POINT  
 7200 N Santa Monica Blvd  
 Fox Point, WI 53217  
 (414) 247-6622  
 www.villageoffoxpoint.com

## SIGN PERMIT

**Sign Address** \_\_\_\_\_

Owner/Occupant			
Business Name	Park Pet Hospital	Contact Name	Philip Lator
Address	7950 N Port Washington Rd.	City/State/Zip	Fox Point, WI 53217
Phone	312-436-1176	Email	plator@brplp.com

Property Owner/Lessee Signature Philip Lator Date 7/10/24

Contractor			
Company Name	QSC Design Inc	Contact Name	Ryan Staniszeski
Address	230 E. Broadway St.	City/State/Zip	Bradley, IL 60915
Phone	773-426-4063	Email	ryan@qscdesign.com

Type of Sign	
Freestanding	Other
Awning	Other
Wall	Other

Sign Size	
Dimensions of sign: 8'x10'	Square footage of sign: 80
Distance from grade to top of sign: 12'	

Illumination	
Internally	Externally

Sided	
Single	Double

Description	Rate	Amount
Sign	\$70.00	\$70.00
Building Board	\$75.00	\$75.00
Payable to: Village of Fox Point		<b>Total Permit Fee \$ \$145.00</b>

Applicant Signature [Signature] Date 7/10/24

OFFICE USE ONLY	
Approved by Building Inspector: _____	Signature _____ Date _____

Rev 01/22

**ISSUED PERMITS are available on the Village website under PERMITS & LICENSES**

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 1.060537

Jul 19, 2024

7950 N PORT WASHINGTON RD

Previous Balance:	.00
LICENSES & PERMITS - SIGN PERMIT PARK PET HOSPITAL	145.00
10-44535 SIGN PERMIT	

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Total:	145.00
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CHECK	Check No: 1837	145.00
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Payor: QUALITY SIGN COMPANY LLC

---

Total Applied:	145.00
----------------	--------

---

Change Tendered:	.00
------------------	-----

07/19/2024 8:45 AM



19355 Janacek Ct Ste 201, Brookfield, WI 53045  
262.787.8000 Fax 262.787.8040  
www.badgerlightingandsigns.com

## Uniform Sign Format

Fox Point Medical Center  
7950 N Port Washington Road  
Fox Point, WI

12/09/10

We hereby submit the following sign format specifications for your approval:

1. **Building mounted tenant signage**
  - A. To be internally illuminated face lit channel letters and logo
  - B. Letters and logo to be 5" deep mounted on raceways 5" deep x 7" High. Raceway color to match building (Sherwin Williams SW6126 Navajo White) with the exception of the center tenant where raceway color is to match Sherwin Williams (SW6341 Red Cent).
  - C. Letter faces are to be white plexi #7328 or equipment with trim cap to be 3/4" Gemini 313 Duranodic Bronze or equivalent. Returns are to be Dark Bronze, similar to trim cap color.
  - D. Lighting is to be white LED.
  - E. Logo colors can represent company colors where requested
  - F. Letter height to be 16" with logo proportionate, but not to exceed 24" in height.
2. **Main ID Ground Sign (Monument Sign)**

To utilize existing sign (see photo)

  - A. Sign is an externally illuminated, double sided, with ground lighting.
  - B. Sign has aluminum faces with stud mounted aluminum letters for the address and center name.
  - B. Tenant name panels are changeable aluminum with tenant names in vinyl. The sign is supported by two brick masonry pillars.
  - C. Size of sign face is 92" wide X 47.5 " in height. Sign is 72" above grade at highest point. Over-all width of sign is 124" (10' 4") including pillars.

Respectfully,

Fred Zabel  
Senior Account Executive

PARK PET HOSPITAL - BUILDING SIGN

# ParkPet HOSPITAL



RYAN STANISZEKI Partner  
ryanstatedesign.com | 773.462.0443  
OSCO SIGN

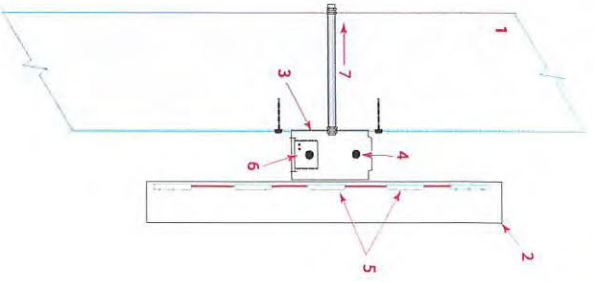
Park Pet Hospital  
7950 N. Port Washington Rd.  
Fox Point, WI 53217

May 20, 2024

**PLEASE CHECK YOUR ART CAREFULLY.**

Park Pet Hospital - 7950 N Port Washington Rd. Fox Point, WI

**New Channel Letter Sign on Raceway -**



**SIDE VIEW**

- 1. building
- 2. channel letter
- 3. raceway
- 4. photo control
- 5. LED modules
- 6. power supply
- 7. out to power

- custom built front lit channel letters
- 3" deep aluminum letter cans
- enamel finish dark blue
- white acrylic faces with dark blue trim
- dark and light blue translucent decal overlay
- installed onto 6" raceway
- raceway enamel finished to match building color
- wired with cut off and photo control
- connected to existing sign feed



Raceway, painted to match building color

**RYAN STANISZEK Partner**  
 ryan@qcdesign.com | 773.424.0443



220 E. Brookway - Brookley, IL 60915  
 (815) 319-9111, 319-100-1000, AZ 85582

Please check your art carefully and advise OSC Design Inc. or Quality Sign Company LLC. of any needed graphic changes to this rendering.

Your signature acknowledges responsibility for verifying and confirming that the dimensions on this rendering or proof are correct for the graphic's intended use. The artwork has been prepared exclusively for you and may not be reproduced without written approval from OSC Design Inc or Quality Sign Company LLC. All artwork remains the property of OSC Design Inc. and Quality Sign Company LLC. until customer purchases its intended products.

Due to variance in individual monitor and personal printer settings, colors in this document are representative only.



SW6126  
Navajo white



Pantone 287c

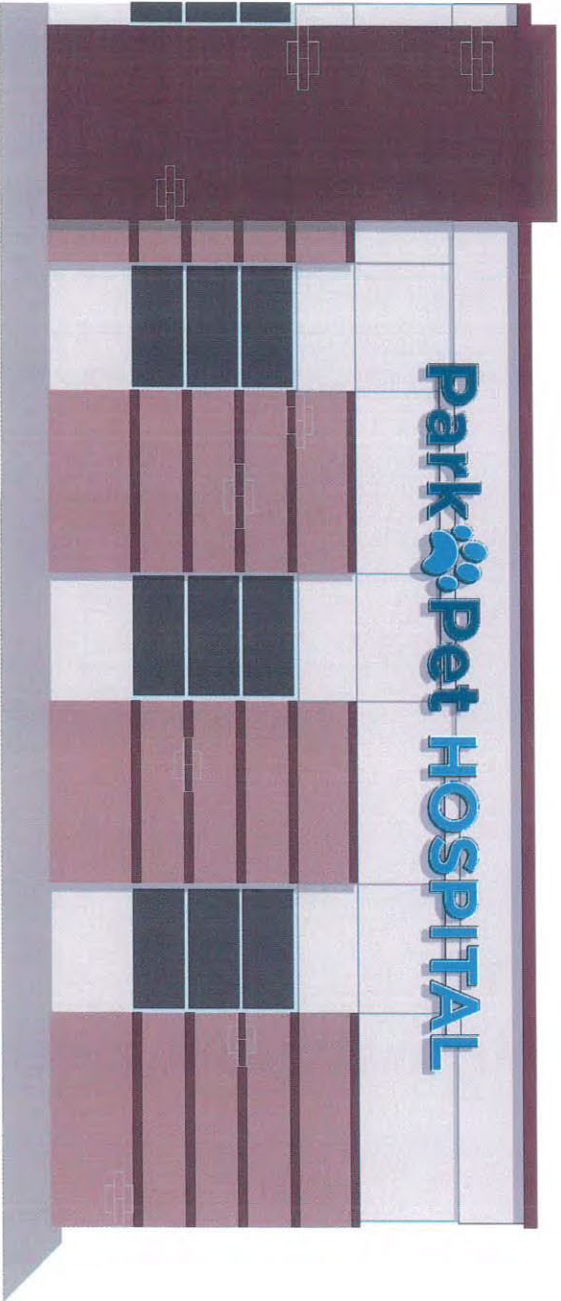


Pantone 7699c

# PLEASE CHECK YOUR ART CAREFULLY.

Park Pet Hospital - 7950 N Port Washington Rd. Fox Point, WI

## Elevation Rendering



162"  
140"

RYAN STANKUSZKO Partner  
ryan@qcsdesign.com | 773.426.0463



2391 E. Brookhollow - Brookfield, IL 60115  
11111 North 1st - Suite 103 - Tempe, AZ 85282

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**PLEASE CHECK YOUR ART CAREFULLY.**

Park Pet Hospital - 7950 N Port Washington Rd. Fox Point, WI

**Existing Photo of Building**



**RYAN STAUNTSKI Partner**  
ryan@qscdesign.com | 773.424.0463

**Quality SIGN COMPANY**

187th St., 209 E. Broadway, Brooklyn, IL 60015  
Minimum 1' (31.75") W. 25" (63.5") H. 103" - 169" (2615.5 - 4293) W.

Please check your art carefully and advise QSC Design Inc. or Quality Sign Company LLC. of any needed graphic changes to this rendering.

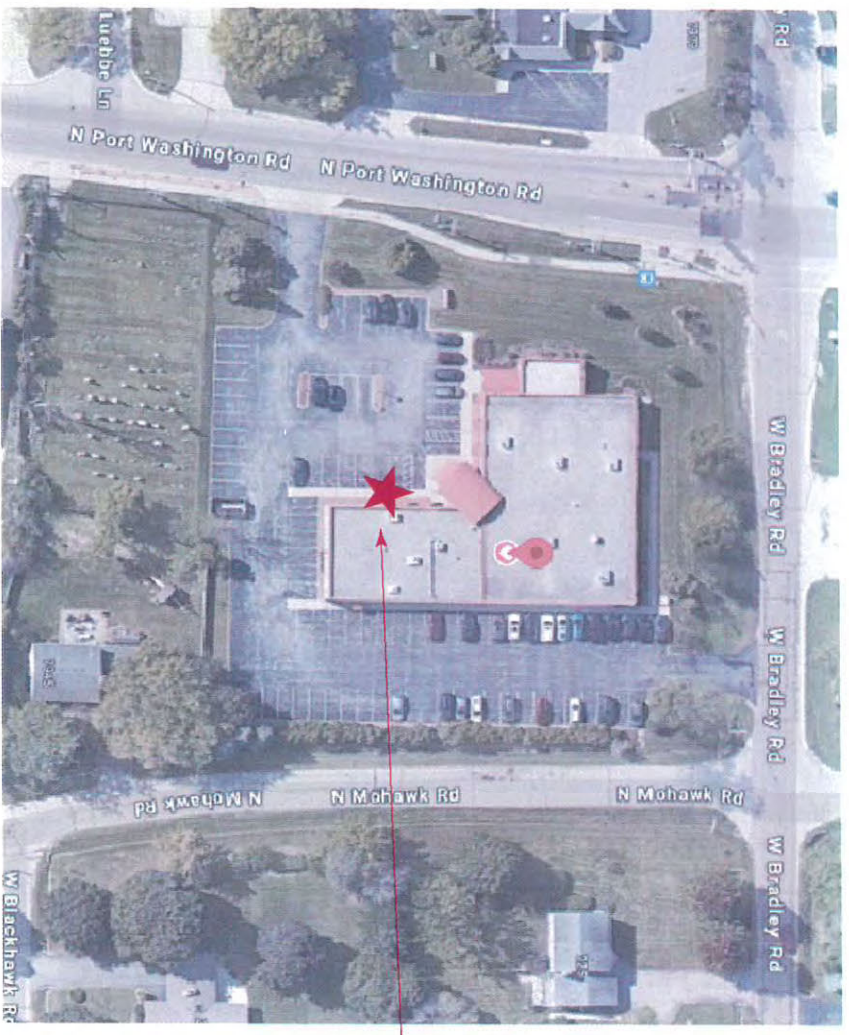
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Due to variance in individual monitor and personal printer settings, colors in this document are representations only.

**PLEASE CHECK YOUR ART CAREFULLY.**

**Park Pet Hospital - 7950 N Port Washington Rd. Fox Point, WI**

**Sign Location**



sign location

**RYAN STANISZKI** Partner  
ryan@oscsg.com | 734.424.4433

**OSC SIGN** QUALITY SIGN COMPANY

Address: 230 E. Brookshire, Brookfield, IL 60015  
Telephone: 815 W. 23rd St., Suite 1103 - Terrace, AZ 85792

Please check your art carefully and advise OSC Design Inc. or Quality Sign Company LLC, of any needed graphic changes to this rendering.

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## Uniform Sign Format

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7950 N Port Washington Road  
Fox Point, WI

12/09/10

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- E. Logo colors can represent company colors where requested
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### 2. **Main ID Ground Sign (Monument Sign)**

To utilize existing sign (see photo)

- A. Sign is an externally illuminated, double sided, with ground lighting.
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Respectfully,

Fred Zabel  
Senior Account Executive



**VILLAGE OF FOX POINT**  
 7200 N Santa Monica Blvd  
 Fox Point, WI 53217  
 (414) 247-6622  
 www.villageoffoxpoint.com

**Permit Number:**

**B-**\_\_\_\_\_

OFFICE USE ONLY
Issued Date
Zoning

**BUILDING PERMIT**

<b>Job Address</b> 803 East Bradley Road, Fox Point, WI 53217	<b>Building Type:</b> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
<b>Description of Work</b>	
Upgrade service to 200A. New main panel in basement. 5.99kWac solar array roof mounted.	
<b>Estimated Cost of Project \$13,380</b>	

<b>Owner/Occupant</b> Juan Carlos Chang Shik	
<b>Business Name</b>	<b>Contact Name</b> Juan Carlos Chang Shik
<b>Address</b> 803 East Bradley Road	<b>City/State/Zip</b> Fox Point, WI 53217
<b>Phone</b> (414) 339-3555	<b>Email</b>

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

<b>Contractor</b>	
<b>Company Name</b> Arch Solar	<b>Contact Name</b> Dani Beierschmitt
<b>Address</b> 1237 N Pilgrim Rd	<b>City/State/Zip</b> Plymouth, WI 53073
<b>Phone</b> 608-225-0173	<b>Email</b>
<b>Dwelling Contractor #DC</b> 072-200-761	<b>Dwelling Contractor Qualifier #DCQ</b> 122-201-337

Square Footage Under Construction				
1 <sup>st</sup> Floor	2 <sup>nd</sup> Floor Roof - 395	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	133.80
Building Board	\$75.00	75
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	<b>Minimum Fee</b>	<b>\$70.00</b>
Payable to: Village of Fox Point	<b>Total Permit Fee</b>	<b>\$208.80</b>

**Applicant Signature** Dani Beierschmitt **Date** 7/8/2024

Rev 01/22

**ISSUED PERMITS are available on the Village website under PERMITS & LICENSES**

**Equipment Location:**

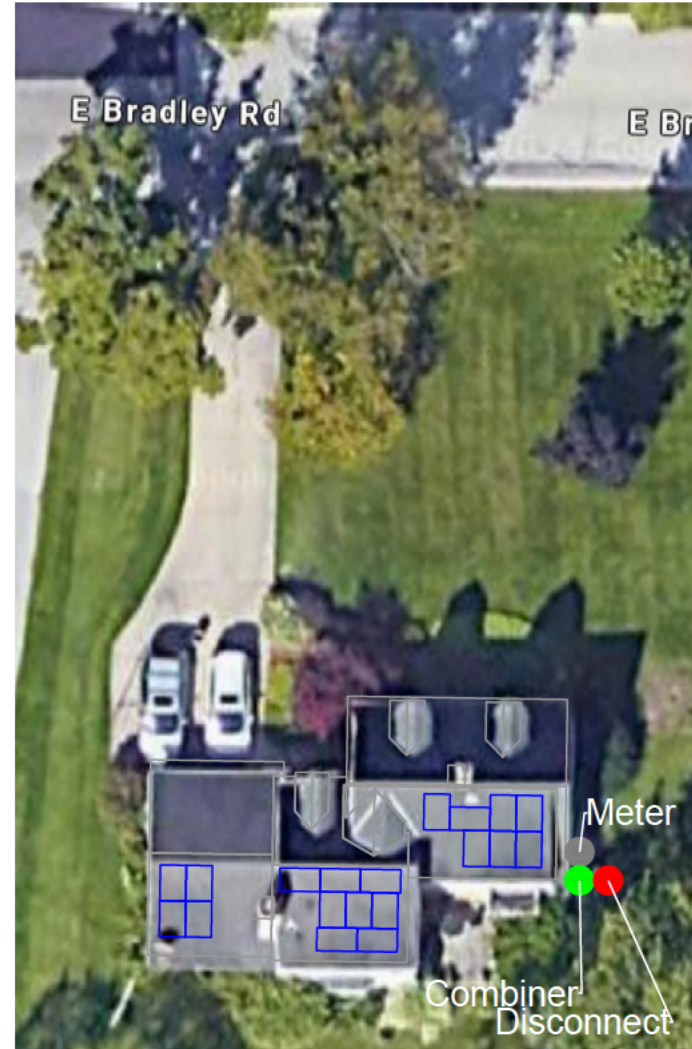
Revenue meter is located outside the East side of the house.  
 Export meter will be located below revenue meter.  
 Combiner and disconnect will be adjacent to meters.

Array #	Array Pitch	True Azim.	Mag. Azim.	PV SqFt
1	27°	181°	184°	166
2	27°	181°	184°	146
3	27°	181°	184°	83.2

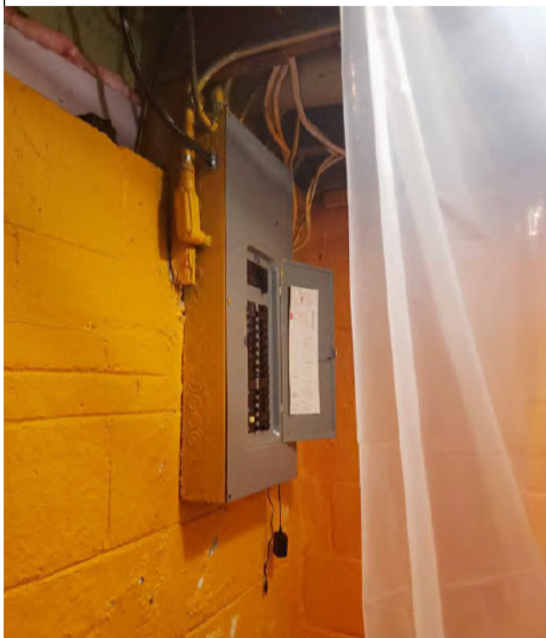


1237 Pilgrim Road  
 Plymouth WI, 53073

Phone: (920) 838-6610  
 www.archelec.com



**Chang Shik- 7.79 kWdc,  
 5.99 kWac, Fox Point**



Main Panel Located in basement.

Plot Plan: Scale - NTS



Customer: Juan Carlos Chang Shik  
 Address: 803 East Bradley Road  
 City: Fox Point  
 State: WI  
 Zip Code: 53217  
 Contact: Juan Carlos  
 Phone: (414) 339-3555  
 Email: stunter316@outlook.com

Project Number: 24R-  
 System Size: 7.79 kWdc  
 Designer: 920.838.6610

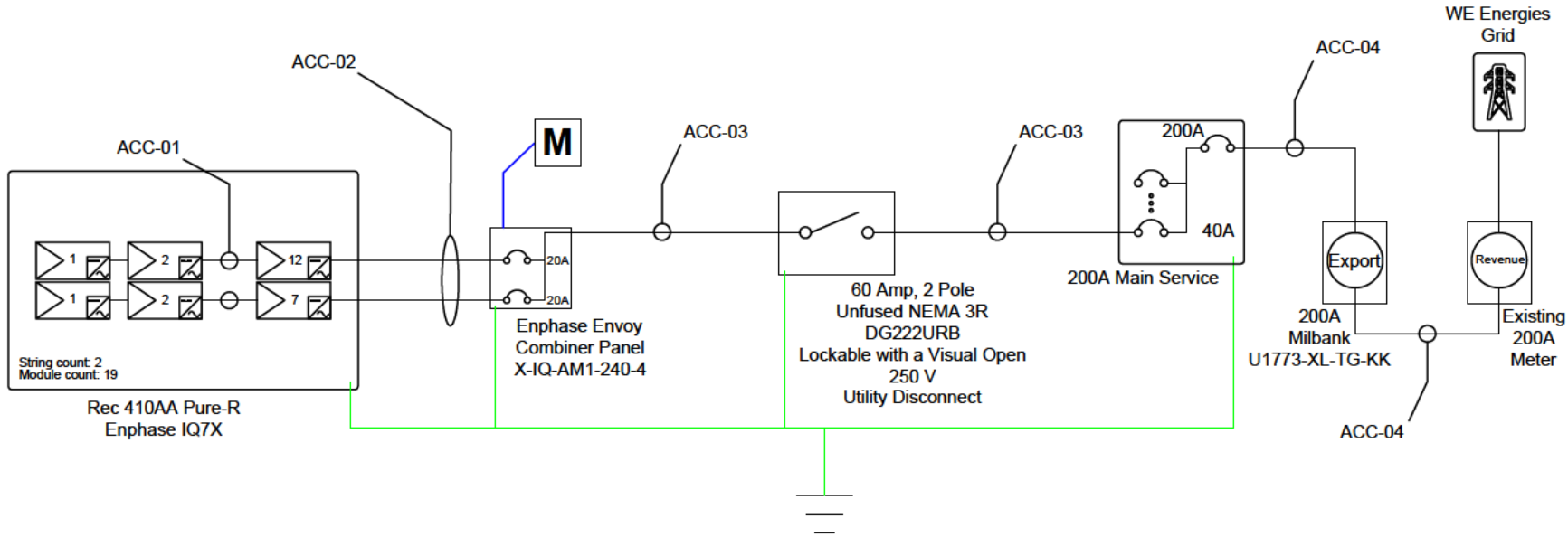
**Mike Gietman**

Site Plan

Revision: 1 Date: 6.4.24

Page A.2

Upgrading service to 200A.



**Chang Shik- 7.79 kWdc,  
5.99 kWac, Fox Point**

Conductor Schedule									Conduit Schedule	
ID	Sets	Phase Quantity	Color & Size	Insulation	Material	Voltage Drop	Neutral	Ground	Size	Type
ACC-01	1	2	BR #12 AWG	PV Wire	Cu	.72%	-	#10 THWN Cu	-	-
ACC-02	1	2	BR #10 AWG	THWN	Cu	.48%	-	#10 THWN Cu	3/4"	EMT
ACC-03	1	2	BR #8 AWG	THWN	Cu	.05%	#8 THWN Cu	#10 THWN Cu	3/4"	EMT
ACC-04	1	2	BR 2/0 AWG	THWN	Cu	.05%	2/0 THWN Cu	-	2"	EMT

Module Specifications	
Rec Solar 410AA Pure-R (QTY:19)	
STC Rating	410 W
Vmp	49.4 V
Imp	8.30 A
Voc	59.2 V
Isc	8.84 A

Array Specifications (7.79 kWdc Total)		
1 String of 12 Modules / 1 String of 7 Modules		
Max DC Power Rating	4.92 kW	2.87 kW
Operating AC Voltage	240 V	240 V
Operating AC Current	15.72 A	9.17 A
Max AC System Voltage	240 V	240 V
AC Short Circuit Current	20 A	20 A

Inverter Specifications	
Enphase IQ7X (QTY:19)	
Max AC Power Rating	315W / 5.99 kWac Total
Max DC Input Voltage	79.5 V
Max DC Input Current	10 A
Nominal AC Operating Voltage	240 V
Max AC Operating Current	1.31A Each / 24.89 A Total

Customer: Juan Carlos Chang Shik  
Address: 803 East Bradley Road  
City: Fox Point  
State: WI  
Zip Code: 53217  
Contact: Juan Carlos  
Phone: (414) 338-3555  
Email: stunter316@outlook.com

Project Number: 24R- System Size: 7.79 kWdc

Designer: Mike Gietman

One Line Diagram

Revision: 2 Date: 6.13.24

**STRUCTURAL CERTIFICATION REPORT***Roof-mounted Solar Panels*

July 03, 2024

**To: Arch Solar**  
1237 Pilgrim Road  
Plymouth, WI 53073**Re: Juan Carlos Chang Shik**  
803 E Bradley Rd  
Fox Point, WI 53217  
AHJ: **Milwaukee (County), WI**

Arch Solar proposes to install new roof-mounted solar panels at this residence and asked *Right Angle Engineering* to review the existing structure for suitability. This letter summarizes the methods that were used to survey, evaluate, and certify the existing roof framing and the attachment of the new solar panels to it.

**STRUCTURAL DESIGN**

Building Code: International Residential Code 2018  
Design Standards: ASCE 7-16  
Snow: Ground:  $p_g = 30.0$  psf | Flat Roof:  $p_f = 20.79$  psf | Sloped Roof:  $p_s = 14.9$  psf  
Wind: Ultimate Wind Speed = 106.0 mph | Exposure = C  
Seismic: Risk Category = 2 | Seismic Design Category = B | Site Class = D

**STRUCTURE**

Field Technicians from *Arch Solar* visited the site and observed the existing structure :

Array Name	Panel Quantity	Roof Framing	Material	Pitch
Array 1	4	2x6 Rafter   16" o.c.	Asphalt Shingles	27°
Array 2	8	2x6 Rafter   16" o.c.	Asphalt Shingles	27°
Array 3	7	2x6 Rafter   16" o.c.	Asphalt Shingles	27°

**ANCHORAGE**

The solar panel anchorage shall be installed according to the manufacturer's most current installation manual. The attachment configuration should match the certified building plans. The solar panels should be mounted parallel (max 5 inches) to the roof surface.

Array Name	Connection Type	Fastener	Max Anchorage Spacing
Array 1	Halo UltraGrip (HUG)	(2) #14 Wood Screws (2.5" embedment) into roof substructure	48"
Array 2	Halo UltraGrip (HUG)	(2) #14 Wood Screws (2.5" embedment) into roof substructure	48"
Array 3	Halo UltraGrip (HUG)	(2) #14 Wood Screws (2.5" embedment) into roof substructure	48"

**Installation Instructions**

Solar panels and the equipment shall be installed per the manufacturer's installation specifications. Improper installation will void this certification. If deviations from the approved structural plans occur, Right Angle Engineering must be notified. Prior to installation, the installer should:

- Confirm that the existing structure matches the information provided in the site survey, the approved installation plans and this certification.
- Identify discrepancies between this certification and the approved installation plans. If found, then this certification shall govern.
- Identify structural elements that are dangerous (cracked, broken, excessive sag, signs of overstress, rot, decay, fire, water). If found, installation shall cease until those elements are adequately abated and made to comply with the referenced building code.
- Verify that both the existing structure and the solar addition has been permitted through the AHJ.

### STRUCTURAL CERTIFICATION

I certify the addition of solar panels on the roof of this structure does not cause the structure to become unsafe or make it generally less compliant with the life-safety requirements of the referenced building code. Based on the evaluation methods described below, for the loads that exist at this site, the existing framing will safely support the new solar panels if they are installed and attached correctly. Electrical design is not included in this certification.

Array Name	Certification Method	Retrofits
Array 1	Stress analysis International Residential code	None required
Array 2	Stress analysis International Residential code	None required
Array 3	Stress analysis International Residential code	None required

Regards,



07/03/2024

Robert D. Smythe, P.E.  
Right Angle Engineering

# Job Details

Roof Snow Load - ASCE 7-16	
<b>Ground Snow Load (<math>p_g</math>)</b> <i>Section 7.2</i>	30.0 psf
<b>Exposure Factor (<math>C_e</math>)</b> <i>Table 7.3-1</i>	0.9
<b>Thermal Factor (<math>C_t</math>)</b> <i>Table 7.3-2</i>	1.1
<b>Importance Factor (<math>I_s</math>)</b> <i>Table 1.5-2</i>	1
<b>Flat Roof Snow Load (<math>p_f</math>)</b> <i>Equation 7.3-1</i>	20.79 psf
<b>Non-Slippery Surface Slope Factor (<math>C_s</math>)</b> <i>Figure 7.4-1</i>	1
<b>Slippery Surface Slope Factor (<math>C_s</math>)</b> <i>Figure 7.4-1</i>	0.72
<b>Roof Snow Load</b> <i>Equation 7.4-1</i>	20.79 psf
<b>Reduced Snow Load (Slippery Surface)</b> <i>Equation 7.4-1</i>	14.9 psf

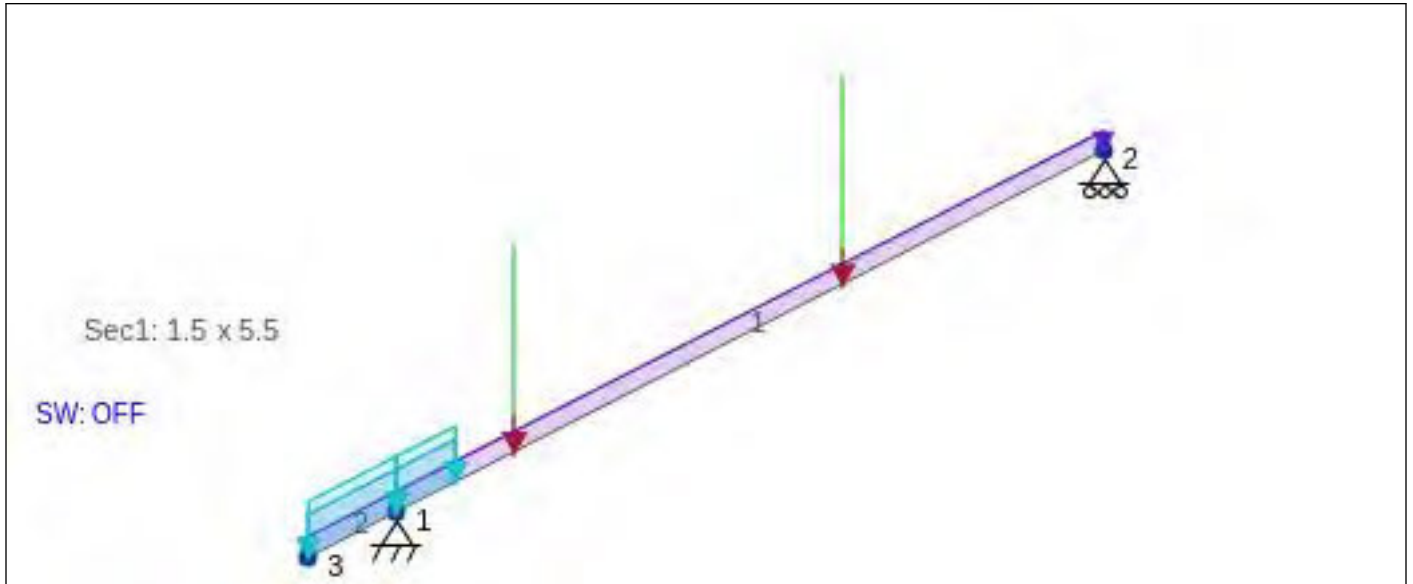
Design Criteria	
<b>Wind Speed (<math>V_{ult}</math>)</b> <i>Local Design Criteria</i>	106.0mph
<b>Exposure Category</b>	C
<b>Risk Category</b>	2
<b>Mean Roof Height</b>	20 ft
<b>Roof Type</b>	Gable Roof
<b>Building Type</b>	Enclosed

Roof Live Load	
<b>Existing Roof Live Load</b> <i>ASCE 7-16 Table 4.3-1</i>	20 psf

<sup>1</sup> Roof Dead Load			
<b>Asphalt Shingles</b>	2.0 psf	<b>No Drywall</b>	0.0 psf
<b>5/8" Plywood Sheathing</b>	2.0 psf	<b>Solar Panel Array</b>	2.74 psf
<b>Roof Framing</b>	2.36 psf	<b>Dead Load Without Panels</b>	7.56 psf
<b>Insulation</b>	1.2 psf		

<sup>1</sup>Roof Dead Load is taken from the worst case scenario dead load from all arrays of the job in order to provide a more conservative evaluation.

# Array 1



Array Details	
Roof Framing	2x6 Rafter <i>SPF No. 1/ No. 2</i>
Spacing	16.0"
Beam Span	12.0'
Roof Pitch	27°
Panel Quantity	4
Panel Array Area	86.54 ft <sup>2</sup>
Panel Orientation	Portrait
Lag Screw Embedment	2.5"
Roof Attachment Type	Halo UltraGrip (HUG) (2) #14 Wood Screws
Shear Capacity <i>Ironridge testing</i>	368.0 lbs
Pullout Capacity <i>Ironridge testing</i>	1004.0 lbs
Velocity Pressure <i>Equation 26.10-1 (K<sub>z</sub>=0.9, K<sub>ht</sub>=1, K<sub>d</sub>=0.85, K<sub>e</sub>=0.98)</i>	21.52 psf

GCP Zones	1/2e	2n/2r /3e	3r
<b>GC<sub>p</sub></b> <i>Figure 30.3-(2A-5B)</i>	-1.48	-2.13	-2.4
<b>Design Pressure Up [psf]</b> <i>Equation 29.4-7 γ<sub>a</sub>=0.53 γ<sub>E</sub>=1.0,</i>	-17.0	-24.4	-27.5
<b>Factored Design Pressure Up [psf]</b> <i>ASD LC (.6D + .6W)</i>	-8.7	-13.2	-15.0
<b>Exposed Design Pressure Up [psf]</b> <i>γ<sub>a</sub>=0.53 γ<sub>E</sub>=1.5,</i>	-25.5	-36.6	-41.2
<b>Design Pressure Down [psf]</b>	16	16	16
<b>Tributary Area [ft<sup>2</sup>]</b>	45.9	45.9	45.9
<b>Maximum Connection Spacing [in]</b>	176	176	176
<b>Maximum Rail Span [in]</b>	48	48	48
<b>Maximum Rail Cantilever [in]</b>	16	16	16
<b>Design Connection Spacing [in]</b>	48	48	48
<b>Design Connection Spacing (exposed) [in]</b>	48	48	48

## Design Ratio

Member ID	Axial	Moment <sub>z</sub>	Shear <sub>y</sub>	Combined	Slenderness	Deflection	Status
1	0.008	0.517	0.231	0.534	0.044	0.283	Pass
2	0.005	0.042	0.061	0.047	0.044	0.452	Pass

## Member Design Capacity (LRFD)

Member ID	F <sub>b</sub> <sup>t</sup> (ksi)	F <sub>t</sub> <sup>t</sup> (ksi)	F <sub>v</sub> <sup>t</sup> (ksi)	F <sub>c</sub> <sup>t</sup> (ksi)	F <sub>cp</sub> <sup>t</sup> (ksi)	E' (ksi)	E <sub>min</sub> <sup>t</sup> (ksi)
1	2.259	1.011	0.233	2.186	0.639	1400.0	915.552
2	2.259	1.011	0.233	2.186	0.639	1400.0	915.552

## Node Coordinates

ID	X Coordinate	Y Coordinate
1	0.000	0.000
2	12.000	6.114
3	-1.500	-0.764

## Members

ID	Node A	Node B	Section	Node A Fixity	Node B Fixity	Length
1	1	2	1	FFFFFF	FFFFFF	13.468
2	3	1	1	FFFFFF	FFFFFF	1.683

## Supports

ID	Node ID	Restraint Code
1	2	RFFRRR
2	1	FFFFFF

## Materials

ID	Name	Young's Modulus	Density	Poisson's Ratio
1	NDS - Table 4A - SPRUCE-PINE-FIR - No. 1/ No. 2- 2in & wider	1600.000	33.308	0.400

## Sections

ID	Name	Depth	Width	Shear Area Z	Shear Area Y	Torsion Radius
1	1.5 x 5.5	6.000	1.500	7.502	7.500	1.495

ID	Centroid Y	Centroid Z	Area	Y-Axis Mol	Z-Axis Mol	Torsion Constant
1	0.750	3.000	9.000	1.688	27.000	5.687

## Point Loads

ID	Load Group	Member	Position %	Y Magnitude
1	Solar-Snow	1	16.667%	-0.104
2	Solar	1	16.667%	-0.018
3	Solar-Snow	1	63.122%	-0.104
4	Solar	1	63.122%	-0.018

## Member Distributed Loads

ID	Load Group	Start Position	End Position	Member	Y Magnitude
1	Dead Load	0.000%	100.000%	2	-0.010
2	Dead Load	0.000%	100.000%	1	-0.010
3	Roof Live Load	0.000%	100.000%	2	-0.021
4	Roof Live Load	0.000%	8.333%	1	-0.021
5	Snow Load	0.000%	100.000%	2	-0.028
6	Snow Load	0.000%	8.333%	1	-0.028

## Load Combinations

ID	Name	Dead Load Factor	Snow Load Factor	Solar Factor	Solar-Snow Factor	Roof Live Load Factor
1	1. 1.4D	1.4	0	1.4	0	0
2	3. 1.2D + 1.6Lr	1.2	0	1.2	0	1.6

3	3. 1.2D + 1.6S	1.2	1.6	1.2	1.6	0
4	4. service loads A	0	1	0	1	0
5	5. service loads B	0	0	0	0	1

### Internal Member Forces and Moments

Member	Axial Force (Min/Max)	Shear Force Y (Min/Max)	Shear Force Z (Min/Max)	Torsion (Min/Max)	Bending Moment Y (Min/Max)	Bending Moment Z (Min/Max)
1	-0.103 / 0.164	-0.203 / 0.322	0.000 / 0.000	0.000 / 0.000	0.000 / 0.000	-0.071 / 0.875
2	-0.043 / 0.000	-0.085 / 0.000	0.000 / 0.000	0.000 / 0.000	0.000 / 0.000	-0.071 / 0.000

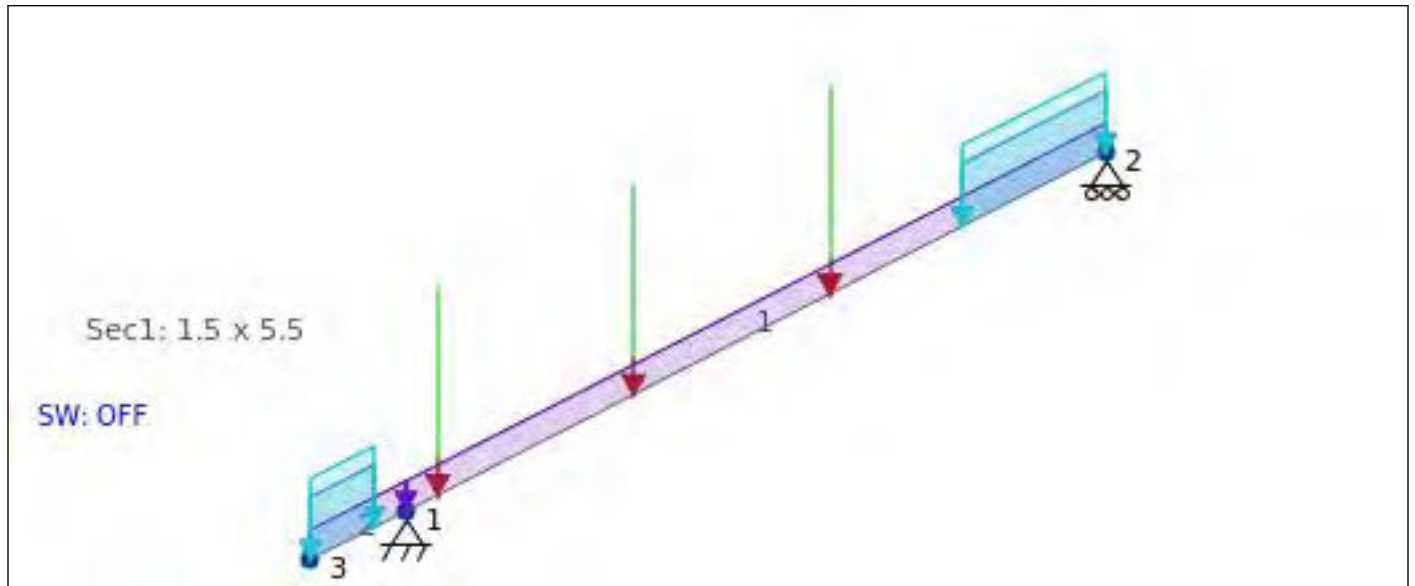
### Member Displacement Span Check

Member	Length	Max Relative Displacement	Span Method 1
1	13.468	0.254	L/636
2	1.683	0.101	L/199

### Member Stresses

Member	Axial Stress (Min/Max)	Torsion Stress (Min/Max)	Shear Stress Y (Min/Max)	Shear Stress Z (Min/Max)	Top Bending Moment Z (Min/Max)	Bottom Bending Moment Z (Min/Max)
1	-0.011 / 0.018	0.000 / 0.000	-0.034 / 0.054	-0.000 / -0.000	-0.095 / 1.167	-1.167 / 0.095
2	-0.005 / 0.000	0.000 / 0.000	-0.014 / 0.000	0.000 / 0.000	-0.095 / 0.000	0.000 / 0.095

# Array 2



Array Details	
Roof Framing	2x6 Rafter <i>SPF No. 1/ No. 2</i>
Spacing	16.0"
Beam Span	11.0'
Roof Pitch	27°
Panel Quantity	8
Panel Array Area	173.08 ft <sup>2</sup>
Panel Orientation	Landscape
Lag Screw Embedment	2.5"
Roof Attachment Type	Halo UltraGrip (HUG) (2) #14 Wood Screws
Shear Capacity <i>Ironridge testing</i>	368.0 lbs
Pullout Capacity <i>Ironridge testing</i>	1004.0 lbs
Velocity Pressure <i>Equation 26.10-1 (K<sub>z</sub>=0.9, K<sub>ht</sub>=1, K<sub>d</sub>=0.85, K<sub>e</sub>=0.98)</i>	21.52 psf

GCP Zones	1/2e	2n/2r /3e	3r
<b>GC<sub>p</sub></b> <i>Figure 30.3-(2A-5B)</i>	-1.48	-2.13	-2.4
<b>Design Pressure Up [psf]</b> <i>Equation 29.4-7 γ<sub>a</sub>=0.53 γ<sub>E</sub>=1.0,</i>	-17.0	-24.4	-27.5
<b>Factored Design Pressure Up [psf]</b> <i>ASD LC (.6D + .6W)</i>	-8.7	-13.2	-15.0
<b>Exposed Design Pressure Up [psf]</b> <i>γ<sub>a</sub>=0.53 γ<sub>E</sub>=1.5,</i>	-25.5	-36.6	-41.2
<b>Design Pressure Down [psf]</b>	16	16	16
<b>Tributary Area [ft<sup>2</sup>]</b>	45.9	45.9	45.9
<b>Maximum Connection Spacing [in]</b>	319	319	319
<b>Maximum Rail Span [in]</b>	48	48	48
<b>Maximum Rail Cantilever [in]</b>	16	16	16
<b>Design Connection Spacing [in]</b>	48	48	48
<b>Design Connection Spacing (exposed) [in]</b>	48	48	48

## Design Ratio

Member ID	Axial	Moment <sub>z</sub>	Shear <sub>y</sub>	Combined	Slenderness	Deflection	Status
1	0.008	0.47	0.226	0.485	0.044	0.255	Pass
2	0.003	0.038	0.045	0.042	0.044	0.39	Pass

## Member Design Capacity (LRFD)

Member ID	F <sub>b</sub> <sup>t</sup> (ksi)	F <sub>t</sub> <sup>t</sup> (ksi)	F <sub>v</sub> <sup>t</sup> (ksi)	F <sub>c</sub> <sup>t</sup> (ksi)	F <sub>cp</sub> <sup>t</sup> (ksi)	E' (ksi)	E <sub>min</sub> <sup>t</sup> (ksi)
1	2.259	1.011	0.233	2.186	0.639	1400.0	915.552
2	2.259	1.011	0.233	2.186	0.639	1400.0	915.552

## Node Coordinates

ID	X Coordinate	Y Coordinate
1	0.000	0.000
2	11.000	5.605
3	-1.500	-0.764

## Members

ID	Node A	Node B	Section	Node A Fixity	Node B Fixity	Length
1	1	2	1	FFFFFF	FFFFFF	12.346
2	3	1	1	FFFFFF	FFFFFF	1.683

## Supports

ID	Node ID	Restraint Code
1	2	RFFRRR
2	1	FFFFFF

## Materials

ID	Name	Young's Modulus	Density	Poisson's Ratio
1	NDS - Table 4A - SPRUCE-PINE-FIR - No. 1/ No. 2- 2in & wider	1600.000	33.308	0.400

## Sections

ID	Name	Depth	Width	Shear Area Z	Shear Area Y	Torsion Radius
1	1.5 x 5.5	6.000	1.500	7.502	7.500	1.495

ID	Centroid Y	Centroid Z	Area	Y-Axis Mol	Z-Axis Mol	Torsion Constant
1	0.750	3.000	9.000	1.688	27.000	5.687

## Point Loads

ID	Load Group	Member	Position %	Y Magnitude
1	Solar-Snow	1	4.545%	-0.072
2	Solar	1	4.545%	-0.012
3	Solar-Snow	1	32.556%	-0.072
4	Solar	1	32.556%	-0.012
5	Solar-Snow	1	60.566%	-0.072
6	Solar	1	60.566%	-0.012

## Member Distributed Loads

ID	Load Group	Start Position	End Position	Member	Y Magnitude
1	Dead Load	0.000%	100.000%	2	-0.010
2	Dead Load	0.000%	100.000%	1	-0.010
3	Roof Live Load	0.000%	66.667%	2	-0.021
4	Roof Live Load	79.485%	100.000%	1	-0.021
5	Snow Load	0.000%	66.667%	2	-0.028
6	Snow Load	79.485%	100.000%	1	-0.028

## Load Combinations

ID	Name	Dead Load Factor	Snow Load Factor	Solar Factor	Solar-Snow Factor	Roof Live Load Factor
----	------	------------------	------------------	--------------	-------------------	-----------------------

1	1. 1.4D	1.4	0	1.4	0	0
2	3. 1.2D + 1.6Lr	1.2	0	1.2	0	1.6
3	3. 1.2D + 1.6S	1.2	1.6	1.2	1.6	0
4	4. service loads A	0	1	0	1	0
5	5. service loads B	0	0	0	0	1

### Internal Member Forces and Moments

Member	Axial Force (Min/Max)	Shear Force Y (Min/Max)	Shear Force Z (Min/Max)	Torsion (Min/Max)	Bending Moment Y (Min/Max)	Bending Moment Z (Min/Max)
1	-0.134 / 0.161	-0.264 / 0.315	0.000 / 0.000	0.000 / 0.000	0.000 / 0.000	-0.065 / 0.796
2	-0.032 / 0.000	-0.062 / 0.000	0.000 / 0.000	0.000 / 0.000	0.000 / 0.000	-0.065 / 0.000

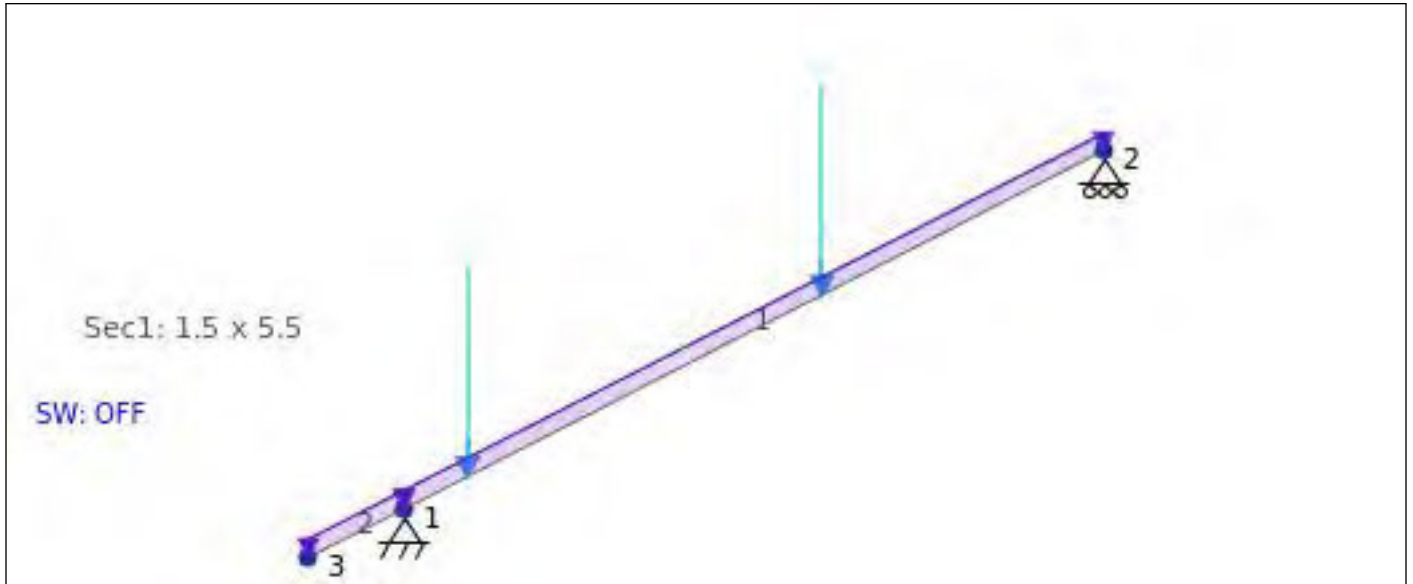
### Member Displacement Span Check

Member	Length	Max Relative Displacement	Span Method 1
1	12.346	0.209	L/707
2	1.683	0.087	L/231

### Member Stresses

Member	Axial Stress (Min/Max)	Torsion Stress (Min/Max)	Shear Stress Y (Min/Max)	Shear Stress Z (Min/Max)	Top Bending Moment Z (Min/Max)	Bottom Bending Moment Z (Min/Max)
1	-0.015 / 0.018	0.000 / 0.000	-0.044 / 0.053	-0.000 / -0.000	-0.087 / 1.061	-1.061 / 0.087
2	-0.004 / 0.000	0.000 / 0.000	-0.010 / 0.000	0.000 / 0.000	-0.087 / 0.000	0.000 / 0.087

# Array 3



Array Details	
Roof Framing	2x6 Rafter <i>SPF No. 1/ No. 2</i>
Spacing	16.0"
Beam Span	11.0'
Roof Pitch	27°
Panel Quantity	7
Panel Array Area	151.45 ft <sup>2</sup>
Panel Orientation	Portrait
Lag Screw Embedment	2.5"
Roof Attachment Type	Halo UltraGrip (HUG) (2) #14 Wood Screws
Shear Capacity <i>Ironridge testing</i>	368.0 lbs
Pullout Capacity <i>Ironridge testing</i>	1004.0 lbs
Velocity Pressure <i>Equation 26.10-1 (K<sub>z</sub>=0.9, K<sub>ht</sub>=1, K<sub>d</sub>=0.85, K<sub>e</sub>=0.98)</i>	21.52 psf

GCP Zones	1/2e	2n/2r /3e	3r
<b>GC<sub>p</sub></b> <i>Figure 30.3-(2A-5B)</i>	-1.48	-2.13	-2.4
<b>Design Pressure Up [psf]</b> <i>Equation 29.4-7 γ<sub>a</sub>=0.53 γ<sub>E</sub>=1.0,</i>	-17.0	-24.4	-27.5
<b>Factored Design Pressure Up [psf]</b> <i>ASD LC (.6D + .6W)</i>	-8.7	-13.2	-15.0
<b>Exposed Design Pressure Up [psf]</b> <i>γ<sub>a</sub>=0.53 γ<sub>E</sub>=1.5,</i>	-25.5	-36.6	-41.2
<b>Design Pressure Down [psf]</b>	16	16	16
<b>Tributary Area [ft<sup>2</sup>]</b>	45.9	45.9	45.9
<b>Maximum Connection Spacing [in]</b>	176	176	176
<b>Maximum Rail Span [in]</b>	48	48	48
<b>Maximum Rail Cantilever [in]</b>	16	16	16
<b>Design Connection Spacing [in]</b>	48	48	48
<b>Design Connection Spacing (exposed) [in]</b>	48	48	48

## Design Ratio

Member ID	Axial	Moment <sub>z</sub>	Shear <sub>y</sub>	Combined	Slenderness	Deflection	Status
1	0.008	0.496	0.227	0.513	0.044	0.244	Pass
2	0.001	0.011	0.015	0.012	0.044	0.398	Pass

## Member Design Capacity (LRFD)

Member ID	F <sub>b</sub> <sup>t</sup> (ksi)	F <sub>t</sub> <sup>t</sup> (ksi)	F <sub>v</sub> <sup>t</sup> (ksi)	F <sub>c</sub> <sup>t</sup> (ksi)	F <sub>cp</sub> <sup>t</sup> (ksi)	E' (ksi)	E <sub>min</sub> <sup>t</sup> (ksi)
1	2.259	1.011	0.233	2.186	0.639	1400.0	915.552
2	2.259	1.011	0.233	2.186	0.639	1400.0	915.552

## Node Coordinates

ID	X Coordinate	Y Coordinate
1	0.000	0.000
2	11.000	5.605
3	-1.500	-0.764

## Members

ID	Node A	Node B	Section	Node A Fixity	Node B Fixity	Length
1	1	2	1	FFFFFF	FFFFFF	12.346
2	3	1	1	FFFFFF	FFFFFF	1.683

## Supports

ID	Node ID	Restraint Code
1	2	RFFRRR
2	1	FFFFFF

## Materials

ID	Name	Young's Modulus	Density	Poisson's Ratio
1	NDS - Table 4A - SPRUCE-PINE-FIR - No. 1/ No. 2- 2in & wider	1600.000	33.308	0.400

## Sections

ID	Name	Depth	Width	Shear Area Z	Shear Area Y	Torsion Radius
1	1.5 x 5.5	6.000	1.500	7.502	7.500	1.495

ID	Centroid Y	Centroid Z	Area	Y-Axis Mol	Z-Axis Mol	Torsion Constant
1	0.750	3.000	9.000	1.688	27.000	5.687

## Point Loads

ID	Load Group	Member	Position %	Y Magnitude
1	Solar-Snow	1	9.091%	-0.118
2	Solar	1	9.091%	-0.020
3	Solar-Snow	1	59.769%	-0.118
4	Solar	1	59.769%	-0.020

## Member Distributed Loads

ID	Load Group	Start Position	End Position	Member	Y Magnitude
1	Dead Load	0.000%	100.000%	2	-0.010
2	Dead Load	0.000%	100.000%	1	-0.010

## Load Combinations

ID	Name	Dead Load Factor	Snow Load Factor	Solar Factor	Solar-Snow Factor	Roof Live Load Factor
1	1. 1.4D	1.4	0	1.4	0	0
2	3. 1.2D + 1.6Lr	1.2	0	1.2	0	1.6
3	3. 1.2D + 1.6S	1.2	1.6	1.2	1.6	0
4	4. service loads A	0	1	0	1	0
5	5. service loads B	0	0	0	0	1

### Internal Member Forces and Moments

Member	Axial Force (Min/Max)	Shear Force Y (Min/Max)	Shear Force Z (Min/Max)	Torsion (Min/Max)	Bending Moment Y (Min/Max)	Bending Moment Z (Min/Max)
1	-0.100 / 0.161	-0.196 / 0.317	0.000 / 0.000	0.000 / 0.000	0.000 / 0.000	-0.015 / 0.841
2	-0.011 / 0.000	-0.021 / 0.000	0.000 / 0.000	0.000 / 0.000	0.000 / 0.000	-0.018 / 0.000

### Member Displacement Span Check

Member	Length	Max Relative Displacement	Span Method 1
1	12.346	0.201	L/737
2	1.683	0.089	L/226

### Member Stresses

Member	Axial Stress (Min/Max)	Torsion Stress (Min/Max)	Shear Stress Y (Min/Max)	Shear Stress Z (Min/Max)	Top Bending Moment Z (Min/Max)	Bottom Bending Moment Z (Min/Max)
1	-0.011 / 0.018	0.000 / 0.000	-0.033 / 0.053	-0.000 / -0.000	-0.020 / 1.121	-1.121 / 0.020
2	-0.001 / 0.000	0.000 / 0.000	-0.004 / 0.000	0.000 / 0.000	-0.024 / 0.000	0.000 / 0.024

SOLAR'S MOST TRUSTED



# REC ALPHA PURE-R SERIES

## PRODUCT SPECIFICATIONS



COMPACT PANEL SIZE

9 A MODULE CURRENT  
COMPATIBLE WITH MLPE

430 WP  
20.7  $\frac{W}{FT^2}$   
22.3% EFFICIENCY



  
LEAD-FREE  
ROHS COMPLIANT

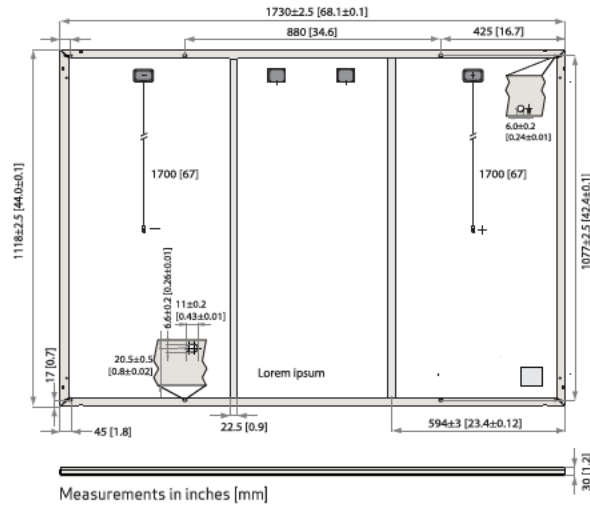
EXPERIENCE  
  
PERFORMANCE

# REC ALPHA PURE-R SERIES

## PRODUCT SPECIFICATIONS

### GENERAL DATA

Cell type:	80 half-cut REC bifacial, heterojunction cells with lead-free, gapless technology
Glass:	0.13 in (3.2 mm) solar glass with anti-reflective surface treatment in accordance with EN 12150
Backsheet:	Highly resistant polymer (black)
Frame:	Anodized aluminum (black)
Junction box:	4-part, 4 bypass diodes, lead-free IP68 rated, in accordance with IEC 62790
Connectors:	Stäubli MC4 PV-KBT4/KST4 (12 AWG) in accordance with IEC 62852, IP68 only when connected
Cable:	12 AWG (4 mm <sup>2</sup> ) PV wire, 67 + 67 in (1.7 + 1.7 m) in accordance with EN 50618
Dimensions:	68.1 x 44.0 x 1.2 in (20.77 ft <sup>2</sup> ) / 1730 x 1118 x 30 mm (1.93 m <sup>2</sup> )
Weight:	47.4 lbs (21.5 kg)
Origin:	Made in Singapore



### ELECTRICAL DATA

#### Product Code\*: RECxxxAA PURE-R

	400	410	420	430
Power Output - P <sub>MAX</sub> (Wp)	400	410	420	430
Watt Class Sorting - (W)	0/+10	0/+10	0/+10	0/+10
Nominal Power Voltage - V <sub>MPP</sub> (V)	48.8	49.4	50.0	50.5
Nominal Power Current - I <sub>MPP</sub> (A)	8.20	8.30	8.40	8.52
Open Circuit Voltage - V <sub>OC</sub> (V)	58.9	59.2	59.4	59.7
Short Circuit Current - I <sub>SC</sub> (A)	8.80	8.84	8.88	8.91
Power Density (W/ft <sup>2</sup> )	19.26	19.74	20.22	20.70
Panel Efficiency (%)	20.7	21.2	21.8	22.3
Power Output - P <sub>MAX</sub> (Wp)	305	312	320	327
Nominal Power Voltage - V <sub>MPP</sub> (V)	46.0	46.6	47.1	47.6
Nominal Power Current - I <sub>MPP</sub> (A)	6.64	6.70	6.80	6.88
Open Circuit Voltage - V <sub>OC</sub> (V)	55.5	55.8	56.0	56.3
Short Circuit Current - I <sub>SC</sub> (A)	7.11	7.16	7.20	7.24

STC

NMOT

Values at standard test conditions (STC: air mass AM 1.5, irradiance 10.75 W/sq ft (1000 W/m<sup>2</sup>), temperature 77°F (25°C), based on a production spread with a tolerance of P<sub>MAX</sub>, V<sub>OC</sub> & I<sub>SC</sub> ±3% within one watt class. Nominal module operating temperature (NMOT: air mass AM 1.5, irradiance 800 W/m<sup>2</sup>, temperature 68°F (20°C), windspeed 3.3 ft/s (1 m/s). \*Where xxx indicates the nominal power class (P<sub>MAX</sub>) at STC above.

### MAXIMUM RATINGS

Operational temperature:	-40...+85°C
System voltage:	1000 V
Test load (front):	+7000 Pa (146 lbs/ft <sup>2</sup> )*
Test load (rear):	-4000 Pa (83.5 lbs/ft <sup>2</sup> )*
Series fuse rating:	25 A
Reverse current:	25 A

\*See installation manual for mounting instructions. Design load = Test load / 1.5 (safety factor)

### WARRANTY

	Standard	REC ProTrust	
Installed by an REC Certified Solar Professional	No	Yes	Yes
System Size	All	<25 kW	25-500 kW
Product Warranty (yrs)	20	25	25
Power Warranty (yrs)	25	25	25
Labor Warranty (yrs)	0	25	10
Power in Year 1	98%	98%	98%
Annual Degradation	0.25%	0.25%	0.25%
Power in Year 25	92%	92%	92%

See warranty documents for details. Conditions apply

Available from:

### CERTIFICATIONS

IEC 61215:2016, IEC 61730:2016, UL 61730	
IEC 62804	PID
IEC 61701	Salt Mist
IEC 62716	Ammonia Resistance
UL 61730	Fire Type 2
IEC 62782	Dynamic Mechanical Load
IEC 61215-2:2016	Hailstone (35mm)
IEC 62321	Lead-free acc. to RoHS EU 863/2015
ISO 14001, ISO 9001, IEC 45001, IEC 62941	



### TEMPERATURE RATINGS\*

Nominal Module Operating Temperature:	44°C (±2°C)
Temperature coefficient of P <sub>MAX</sub> :	-0.24 %/°C
Temperature coefficient of V <sub>OC</sub> :	-0.24 %/°C
Temperature coefficient of I <sub>SC</sub> :	0.04 %/°C

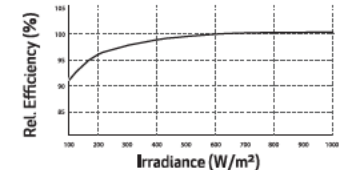
\*The temperature coefficients stated are linear values

### DELIVERY INFORMATION

Panels per pallet:	33
Panels per 40 ft GP/high cube container:	858 (26 pallets)
Panels per 53 ft truck:	858 (26 pallets)

### LOW LIGHT BEHAVIOUR

Typical low irradiance performance of module at STC:



Founded in 1996, REC Group is an international pioneering solar energy company dedicated to empowering consumers with clean, affordable solar power. As Solar's Most Trusted, REC is committed to high quality, innovation, and a low carbon footprint in the solar materials and solar panels it manufactures. Headquartered in Norway with operational headquarters in Singapore, REC also has regional hubs in North America, Europe, and Asia-Pacific.

REC Solar PTE. LTD.  
20 Tuas South Ave. 14  
Singapore 637312  
post@recgroup.com  
www.recgroup.com





# IQ7X Microinverter

The high-powered, smart grid-ready IQ7X Microinverter dramatically simplifies the installation process while achieving the highest system efficiency for systems with 96-cell modules.



Part of the Enphase Energy System, the IQ7X Microinverter integrates with the IQ Gateway, IQ Battery, and the Enphase Installer App monitoring and analysis software.



The IQ Series Microinverters extend the reliability standards set forth by previous generations and undergo over a million hours of power-on testing, enabling Enphase to provide an industry-leading warranty of up to 25 years.\*



Connect PV modules quickly and easily to IQ7X Microinverters using the included Q-DCC-2 adapter cable with plug-and-play MC4 connectors.



IQ7X Microinverters are UL Listed as PV rapid shutdown equipment and conform with various regulations when installed according to the manufacturer's instructions.

### Easy to install

- Lightweight and simple
- Faster installation with improved, lighter two-wire cabling
- Built-in rapid shutdown compliant (NEC 2014, 2017, 2020, and 2023)

### Efficient and reliable

- Optimized for high powered 96-cell modules
- Highest CEC efficiency of 97.5%
- More than a million hours of testing
- Class II double-insulated enclosure
- UL Listed

### Smart grid-ready

- Complies with advanced grid support, voltage, and frequency ride-through requirements
- Remotely updates to respond to changing grid requirements
- Configurable for varying grid profiles
- Meets CA Rule 21 (UL 1741-SA) and IEEE 1547:2018 (UL 1741-SB, 3<sup>rd</sup> Ed.)

\* 25-year warranty is valid, provided an internet-connected IQ Gateway is installed.

To learn more about Enphase offering, visit [Enphase.com](https://enphase.com)

# IQ7X Microinverters

INPUT DATA (DC)		UNITS	IQ7X-96-2-US	
Commonly used module pairings <sup>1</sup>		W	320–460	
Module compatibility		—	To meet compatibility, PV modules must be within the following maximum input DC voltage and maximum module $I_{sc}$ . Module compatibility can be checked at <a href="https://enphase.com/installers/microinverters/calculator">https://enphase.com/installers/microinverters/calculator</a> .	
MPPT voltage range		V	53–64	
Operating range		V	25–79.5	
Minimum/Maximum start voltage		V	33/79.5	
Maximum input DC voltage		V	79.5	
Maximum continuous input DC current		A	6.5	
Maximum module $I_{sc}$		A	10	
Oversvoltage class DC port		—	II	
DC port backfeed current		mA	0	
PV array configuration		—	1x 1 ungrounded array; no additional DC side protection required; AC side protection requires a maximum of 20 A per branch circuit.	
OUTPUT DATA (AC)		UNITS	IQ7X-96-2-US@240 VAC	IQ7X-96-2-US@208 VAC
Peak output power		VA	320	
Maximum continuous output power		VA	315	
Nominal grid voltage (L-L)		V	240, split-phase (L-L), 180°	208, single-phase (L-L), 120°
Minimum and Maximum grid voltage <sup>2</sup>		V	211–264	183–229
Maximum continuous output current		A	1.31	1.51
Nominal frequency		Hz	60	
Extended frequency range		Hz	49–68	
AC short-circuit fault current over three cycles		$A_{rms}$	5.8	
Maximum units per 20 A (L-L) branch circuit <sup>3</sup>		—	12	10
Oversvoltage class AC port		—	III	
AC port backfeed current		mA	18	
Power factor setting		—	1.0	
Grid-tied power factor (adjustable)		—	0.85 leading ... 0.85 lagging	
CEC weighted efficiency		%	97.5	97.0
MECHANICAL DATA		UNITS		
Ambient temperature range		°C (°F)	–40 to 60 (–40 to 140)	
Relative humidity range		%	4 to 100 (condensing)	
DC connector type		—	MC4 (or Amphenol H4 UTX with additional Q-DCC-5 adapter)	
Dimensions (H × W × D)		mm (in)	212 (8.3) × 175 (6.9) × 30.2 (1.2)	
Weight		kg (lbs)	1.1 (2.4)	
Cooling		—	Natural convection—no fans	
Approved for wet locations		—	Yes	
Pollution degree		—	PD3	
Enclosure		—	Class II double-insulated, corrosion-resistant polymeric enclosure	
Environmental category/UV exposure rating		—	NEMA Type 6/Outdoor	
COMPLIANCE				
Compliance	CA Rule 21 (UL 1741-SA), IEEE 1547:2018 (UL 1741-SB 3 <sup>rd</sup> Ed.), HEI Rule 14H SRD 2.0 UL 62109-1, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 1071-01 This product is UL Listed as PV rapid shutdown equipment and conforms with NEC 2014, NEC 2017, NEC 2020, and NEC 2023 section 690.12 and C22.1-2015, Rule 64-218 rapid shutdown of PV Systems for AC and DC conductors when installed according to the manufacturer's instructions.			

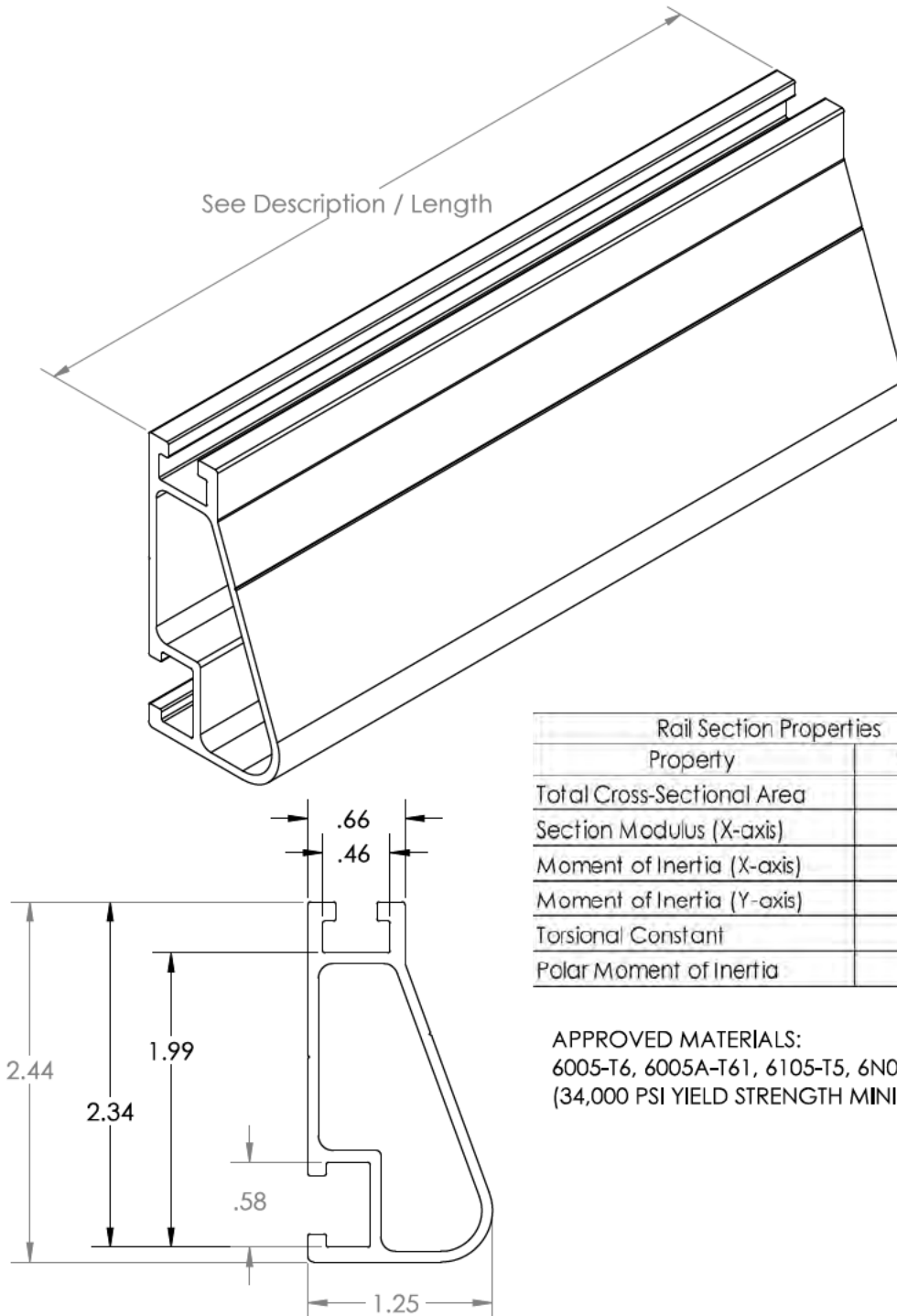
(1) Pairing PV modules with wattage above the limit may result in additional clipping losses.

(2) Nominal voltage range can be extended beyond nominal if required by the utility.

(3) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

# Revision history

REVISION	DATE	DESCRIPTION
DSH-00208-2.0	November 2023	Included NEC 2023 specification in the "Compliance" section.
DSH-00208-1.0	September 2023	Updated module compatibility specification.
Previous releases.		



Rail Section Properties	
Property	Value
Total Cross-Sectional Area	0.582 in <sup>2</sup>
Section Modulus (X-axis)	0.297 in <sup>3</sup>
Moment of Inertia (X-axis)	0.390 in <sup>4</sup>
Moment of Inertia (Y-axis)	0.085 in <sup>4</sup>
Torsional Constant	0.214 in <sup>3</sup>
Polar Moment of Inertia	0.126 in <sup>4</sup>

APPROVED MATERIALS:  
 6005-T6, 6005A-T61, 6105-T5, 6N01-T6  
 (34,000 PSI YIELD STRENGTH MINIMUM)

Clear Part Number	Black Part Number	Description / Length	Material	Weight
XR-100-132A	XR-100-132B	XR100, Rail 132" (11 Feet)	6000-Series Aluminum	7.50 lbs.
XR-100-168A	XR-100-168B	XR100, Rail 168" (14 Feet)		9.55 lbs.
XR-100-204A	XR-100-204B	XR100, Rail 204" (17 Feet)		11.60 lbs.



**VILLAGE OF FOX POINT**  
 7200 N Santa Monica Blvd  
 Fox Point, WI 53217  
 (414) 247-6622  
 www.villageoffoxpoint.com

**Permit Number:**

**B-**\_\_\_\_\_

OFFICE USE ONLY
Issued Date
Zoning

**BUILDING PERMIT**

<b>Job Address</b> 7439 N Fairchild Rd, Fox Point, WI 53217	<b>Building Type:</b> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
<b>Description of Work</b>	
8.61kWdc roof mount solar array	
<b>Estimated Cost of Project</b> \$27,094	

<b>Owner/Occupant</b> Susan LaBudde	
<b>Business Name</b>	<b>Contact Name</b> Susan LaBudde
<b>Address</b> 7439 N Fairchild Rd	<b>City/State/Zip</b> Fox Point, WI 53217
<b>Phone</b> 414-554-8985	<b>Email</b> lovemydawgs@icloud.com

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

<b>Contractor</b>	
<b>Company Name</b> Arch Solar	<b>Contact Name</b> Dani Beierschmitt
<b>Address</b> 1237 N Pilgrim Rd	<b>City/State/Zip</b> Plymouth, WI 53073
<b>Phone</b> 608-225-0173	<b>Email</b> danielle@archsolar.com
<b>Dwelling Contractor #</b> DC 072-200-761	<b>Dwelling Contractor Qualifier #</b> DCQ 122-201-337

Square Footage Under Construction				
1 <sup>st</sup> Floor	2 <sup>nd</sup> Floor roof - 437	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	270.94
Building Board	\$75.00	75
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld	\$95.00 minimum plus	\$0.13/sqft
Moving buildings	\$250.00 plus	\$0.13/sqft
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	<b>Minimum Fee</b>	<b>\$70.00</b>
Payable to: Village of Fox Point	<b>Total Permit Fee</b>	<b>\$345.94</b>

**Applicant Signature** Dani Beierschmitt **Date** 7/16/2024

Rev 01/22

**ISSUED PERMITS are available on the Village website under PERMITS & LICENSES**

Equipment Location:

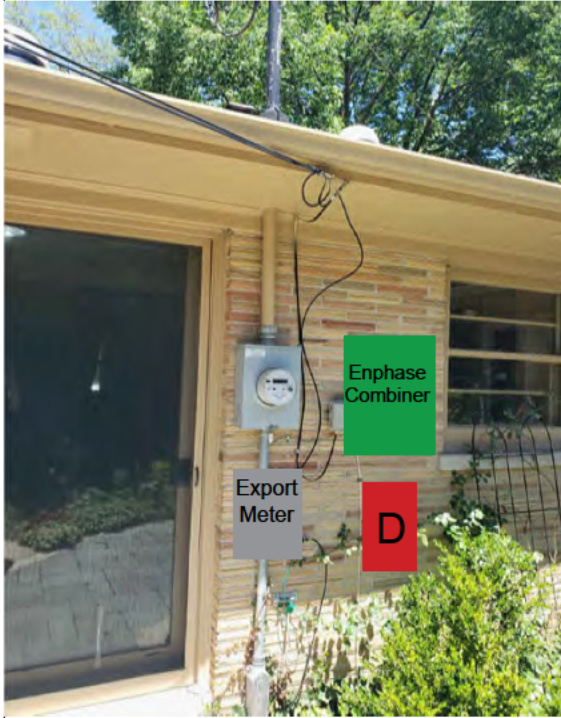
Revenue meter is located outside the South side of the house.  
 Export meter will be located below revenue meter.  
 Combiner and disconnect will be adjacent to meters.

Array #	Array Pitch	True Azim.	Mag. Azim.	PV SqFt
1	23°	194°	197°	437

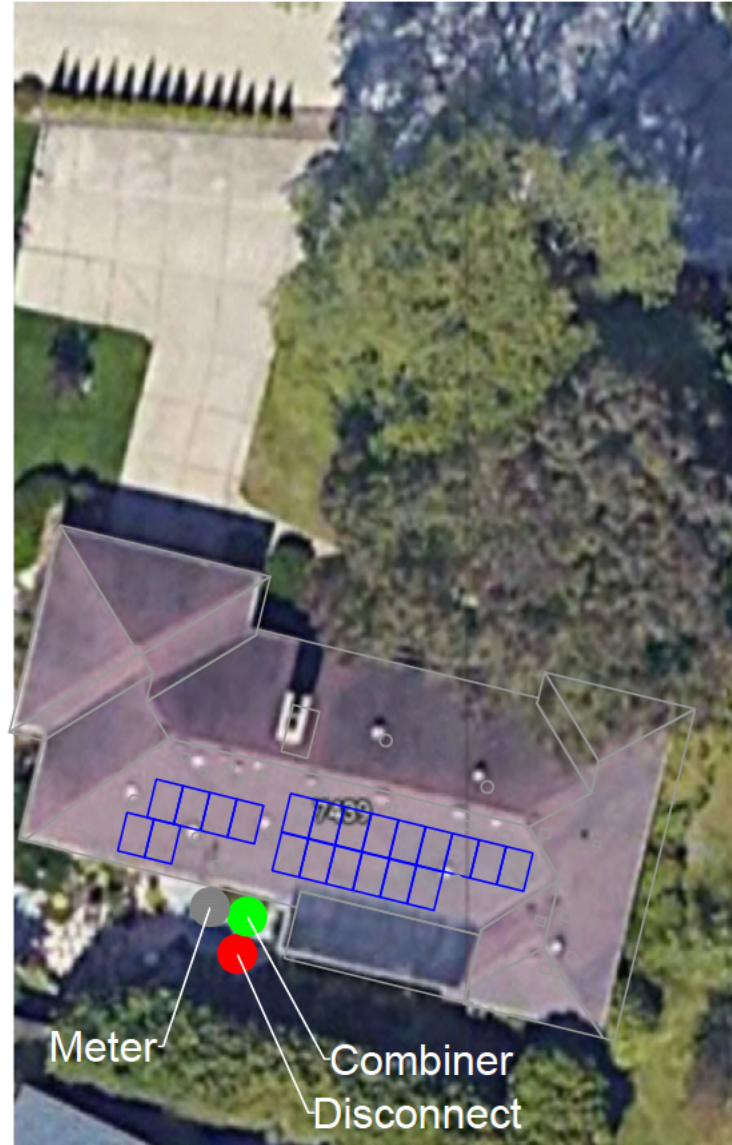


1237 Pilgrim Road  
 Plymouth WI, 53073

Phone: (920) 838-6610  
 www.archelec.com



Main Panel Located in basement.



Plot Plan: Scale - NTS



**LaBuddle- 8.61 kWdc,  
 6.62 kWac, Fox Point**

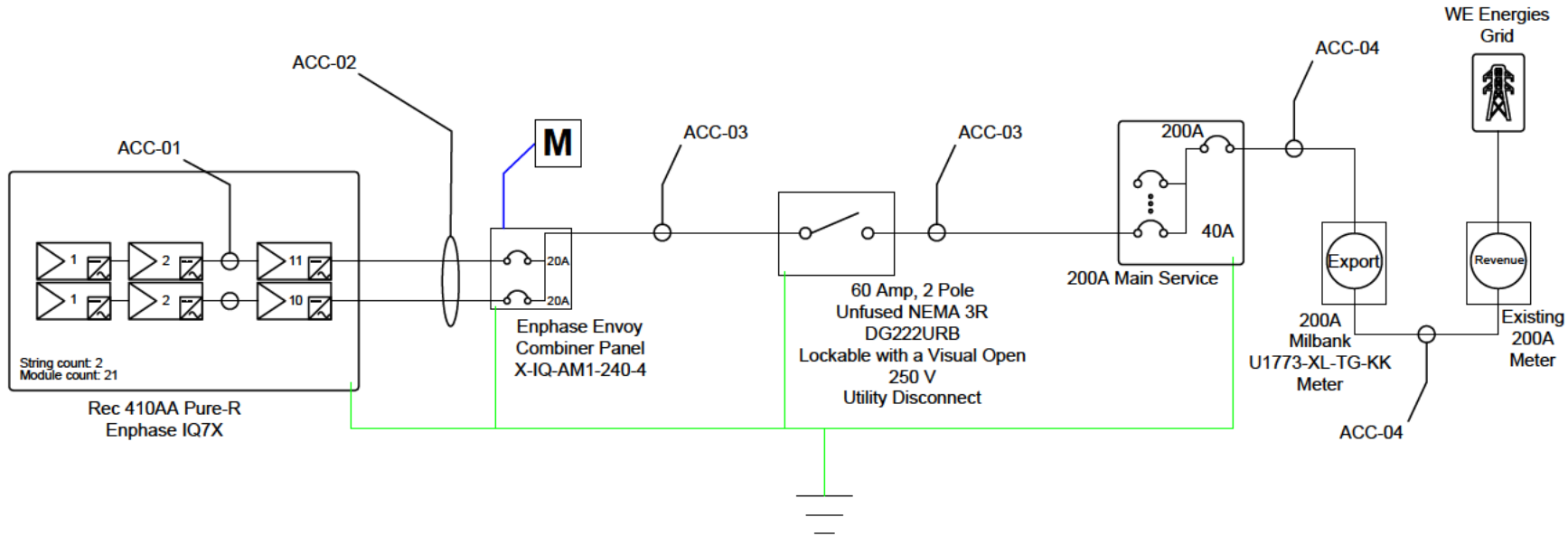
Customer: Susan LaBuddle  
 Address: 7439 North Fairchild Road  
 City: Fox Point  
 State: WI  
 Zip Code: 53217  
 Contact: Susan LaBuddle  
 Phone: (414) 554-8985  
 Email: lovemydawgs@icloud.com

Project Number: 24R-143  
 System Size: 8.61 kWdc  
 Designer: Mike Gietman  
 Phone: 920.838.6610

Site Plan

Revision: 1 Date: 7.11.24

Page A.2



LaBuddle- 8.61 kWdc,  
6.62 kWac, Fox Point

Conductor Schedule									Conduit Schedule	
ID	Sets	Phase Quantity	Color & Size	Insulation	Material	Voltage Drop	Neutral	Ground	Size	Type
ACC-01	1	2	BR #12 AWG	Trunk Cable	Cu	.61%	-	#10 THWN Cu	-	-
ACC-02	1	2	BR #10 AWG	THWN	Cu	.38%	-	#10 THWN Cu	3/4"	EMT
ACC-03	1	2	BR #8 AWG	THWN	Cu	.31%	#8 THWN Cu	#10 THWN Cu	3/4"	EMT
ACC-04	1	2	BR 2/0 AWG	THWN	Cu	.05%	2/0 THWN Cu	-	2"	EMT

Module Specifications	
Rec Solar 410AA Pure-R (QTY:21)	
STC Rating	410 W
Vmp	49.4 V
Imp	8.30 A
Voc	59.2 V
Isc	8.84 A

Array Specifications (8.61 kWdc Total)		
1 String of 11 Modules / 1 String of 10 Modules		
Max DC Power Rating	4.51 kW	4.10 kW
Operating AC Voltage	240 V	240 V
Operating AC Current	14.41 A	13.1 A
Max AC System Voltage	240 V	240 V
AC Short Circuit Current	20 A	20 A

Inverter Specifications	
Enphase IQ7X (QTY:21)	
Max AC Power Rating	315W / 6.62 kWac Total
Max DC Input Voltage	79.5 V
Max DC Input Current	10 A
Nominal AC Operating Voltage	240 V
Max AC Operating Current	1.31A Each / 27.51 A Total

Customer: Susan LaBuddle  
Address: 7439 North Fairchild Road  
City: Fox Point  
State: WI  
Zip Code: 53217  
Contact: Susan LaBuddle  
Phone: (414) 554-8985  
Email: lovenydlawgs@icloud.com

Project Number: 24R-143  
System Size: 8.61 kWdc

Designer: Mike Gietman  
One Line Diagram

Revision: 1 Date: 7.11.24

**STRUCTURAL CERTIFICATION REPORT***Roof-mounted Solar Panels*

July 08, 2024

**To: Arch Solar**  
1237 Pilgrim Road  
Plymouth, WI 53073**Re: Susan LaBudde**  
7439 N Fairchild Rd  
Fox Point, WI 53217  
AHJ: **Milwaukee (County), WI**

Arch Solar proposes to install new roof-mounted solar panels at this residence and asked *Right Angle Engineering* to review the existing structure for suitability. This letter summarizes the methods that were used to survey, evaluate, and certify the existing roof framing and the attachment of the new solar panels to it.

**STRUCTURAL DESIGN**

Building Code: International Residential Code 2018  
Design Standards: ASCE 7-16  
Snow: Ground:  $p_g = 30.0$  psf | Flat Roof:  $p_f = 20.79$  psf | Sloped Roof:  $p_s = 15.25$  psf  
Wind: Ultimate Wind Speed = 106.0 mph | Exposure = C  
Seismic: Risk Category = 2 | Seismic Design Category = B | Site Class = D

**STRUCTURE**

Field Technicians from *Arch Solar* visited the site and observed the existing structure :

Array Name	Panel Quantity	Roof Framing	Material	Pitch
Array 1	21	2x6 Rafter   16" o.c.	Asphalt Shingles	26°

**ANCHORAGE**

The solar panel anchorage shall be installed according to the manufacturer's most current installation manual. The attachment configuration should match the certified building plans. The solar panels should be mounted parallel (max 5 inches) to the roof surface.

Array Name	Connection Type	Fastener	Max Anchorage Spacing
Array 1	Halo UltraGrip (HUG)	(2) #14 Wood Screws (2.5" embedment) into roof substructure	48"

**Installation Instructions**

Solar panels and the equipment shall be installed per the manufacturer's installation specifications. Improper installation will void this certification. If deviations from the approved structural plans occur, Right Angle Engineering must be notified. Prior to installation, the installer should:

- Confirm that the existing structure matches the information provided in the site survey, the approved installation plans and this certification.
- Identify discrepancies between this certification and the approved installation plans. If found, then this certification shall govern.
- Identify structural elements that are dangerous (cracked, broken, excessive sag, signs of overstress, rot, decay, fire, water). If found, installation shall cease until those elements are adequately abated and made to comply with the referenced building code.
- Verify that both the existing structure and the solar addition has been permitted through the AHJ.

### STRUCTURAL CERTIFICATION

I certify the addition of solar panels on the roof of this structure does not cause the structure to become unsafe or make it generally less compliant with the life-safety requirements of the referenced building code. Based on the evaluation methods described below, for the loads that exist at this site, the existing framing will safely support the new solar panels if they are installed and attached correctly. Electrical design is not included in this certification.

Array Name	Certification Method	Retrofits
Array 1	Stress analysis International Residential code	None required

Regards,



07/08/2024

Robert D. Smythe, P.E.  
Right Angle Engineering

# Job Details

Roof Snow Load - ASCE 7-16	
<b>Ground Snow Load (<math>p_g</math>)</b> <i>Section 7.2</i>	30.0 psf
<b>Exposure Factor (<math>C_e</math>)</b> <i>Table 7.3-1</i>	0.9
<b>Thermal Factor (<math>C_t</math>)</b> <i>Table 7.3-2</i>	1.1
<b>Importance Factor (<math>I_s</math>)</b> <i>Table 1.5-2</i>	1
<b>Flat Roof Snow Load (<math>p_f</math>)</b> <i>Equation 7.3-1</i>	20.79 psf
<b>Non-Slippery Surface Slope Factor (<math>C_s</math>)</b> <i>Figure 7.4-1</i>	1
<b>Slippery Surface Slope Factor (<math>C_s</math>)</b> <i>Figure 7.4-1</i>	0.73
<b>Roof Snow Load</b> <i>Equation 7.4-1</i>	20.79 psf
<b>Reduced Snow Load (Slippery Surface)</b> <i>Equation 7.4-1</i>	15.25 psf

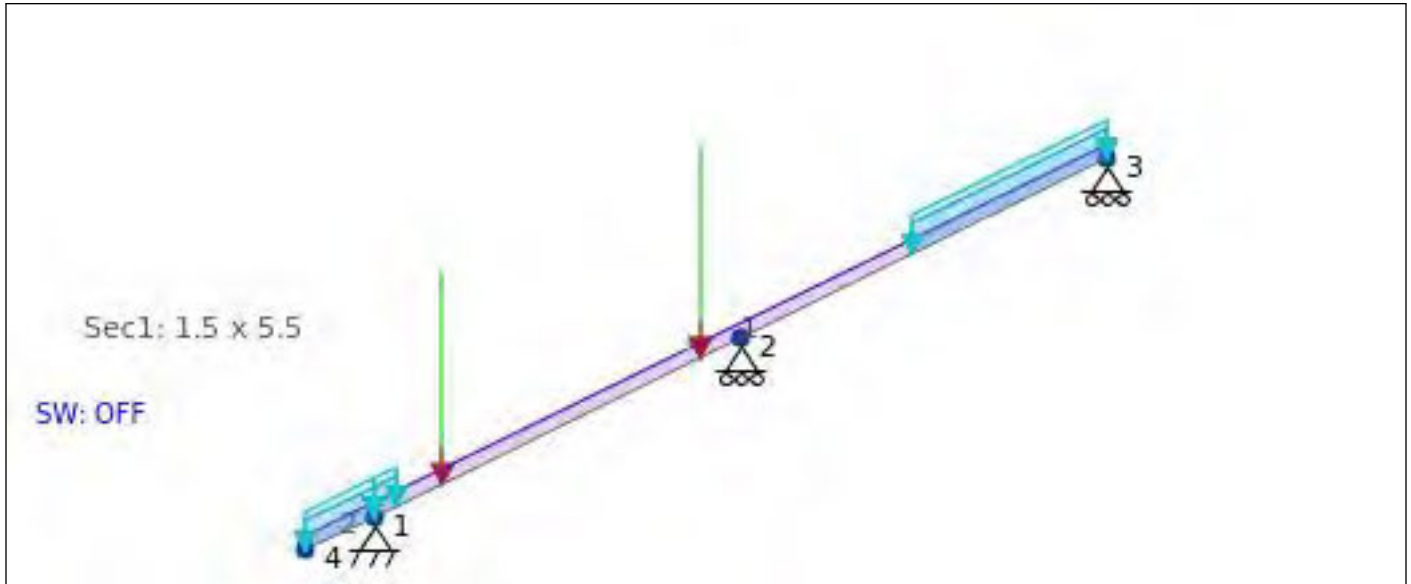
Design Criteria	
<b>Wind Speed (<math>V_{ult}</math>)</b> <i>Local Design Criteria</i>	106.0mph
<b>Exposure Category</b>	C
<b>Risk Category</b>	2
<b>Mean Roof Height</b>	20 ft
<b>Roof Type</b>	Gable Roof
<b>Building Type</b>	Enclosed

Roof Live Load	
<b>Existing Roof Live Load</b> <i>ASCE 7-16 Table 4.3-1</i>	20 psf

<sup>1</sup> Roof Dead Load			
<b>Asphalt Shingles</b>	2.0 psf	<b>No Drywall</b>	0.0 psf
<b>5/8" Plywood Sheathing</b>	2.0 psf	<b>Solar Panel Array</b>	2.74 psf
<b>Roof Framing</b>	2.36 psf	<b>Dead Load Without Panels</b>	7.56 psf
<b>Insulation</b>	1.2 psf		

<sup>1</sup>Roof Dead Load is taken from the worst case scenario dead load from all arrays of the job in order to provide a more conservative evaluation.

# Array 1



Array Details	
Roof Framing	2x6 Rafter <i>SPF No. 1/ No. 2</i>
Spacing	16.0"
Beam Span	8.0', 8.0'
Roof Pitch	26°
Panel Quantity	21
Panel Array Area	454.34 ft <sup>2</sup>
Panel Orientation	Portrait
Lag Screw Embedment	2.5"
Roof Attachment Type	Halo UltraGrip (HUG) (2) #14 Wood Screws
Shear Capacity <i>Ironridge testing</i>	368.0 lbs
Pullout Capacity <i>Ironridge testing</i>	1004.0 lbs
Velocity Pressure <i>Equation 26.10-1 (K<sub>z</sub>=0.9, K<sub>ht</sub>=1, K<sub>d</sub>=0.85, K<sub>e</sub>=0.98)</i>	21.5 psf

GCP Zones	1/2e	2n/2r /3e	3r
<b>GC<sub>p</sub></b> <i>Figure 30.3-(2A-5B)</i>	-1.48	-2.13	-2.4
<b>Design Pressure Up [psf]</b> <i>Equation 29.4-7 γ<sub>a</sub>=0.53 γ<sub>E</sub>=1.0,</i>	-17.0	-24.4	-27.5
<b>Factored Design Pressure Up [psf]</b> <i>ASD LC (.6D + .6W)</i>	-8.7	-13.2	-15.0
<b>Exposed Design Pressure Up [psf]</b> <i>γ<sub>a</sub>=0.53 γ<sub>E</sub>=1.5,</i>	-25.4	-36.6	-41.2
<b>Design Pressure Down [psf]</b>	16	16	16
<b>Tributary Area [ft<sup>2</sup>]</b>	46.7	46.7	46.7
<b>Maximum Connection Spacing [in]</b>	179	179	179
<b>Maximum Rail Span [in]</b>	48	48	48
<b>Maximum Rail Cantilever [in]</b>	16	16	16
<b>Design Connection Spacing [in]</b>	48	48	48
<b>Design Connection Spacing (exposed) [in]</b>	48	48	48

## Design Ratio

Member ID	Axial	Moment <sub>z</sub>	Shear <sub>y</sub>	Combined	Slenderness	Deflection	Status
1	0.019	0.228	0.25	0.247	0.044	0.051	Pass
2	0.005	0.042	0.061	0.046	0.044	0.103	Pass

## Member Design Capacity (LRFD)

Member ID	F <sub>b</sub> <sup>t</sup> (ksi)	F <sub>t</sub> <sup>t</sup> (ksi)	F <sub>v</sub> <sup>t</sup> (ksi)	F <sub>c</sub> <sup>t</sup> (ksi)	F <sub>cp</sub> <sup>t</sup> (ksi)	E' (ksi)	E <sub>min</sub> <sup>t</sup> (ksi)
1	2.259	1.011	0.233	2.186	0.639	1400.0	915.552
2	2.259	1.011	0.233	2.186	0.639	1400.0	915.552

## Node Coordinates

ID	X Coordinate	Y Coordinate
1	0.000	0.000
2	8.000	3.902
3	16.000	7.804
4	-1.500	-0.732

## Members

ID	Node A	Node B	Section	Node A Fixity	Node B Fixity	Length
1	1	3	1	FFFFFF	FFFFFF	17.802
2	4	1	1	FFFFFF	FFFFFF	1.669

## Supports

ID	Node ID	Restraint Code
1	2	RFFRRR
2	3	RFFRRR
3	1	FFFFFF

## Materials

ID	Name	Young's Modulus	Density	Poisson's Ratio
1	NDS - Table 4A - SPRUCE-PINE-FIR - No. 1/ No. 2- 2in & wider	1600.000	33.308	0.400

## Sections

ID	Name	Depth	Width	Shear Area Z	Shear Area Y	Torsion Radius
1	1.5 x 5.5	6.000	1.500	7.502	7.500	1.495

ID	Centroid Y	Centroid Z	Area	Y-Axis Mol	Z-Axis Mol	Torsion Constant
1	0.750	3.000	9.000	1.688	27.000	5.687

## Point Loads

ID	Load Group	Member	Position %	Y Magnitude
1	Solar-Snow	1	9.375%	-0.152
2	Solar	1	9.375%	-0.025
3	Solar-Snow	1	44.521%	-0.152
4	Solar	1	44.521%	-0.025

## Member Distributed Loads

ID	Load Group	Start Position	End Position	Member	Y Magnitude
1	Dead Load	0.000%	100.000%	2	-0.010
2	Dead Load	0.000%	100.000%	1	-0.010
3	Roof Live Load	0.000%	100.000%	2	-0.021
4	Roof Live Load	0.000%	3.125%	1	-0.021
5	Roof Live Load	73.417%	100.000%	1	-0.021
6	Snow Load	0.000%	100.000%	2	-0.028
7	Snow Load	0.000%	3.125%	1	-0.028
8	Snow Load	73.417%	100.000%	1	-0.028

## Load Combinations

ID	Name	Dead Load Factor	Snow Load Factor	Solar Factor	Solar-Snow Factor	Roof Live Load Factor
1	1. 1.4D	1.4	0	1.4	0	0
2	3. 1.2D + 1.6Lr	1.2	0	1.2	0	1.6
3	3. 1.2D + 1.6S	1.2	1.6	1.2	1.6	0
4	4. service loads A	0	1	0	1	0
5	5. service loads B	0	0	0	0	1

### Internal Member Forces and Moments

Member	Axial Force (Min/Max)	Shear Force Y (Min/Max)	Shear Force Z (Min/Max)	Torsion (Min/Max)	Bending Moment Y (Min/Max)	Bending Moment Z (Min/Max)
1	-0.170 / 0.127	-0.349 / 0.260	0.000 / 0.000	0.000 / 0.000	0.000 / 0.000	-0.387 / 0.318
2	-0.041 / 0.000	-0.085 / 0.000	0.000 / 0.000	0.000 / 0.000	0.000 / 0.000	-0.071 / 0.000

### Member Displacement Span Check

Member	Length	Max Relative Displacement	Span Method 1
1	17.802	0.031	L/3498
2	1.669	0.023	L/871

### Member Stresses

Member	Axial Stress (Min/Max)	Torsion Stress (Min/Max)	Shear Stress Y (Min/Max)	Shear Stress Z (Min/Max)	Top Bending Moment Z (Min/Max)	Bottom Bending Moment Z (Min/Max)
1	-0.019 / 0.014	0.000 / 0.000	-0.058 / 0.043	-0.000 / -0.000	-0.515 / 0.424	-0.424 / 0.515
2	-0.005 / 0.000	0.000 / 0.000	-0.014 / 0.000	0.000 / 0.000	-0.094 / 0.000	0.000 / 0.094

SOLAR'S MOST TRUSTED



# REC ALPHA PURE-R SERIES

## PRODUCT SPECIFICATIONS



COMPACT PANEL SIZE

9 A MODULE CURRENT  
COMPATIBLE WITH MLPE

430 WP  
20.7  $\frac{W}{FT^2}$   
22.3% EFFICIENCY

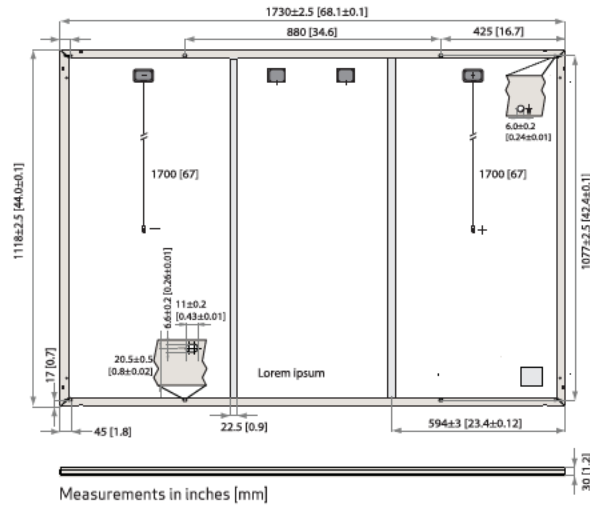


# REC ALPHA PURE-R SERIES

## PRODUCT SPECIFICATIONS

### GENERAL DATA

Cell type:	80 half-cut REC bifacial, heterojunction cells with lead-free, gapless technology
Glass:	0.13 in (3.2 mm) solar glass with anti-reflective surface treatment in accordance with EN 12150
Backsheet:	Highly resistant polymer (black)
Frame:	Anodized aluminum (black)
Junction box:	4-part, 4 bypass diodes, lead-free IP68 rated, in accordance with IEC 62790
Connectors:	Stäubli MC4 PV-KBT4/KST4 (12 AWG) in accordance with IEC 62852, IP68 only when connected
Cable:	12 AWG (4 mm <sup>2</sup> ) PV wire, 67 + 67 in (1.7 + 1.7 m) in accordance with EN 50618
Dimensions:	68.1 x 44.0 x 1.2 in (20.77 ft <sup>2</sup> ) / 1730 x 1118 x 30 mm (1.93 m <sup>2</sup> )
Weight:	47.4 lbs (21.5 kg)
Origin:	Made in Singapore



### ELECTRICAL DATA

#### Product Code\*: RECxxxAA PURE-R

	400	410	420	430
Power Output - P <sub>MAX</sub> (Wp)	400	410	420	430
Watt Class Sorting - (W)	0/+10	0/+10	0/+10	0/+10
Nominal Power Voltage - V <sub>MPP</sub> (V)	48.8	49.4	50.0	50.5
Nominal Power Current - I <sub>MPP</sub> (A)	8.20	8.30	8.40	8.52
Open Circuit Voltage - V <sub>OC</sub> (V)	58.9	59.2	59.4	59.7
Short Circuit Current - I <sub>SC</sub> (A)	8.80	8.84	8.88	8.91
Power Density (W/ft <sup>2</sup> )	19.26	19.74	20.22	20.70
Panel Efficiency (%)	20.7	21.2	21.8	22.3
Power Output - P <sub>MAX</sub> (Wp)	305	312	320	327
Nominal Power Voltage - V <sub>MPP</sub> (V)	46.0	46.6	47.1	47.6
Nominal Power Current - I <sub>MPP</sub> (A)	6.64	6.70	6.80	6.88
Open Circuit Voltage - V <sub>OC</sub> (V)	55.5	55.8	56.0	56.3
Short Circuit Current - I <sub>SC</sub> (A)	7.11	7.16	7.20	7.24

STC

NMOT

Values at standard test conditions (STC: air mass AM 1.5, irradiance 10.75 W/sq ft (1000 W/m<sup>2</sup>), temperature 77°F (25°C), based on a production spread with a tolerance of P<sub>MAX</sub>, V<sub>OC</sub> & I<sub>SC</sub> ±3% within one watt class. Nominal module operating temperature (NMOT: air mass AM 1.5, irradiance 800 W/m<sup>2</sup>, temperature 68°F (20°C), windspeed 3.3 ft/s (1 m/s). \*Where xxx indicates the nominal power class (P<sub>MAX</sub>) at STC above.

### MAXIMUM RATINGS

Operational temperature:	-40...+85°C
System voltage:	1000 V
Test load (front):	+7000 Pa (146 lbs/ft <sup>2</sup> )*
Test load (rear):	-4000 Pa (83.5 lbs/ft <sup>2</sup> )*
Series fuse rating:	25 A
Reverse current:	25 A

\*See installation manual for mounting instructions. Design load = Test load / 1.5 (safety factor)

### WARRANTY

	Standard	REC ProTrust	
Installed by an REC Certified Solar Professional	No	Yes	Yes
System Size	All	<25 kW	25-500 kW
Product Warranty (yrs)	20	25	25
Power Warranty (yrs)	25	25	25
Labor Warranty (yrs)	0	25	10
Power in Year 1	98%	98%	98%
Annual Degradation	0.25%	0.25%	0.25%
Power in Year 25	92%	92%	92%

See warranty documents for details. Conditions apply

Available from:

### CERTIFICATIONS

IEC 61215:2016, IEC 61730:2016, UL 61730	
IEC 62804	PID
IEC 61701	Salt Mist
IEC 62716	Ammonia Resistance
UL 61730	Fire Type 2
IEC 62782	Dynamic Mechanical Load
IEC 61215-2:2016	Hailstone (35mm)
IEC 62321	Lead-free acc. to RoHS EU 863/2015
ISO 14001, ISO 9001, IEC 45001, IEC 62941	



### TEMPERATURE RATINGS\*

Nominal Module Operating Temperature:	44°C (±2°C)
Temperature coefficient of P <sub>MAX</sub> :	-0.24 %/°C
Temperature coefficient of V <sub>OC</sub> :	-0.24 %/°C
Temperature coefficient of I <sub>SC</sub> :	0.04 %/°C

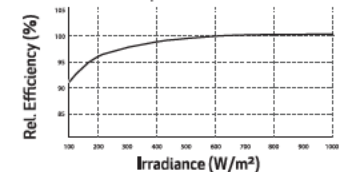
\*The temperature coefficients stated are linear values

### DELIVERY INFORMATION

Panels per pallet:	33
Panels per 40 ft GP/high cube container:	858 (26 pallets)
Panels per 53 ft truck:	858 (26 pallets)

### LOW LIGHT BEHAVIOUR

Typical low irradiance performance of module at STC:



Founded in 1996, REC Group is an international pioneering solar energy company dedicated to empowering consumers with clean, affordable solar power. As Solar's Most Trusted, REC is committed to high quality, innovation, and a low carbon footprint in the solar materials and solar panels it manufactures. Headquartered in Norway with operational headquarters in Singapore, REC also has regional hubs in North America, Europe, and Asia-Pacific.

REC Solar PTE. LTD.  
20 Tuas South Ave. 14  
Singapore 637312  
post@recgroup.com  
www.recgroup.com





# IQ7X Microinverter

The high-powered, smart grid-ready IQ7X Microinverter dramatically simplifies the installation process while achieving the highest system efficiency for systems with 96-cell modules.



Part of the Enphase Energy System, the IQ7X Microinverter integrates with the IQ Gateway, IQ Battery, and the Enphase Installer App monitoring and analysis software.



The IQ Series Microinverters extend the reliability standards set forth by previous generations and undergo over a million hours of power-on testing, enabling Enphase to provide an industry-leading warranty of up to 25 years.\*



Connect PV modules quickly and easily to IQ7X Microinverters using the included Q-DCC-2 adapter cable with plug-and-play MC4 connectors.



IQ7X Microinverters are UL Listed as PV rapid shutdown equipment and conform with various regulations when installed according to the manufacturer's instructions.

### Easy to install

- Lightweight and simple
- Faster installation with improved, lighter two-wire cabling
- Built-in rapid shutdown compliant (NEC 2014, 2017, 2020, and 2023)

### Efficient and reliable

- Optimized for high powered 96-cell modules
- Highest CEC efficiency of 97.5%
- More than a million hours of testing
- Class II double-insulated enclosure
- UL Listed

### Smart grid-ready

- Complies with advanced grid support, voltage, and frequency ride-through requirements
- Remotely updates to respond to changing grid requirements
- Configurable for varying grid profiles
- Meets CA Rule 21 (UL 1741-SA) and IEEE 1547:2018 (UL 1741-SB, 3<sup>rd</sup> Ed.)

\* 25-year warranty is valid, provided an internet-connected IQ Gateway is installed.

To learn more about Enphase offering, visit [Enphase.com](https://enphase.com)

# IQ7X Microinverters

INPUT DATA (DC)		UNITS	IQ7X-96-2-US	
Commonly used module pairings <sup>1</sup>		W	320–460	
Module compatibility		—	To meet compatibility, PV modules must be within the following maximum input DC voltage and maximum module $I_{sc}$ . Module compatibility can be checked at <a href="https://enphase.com/installers/microinverters/calculator">https://enphase.com/installers/microinverters/calculator</a> .	
MPPT voltage range		V	53–64	
Operating range		V	25–79.5	
Minimum/Maximum start voltage		V	33/79.5	
Maximum input DC voltage		V	79.5	
Maximum continuous input DC current		A	6.5	
Maximum module $I_{sc}$		A	10	
Oversoltage class DC port		—	II	
DC port backfeed current		mA	0	
PV array configuration		—	1x 1 ungrounded array; no additional DC side protection required; AC side protection requires a maximum of 20 A per branch circuit.	
OUTPUT DATA (AC)		UNITS	IQ7X-96-2-US@240 VAC	IQ7X-96-2-US@208 VAC
Peak output power		VA	320	
Maximum continuous output power		VA	315	
Nominal grid voltage (L-L)		V	240, split-phase (L-L), 180°	208, single-phase (L-L), 120°
Minimum and Maximum grid voltage <sup>2</sup>		V	211–264	183–229
Maximum continuous output current		A	1.31	1.51
Nominal frequency		Hz	60	
Extended frequency range		Hz	49–68	
AC short-circuit fault current over three cycles		$A_{rms}$	5.8	
Maximum units per 20 A (L-L) branch circuit <sup>3</sup>		—	12	10
Oversoltage class AC port		—	III	
AC port backfeed current		mA	18	
Power factor setting		—	1.0	
Grid-tied power factor (adjustable)		—	0.85 leading ... 0.85 lagging	
CEC weighted efficiency		%	97.5	97.0
MECHANICAL DATA		UNITS		
Ambient temperature range		°C (°F)	–40 to 60 (–40 to 140)	
Relative humidity range		%	4 to 100 (condensing)	
DC connector type		—	MC4 (or Amphenol H4 UTX with additional Q-DCC-5 adapter)	
Dimensions (H × W × D)		mm (in)	212 (8.3) × 175 (6.9) × 30.2 (1.2)	
Weight		kg (lbs)	1.1 (2.4)	
Cooling		—	Natural convection—no fans	
Approved for wet locations		—	Yes	
Pollution degree		—	PD3	
Enclosure		—	Class II double-insulated, corrosion-resistant polymeric enclosure	
Environmental category/UV exposure rating		—	NEMA Type 6/Outdoor	
COMPLIANCE				
Compliance	CA Rule 21 (UL 1741-SA), IEEE 1547:2018 (UL 1741-SB 3 <sup>rd</sup> Ed.), HEI Rule 14H SRD 2.0 UL 62109-1, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV rapid shutdown equipment and conforms with NEC 2014, NEC 2017, NEC 2020, and NEC 2023 section 690.12 and C22.1-2015, Rule 64-218 rapid shutdown of PV Systems for AC and DC conductors when installed according to the manufacturer's instructions.			

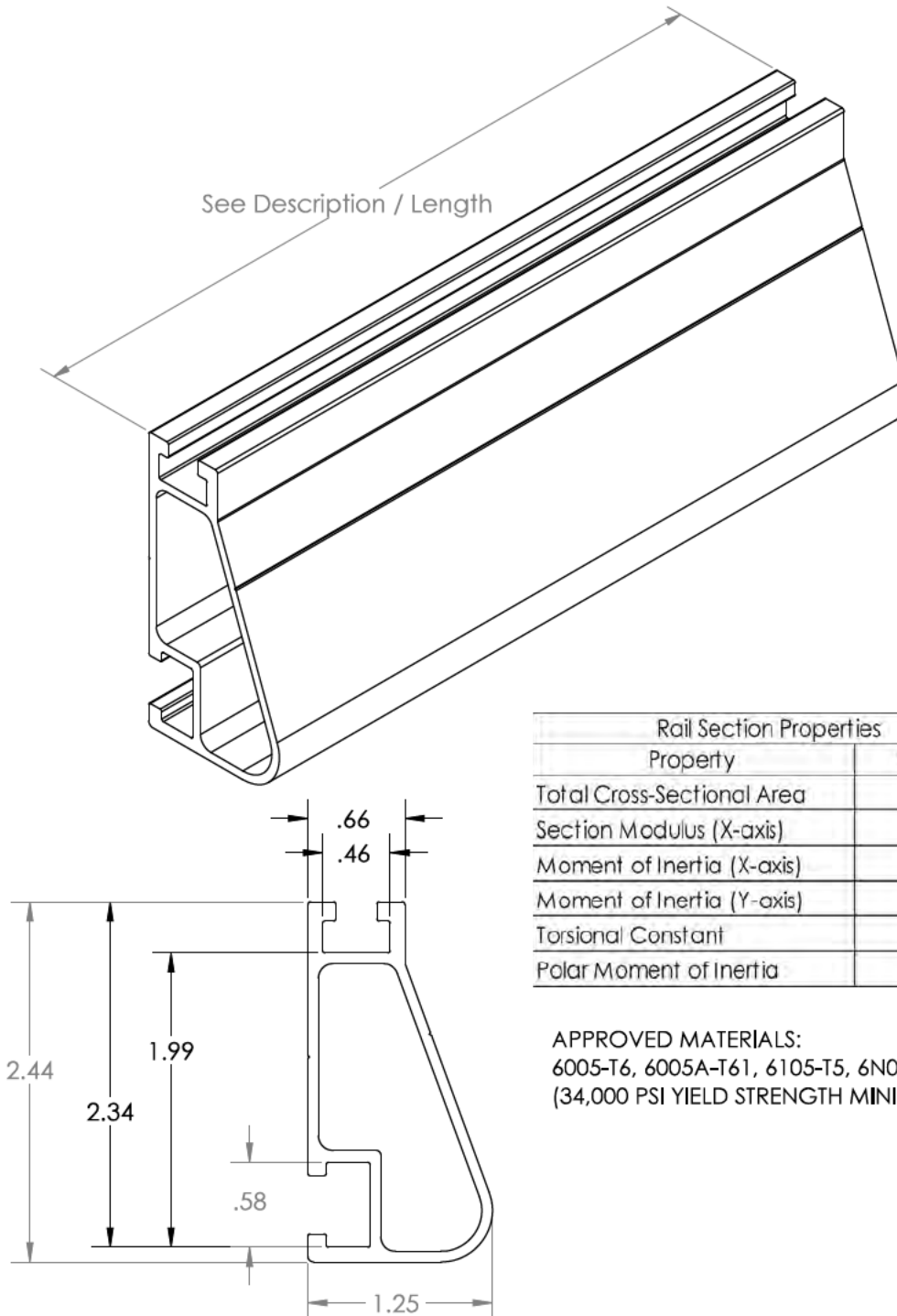
(1) Pairing PV modules with wattage above the limit may result in additional clipping losses.

(2) Nominal voltage range can be extended beyond nominal if required by the utility.

(3) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

# Revision history

REVISION	DATE	DESCRIPTION
DSH-00208-2.0	November 2023	Included NEC 2023 specification in the "Compliance" section.
DSH-00208-1.0	September 2023	Updated module compatibility specification.
Previous releases.		



Rail Section Properties

Property	Value
Total Cross-Sectional Area	0.582 in <sup>2</sup>
Section Modulus (X-axis)	0.297 in <sup>3</sup>
Moment of Inertia (X-axis)	0.390 in <sup>4</sup>
Moment of Inertia (Y-axis)	0.085 in <sup>4</sup>
Torsional Constant	0.214 in <sup>3</sup>
Polar Moment of Inertia	0.126 in <sup>4</sup>

## APPROVED MATERIALS:

6005-T6, 6005A-T61, 6105-T5, 6N01-T6  
(34,000 PSI YIELD STRENGTH MINIMUM)

Clear Part Number	Black Part Number	Description / Length	Material	Weight
XR-100-132A	XR-100-132B	XR100, Rail 132" (11 Feet)	6000-Series Aluminum	7.50 lbs.
XR-100-168A	XR-100-168B	XR100, Rail 168" (14 Feet)		9.55 lbs.
XR-100-204A	XR-100-204B	XR100, Rail 204" (17 Feet)		11.60 lbs.



**VILLAGE OF FOX POINT**  
 7200 N Santa Monica Blvd  
 Fox Point, WI 53217  
 (414) 247-6622  
 www.villageoffoxpoint.com

**Permit Number:**

**B-** \_\_\_\_\_

OFFICE USE ONLY	
Issued Date	
Zoning	

**BUILDING PERMIT**

<b>Job Address</b> 7855 N. CLUB CIRCLE	<b>Building Type:</b> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
<b>Description of Work</b>	
NEW WINDOW EXTERIOR AWNING	
<b>Estimated Cost of Project</b> \$10,000	

<b>Owner/Occupant</b> CLUB CIRCLE, LLC	
Business Name N/A	Contact Name DAVID SADOFF
Address 7855 N. CLUB CIRCLE	City/State/Zip FOX POINT, WI 53217
Phone 414-559-1549	Email dsadoff@gmail.com

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

<b>Contractor</b>	
Company Name KLEIBER CONSTRUCTION	Contact Name BEN ENGLEBERT
Address N5805 County Road M	City/State/Zip Plymouth, WI 53073
Phone (920) 550-2122	Email Ben@kleiberconstruction.com
Dwelling Contractor # 1252202	Dwelling Contractor Qualifier # 1252264

Square Footage Under Construction				
1 <sup>st</sup> Floor	2 <sup>nd</sup> Floor	Basement	Addition	Garage
33 SF				

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	100
Building Board	\$75.00	75
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	<b>Minimum Fee</b>	<b>\$70.00</b>
Payable to: Village of Fox Point	<b>Total Permit Fee</b>	<b>\$ 175</b>

**Applicant Signature** \_\_\_\_\_ *[Signature]* **Date** 7-30-2024

Rev 01/22

**ISSUED PERMITS** are available on the Village website under **PERMITS & LICENSES**



**VILLAGE OF FOX POINT**

7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 247-6622  
www.villageoffoxpoint.com

**CAUTIONARY STATEMENT TO OWNERS  
OBTAINING BUILDING PERMITS**

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

**Wetlands Notice to Permit Applicants**

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

**Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil**

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

CLUB CIRCLE, LLC

7855 N. CLUB CIRCLE

Homeowner's Name – PRINTED

Property Address

7-30-2024

Homeowner's Signature

Date

VILLAGE OF FOX POINT  
7200 N. SANTA MONICA BLVD  
FOX POINT WI 53217

414-351-8900

Receipt No: 1.060591

Jul 31, 2024

7855 N CLUB CIR

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING PLANS-FILING FEE	

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Total:	75.00
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CHECK	Check No: 249	75.00
Payor: JEREMY HARTLINE ARCHITECT LLC		
Total Applied:		75.00

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Change Tendered:	.00
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Duplicate Copy

07/31/2024 11:14 AM

**JEREMY HARTLINE ARCHITECT, LLC**

324 REGATTA DRIVE  
PORT WASHINGTON, WI 53074  
(262) 416-8307 [jeremyhartline@gmail.com](mailto:jeremyhartline@gmail.com)  
[www.jeremyhartline.com](http://www.jeremyhartline.com)

**PROJECT: 7855 N. CLUB CIRCLE    EXTERIOR PHOTOS**

**North (Front) - Main Dwelling**



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**PROJECT: 7855 N. CLUB CIRCLE    EXTERIOR PHOTOS**

**North (Front) - Attached Garage**



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**PROJECT: 7855 N. CLUB CIRCLE    EXTERIOR PHOTOS**

**North (Front) - Windows at new proposed awning**



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**PROJECT: 7855 N. CLUB CIRCLE    EXTERIOR PHOTOS**

**East - Main Dwelling**



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**PROJECT: 7855 N. CLUB CIRCLE    EXTERIOR PHOTOS**

**East - Main Dwelling**

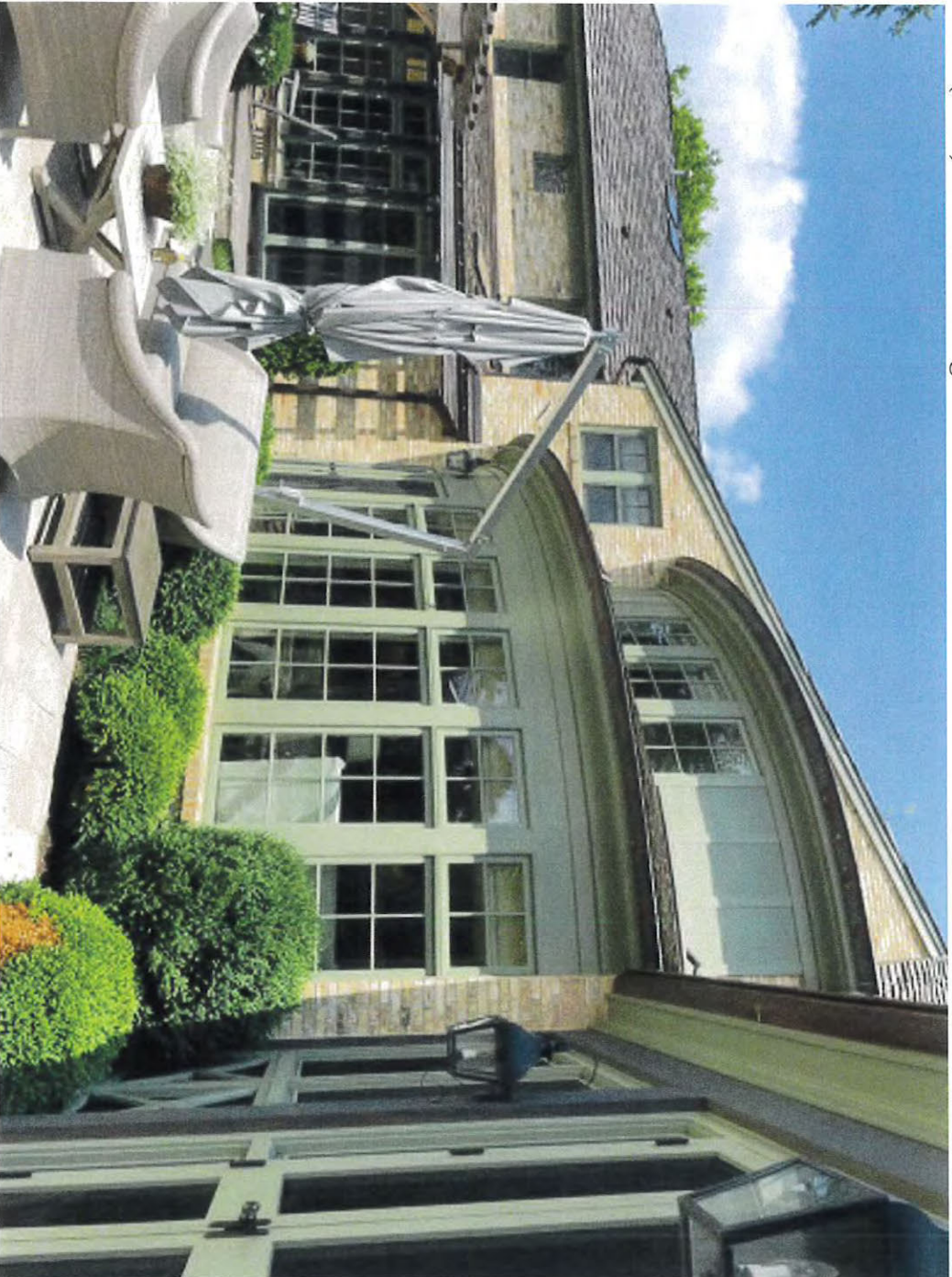


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**PROJECT: 7855 N. CLUB CIRCLE    EXTERIOR PHOTOS**

**South (Rear) - Main Dwelling**



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**PROJECT: 7855 N. CLUB CIRCLE    EXTERIOR PHOTOS**

**South (Rear) - Main Dwelling**



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**PROJECT: 7855 N. CLUB CIRCLE    EXTERIOR PHOTOS**

**East & South (Rear) - West wing**



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[www.jeremyhartline.com](http://www.jeremyhartline.com)

**PROJECT: 7855 N. CLUB CIRCLE    EXTERIOR PHOTOS**

**West - Main Dwelling**



**JEREMY HARTLINE ARCHITECT, LLC**

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www.jeremyhartline.com

**PROJECT: 7855 N. CLUB CIRCLE EXTERIOR PHOTOS**

**West - Main Dwelling**

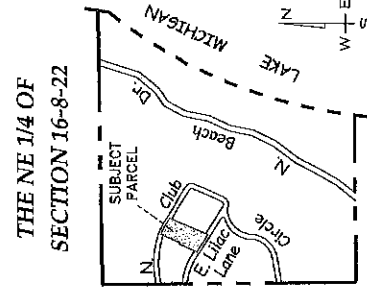


MILWAUKEE COUNTY CERTIFIED SURVEY MAP NO. \_\_\_\_\_

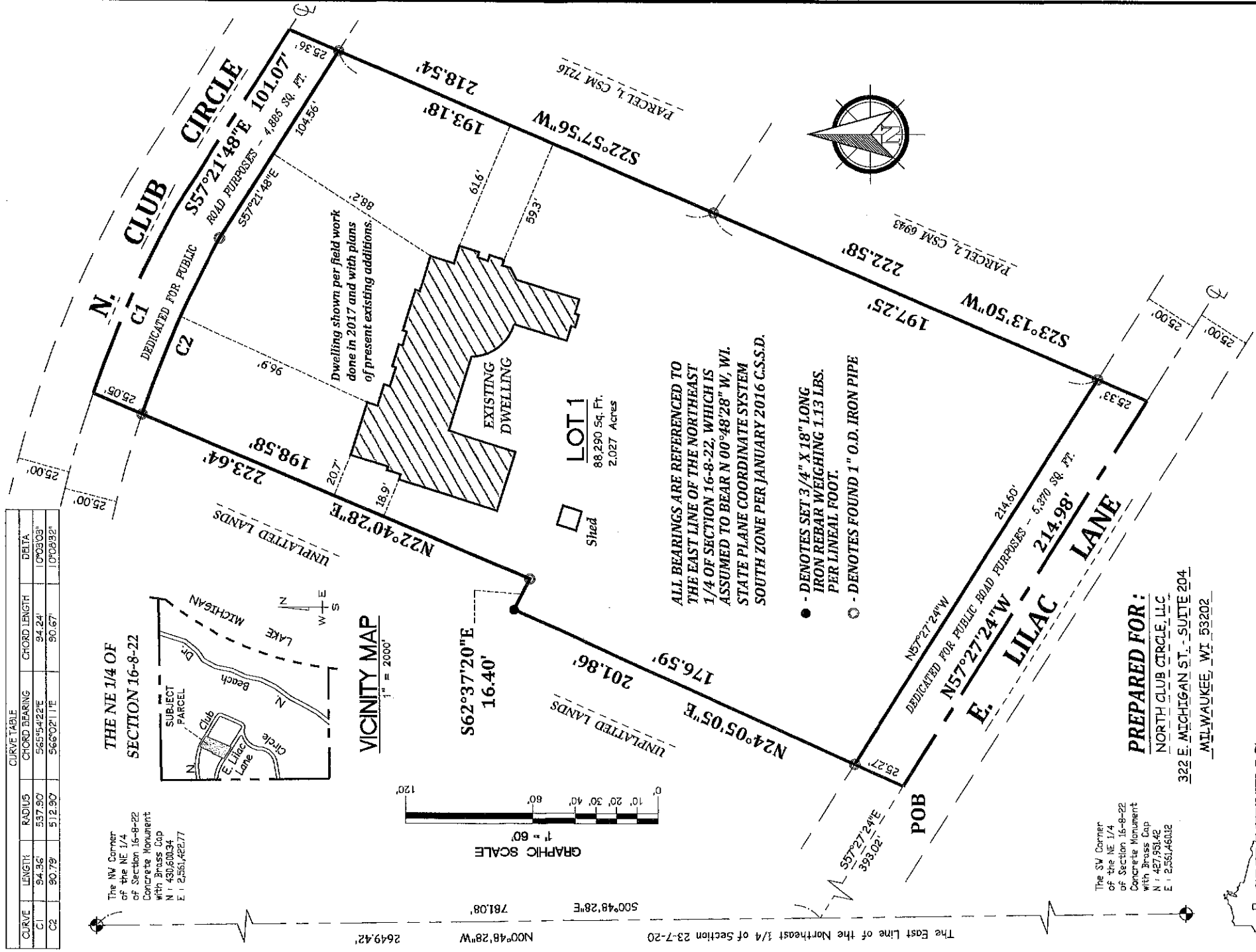
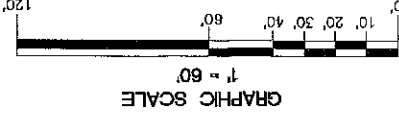
BEING A DIVISION OF A PART OF LOT 2 OF THE NORTHWEST 1/4 OF SECTION 16, TOWN 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN.

CURVE TABLE			
CURVE	LENGTH	RADIUS	CHORD BEARING
C1	94.36	537.90	S65°54'22"E
C2	90.79	512.90	S66°02'11"E
			DELTA
			1°03'03"
			1°08'32"

The NW Corner of the NE 1/4 of Section 16-8-22 Concrete Monument with Brass Cap N = 430.60834 E = 2,561,422.77

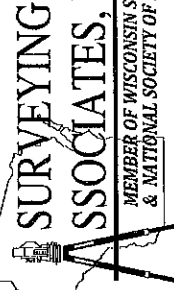


VICINITY MAP  
1" = 2000'



The SW Corner of the NE 1/4 of Section 16-8-22 Concrete Monument with Brass Cap N = 427,934.42 E = 2,561,460.02

PREPARED FOR:  
NORTH CLUB CIRCLE, LLC  
322 E. MICHIGAN ST. - SUITE 204  
MILWAUKEE, WI 53202



2554 N. 100TH STREET  
P.O. BOX 26596  
WAUWATOSA, WISCONSIN 53226  
(414) 257-2212 FAX: (414) 257-2443  
sai@wi.ltr.com

MARC C. PASSARELLI P.L.S. # 2817



2 NORTH ELEVATION - OPTION 2

1/4" = 1'-0"



1 NORTH ELEVATION - OPTION 1

1/4" = 1'-0"

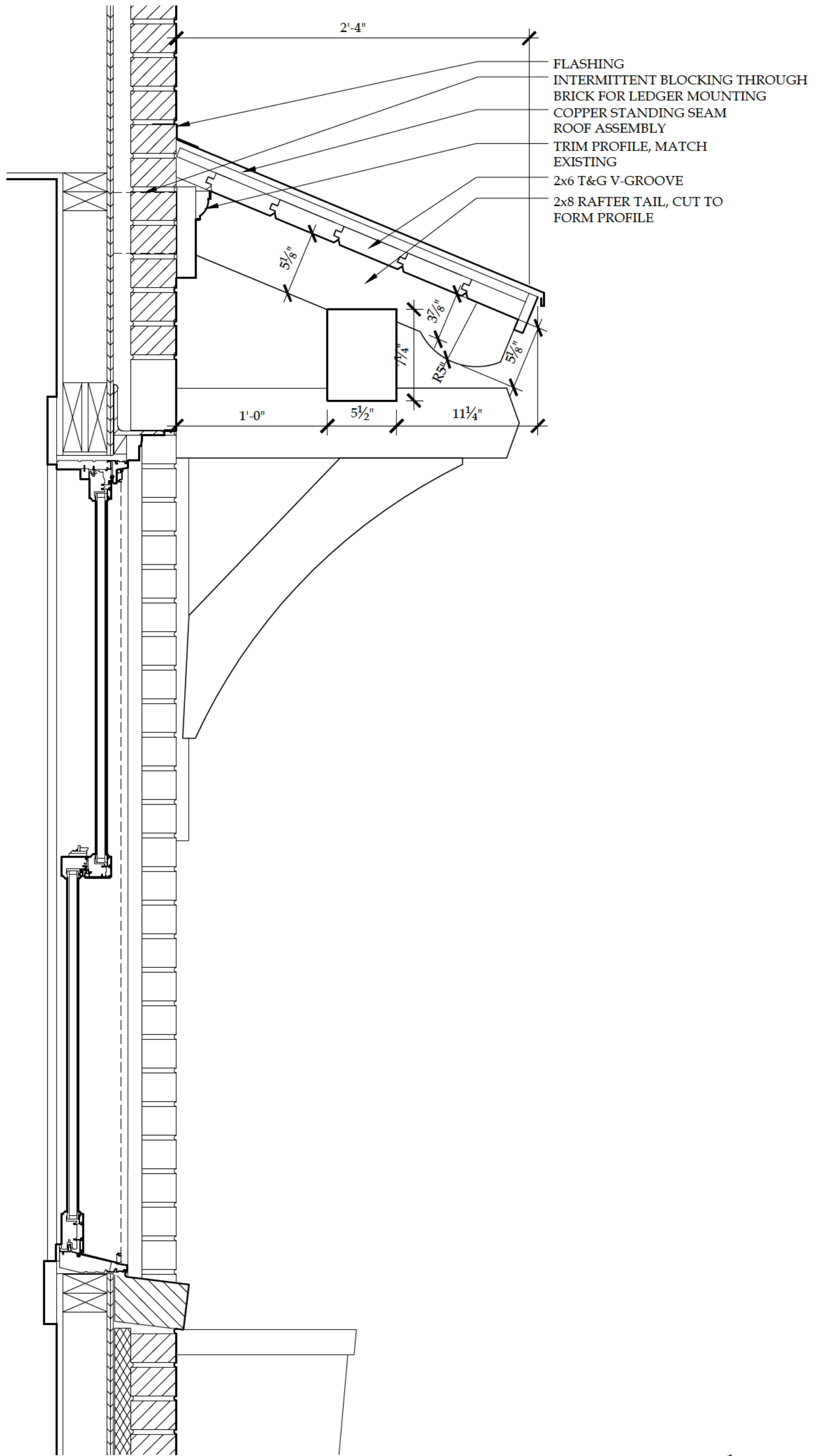
REVISIONS	BY



**Sadoff Renovation**  
 7855 N. Club Circle  
 Fox Point, WI 53217

DATE: 6-12-2024  
 DRAWN BY: J. HARTLINE  
 PROJECT NO.:

SHEET  
**14**  
 OF 14 SHEETS



- FLASHING
- INTERMITTENT BLOCKING THROUGH BRICK FOR LEDGER MOUNTING
- COPPER STANDING SEAM
- ROOF ASSEMBLY
- TRIM PROFILE, MATCH EXISTING
- 2x6 T&G V-GROOVE
- 2x8 RAFTER TAIL, CUT TO FORM PROFILE

KITCHEN WINDOW CANOPY ROOF w/ BRACKETS

1 1/2" = 1'-0"



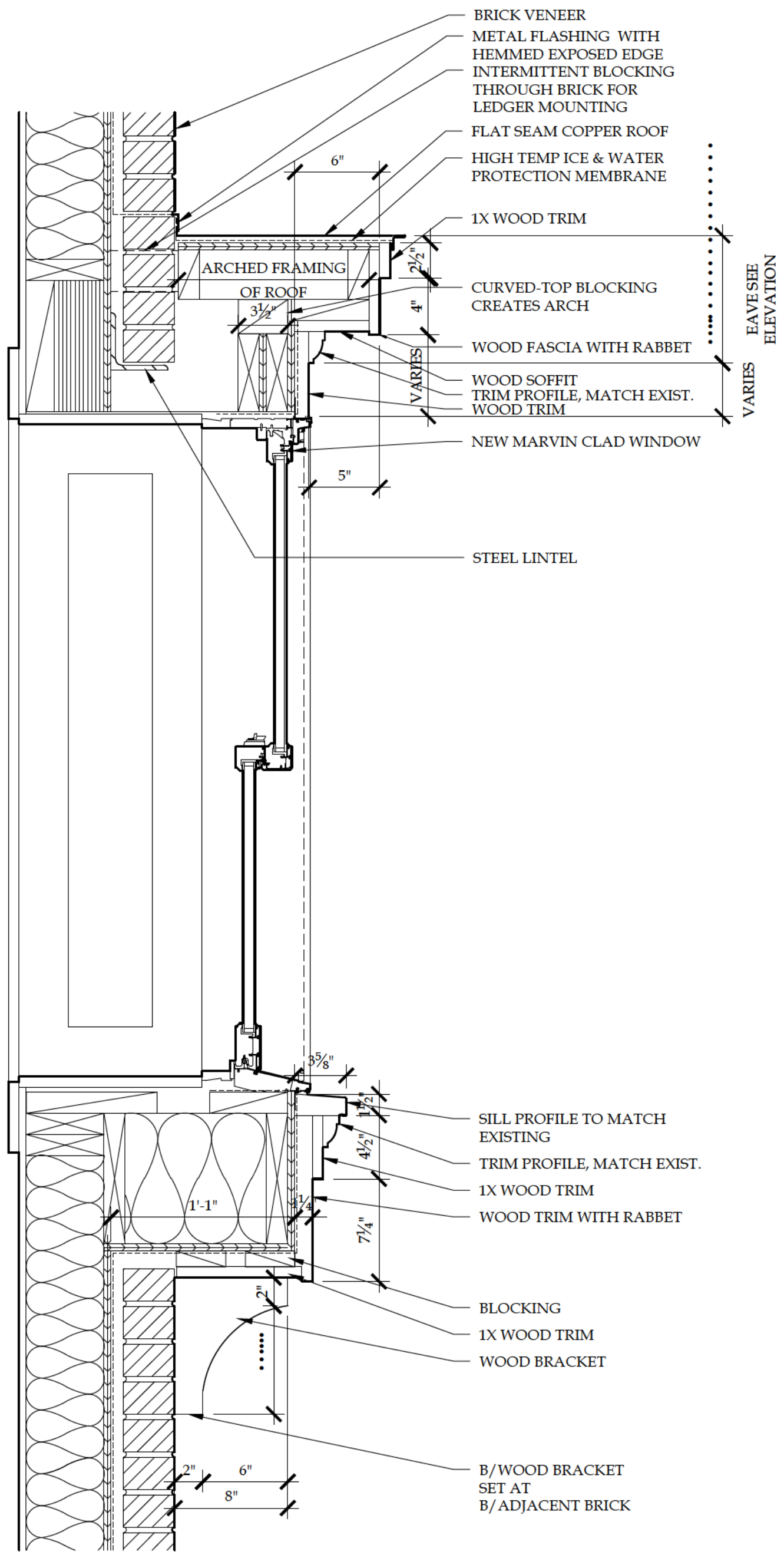
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 www.jeremyhartline.com

*Sadoff Renovation*

DRAWN BY J. HARTLINE

DATE 6-18-2024

SHEET **1** of 2



BEDROOM #3 BOX BAY w/ ARCH TOP

1 1/2" = 1'-0"



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*Sadoff Renovation*

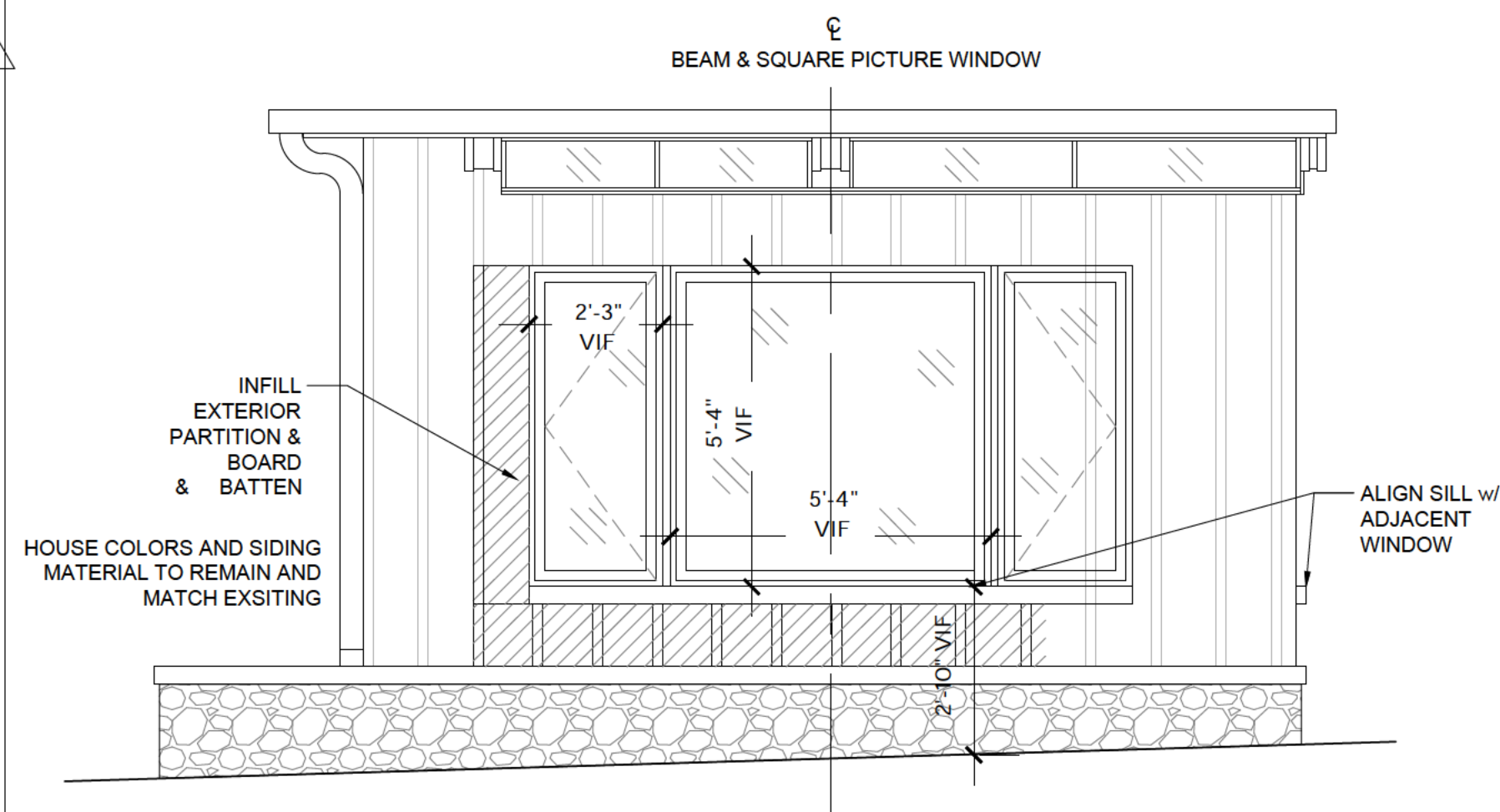
DRAWN BY	J. HARTLINE
DATE	6-18-2024
SHEET	2 of 2

1



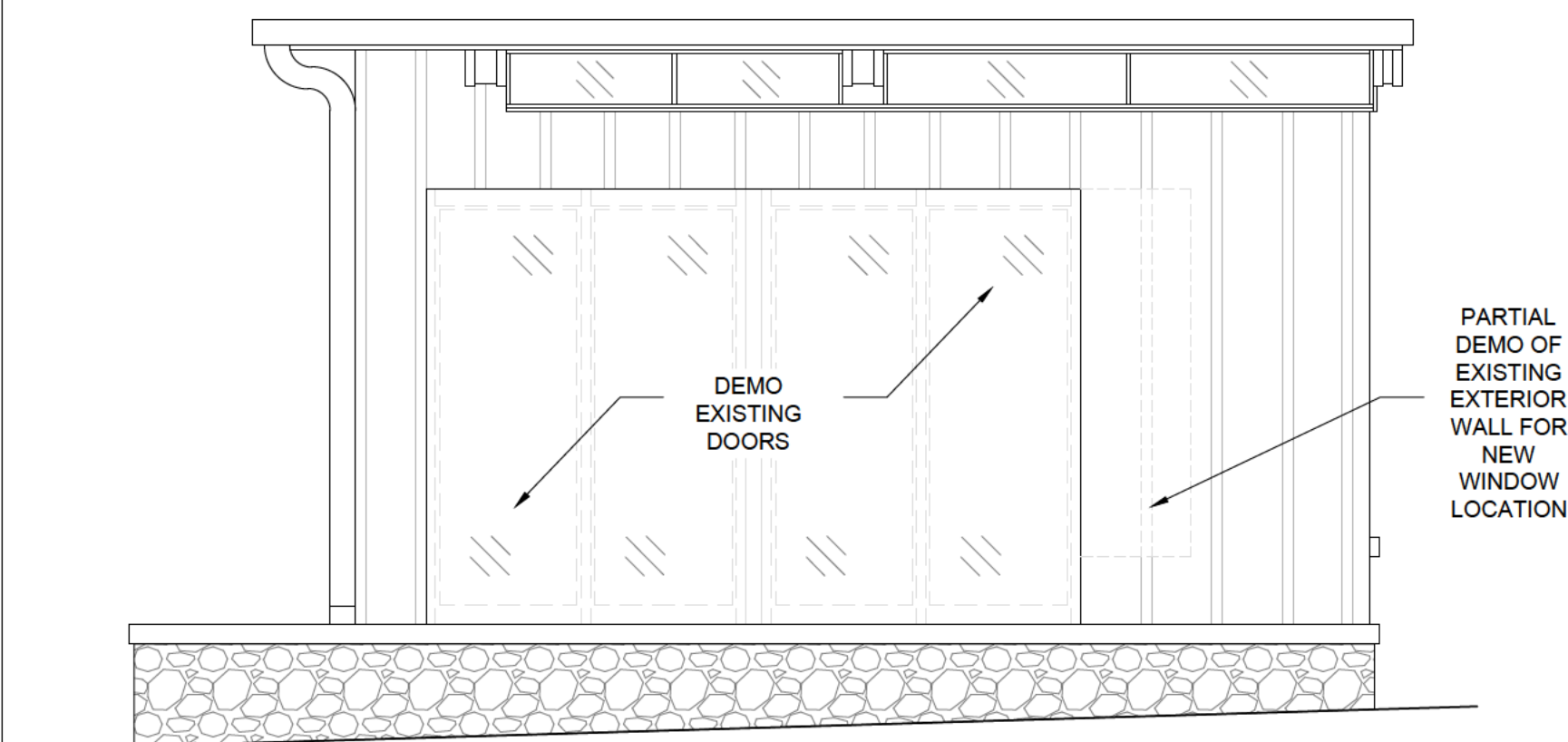
EXISTING FRONT OF BLDG @ FAMILY RM PHOTO

2



07 NEW FRONT OF BLDG ELEVATION @ FAMILY RM

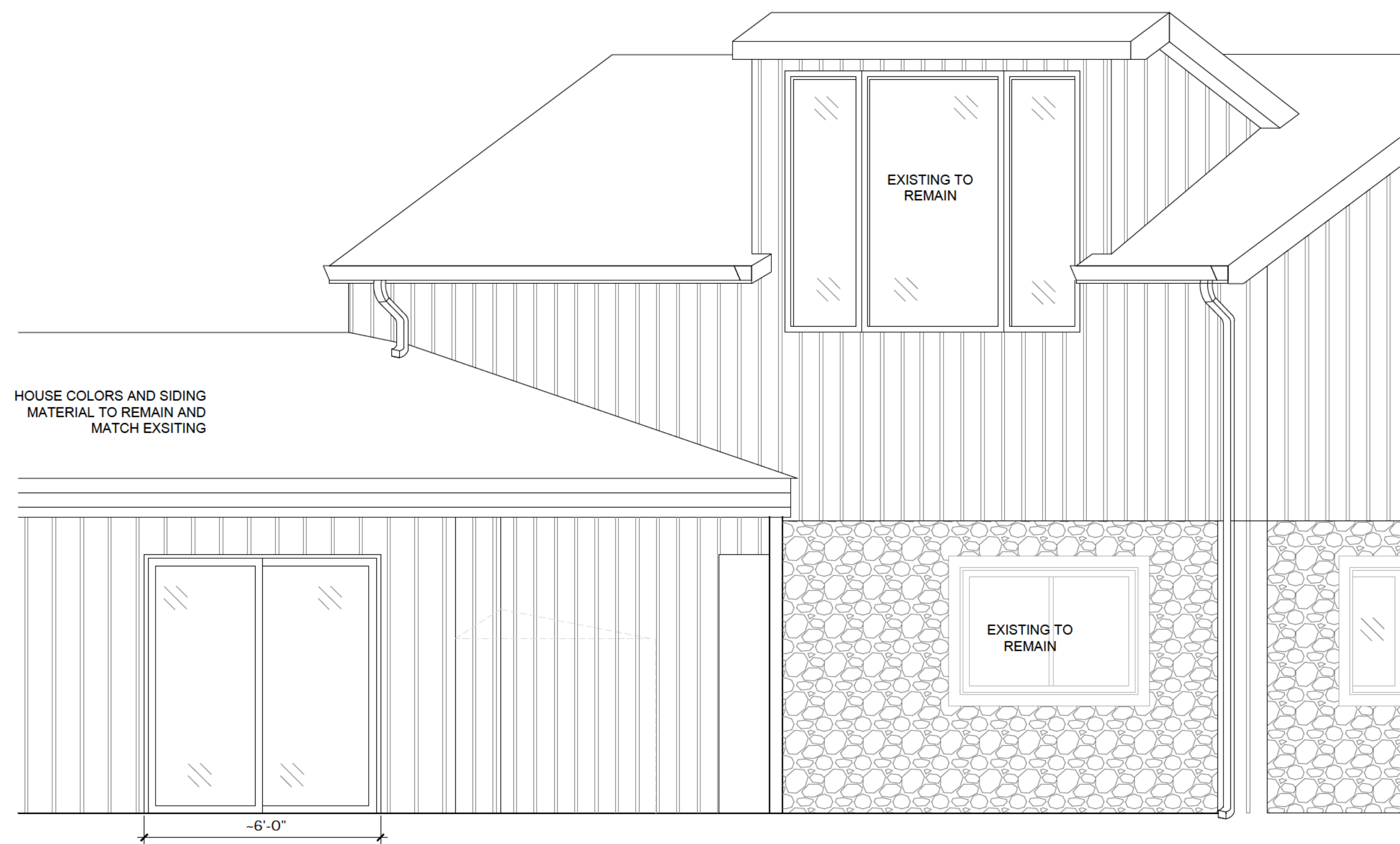
06



EXISTING FRONT ELEVATION OF BLDG @ FAMILY RM

05

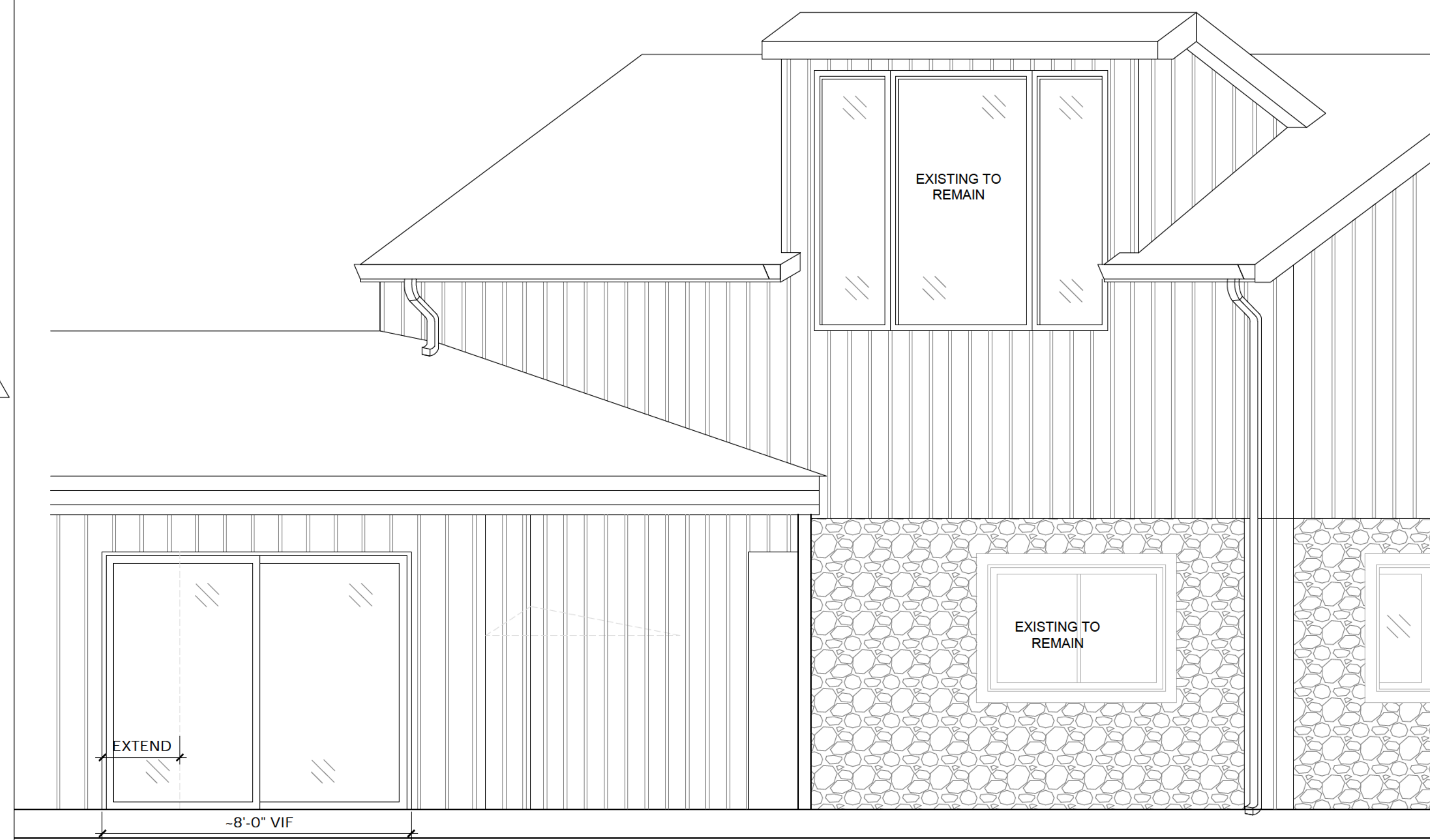
HOUSE COLORS AND SIDING MATERIAL TO REMAIN AND MATCH EXSITING



EXISTING BUILDING REAR ELEV NORTH FACE @ KITCHEN DOOR

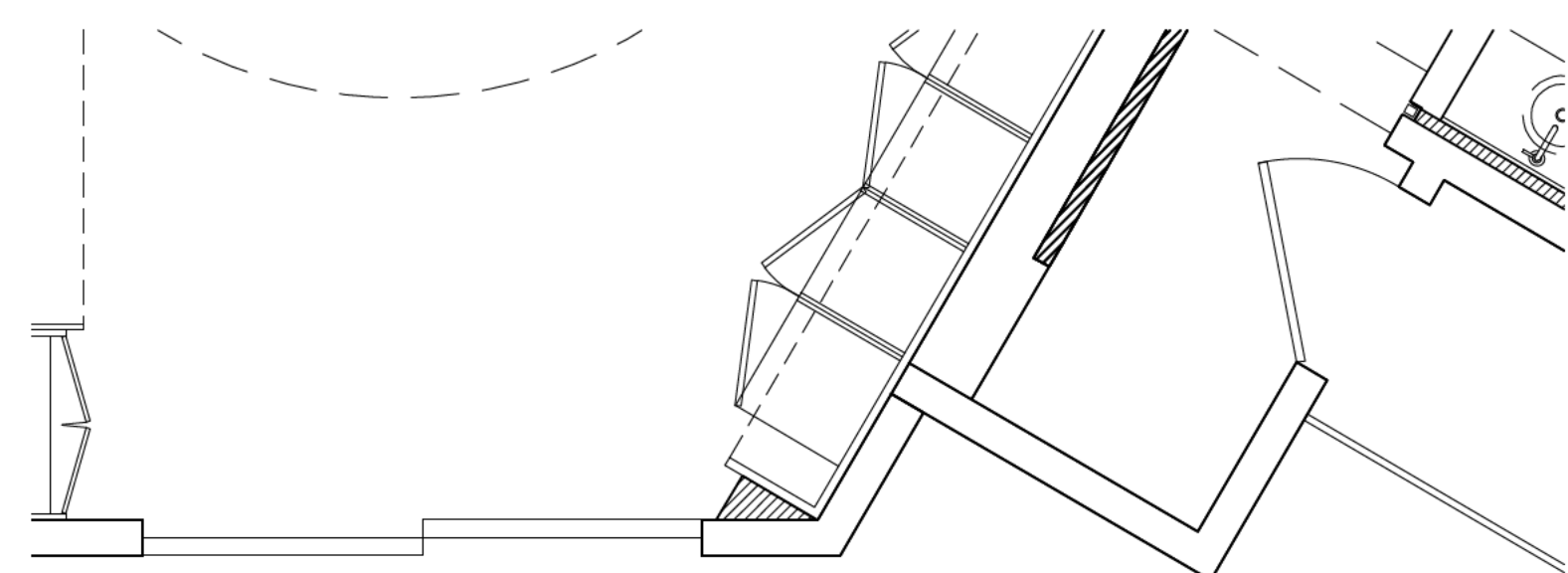
1

04



NEW BUILDING REAR ELEV NORTH FACE @ KITCHEN DOOR

03



KITCHEN DOOR PLAN

02



EXISTING REAR NORTH FACE @ KITCHEN DOOR PHOTO

01

Kauffmann Residence  
PHASE 2 RENOVATION

8244 N. GRAY LOG LANE  
FOX POINT, WI 53217



**HAYLEY MAUREEN**  
interior design

8244 N. GRAY LOG LN.  
FOX POINT, WI 53217

513.207.5352

Drawn By HK

Scale 3/8" = 1'-0"

Drawing Issue

ISSUE FOR PRICING 11.13.2023

1 ISSUE FOR VE SCOPE 05.14.2024

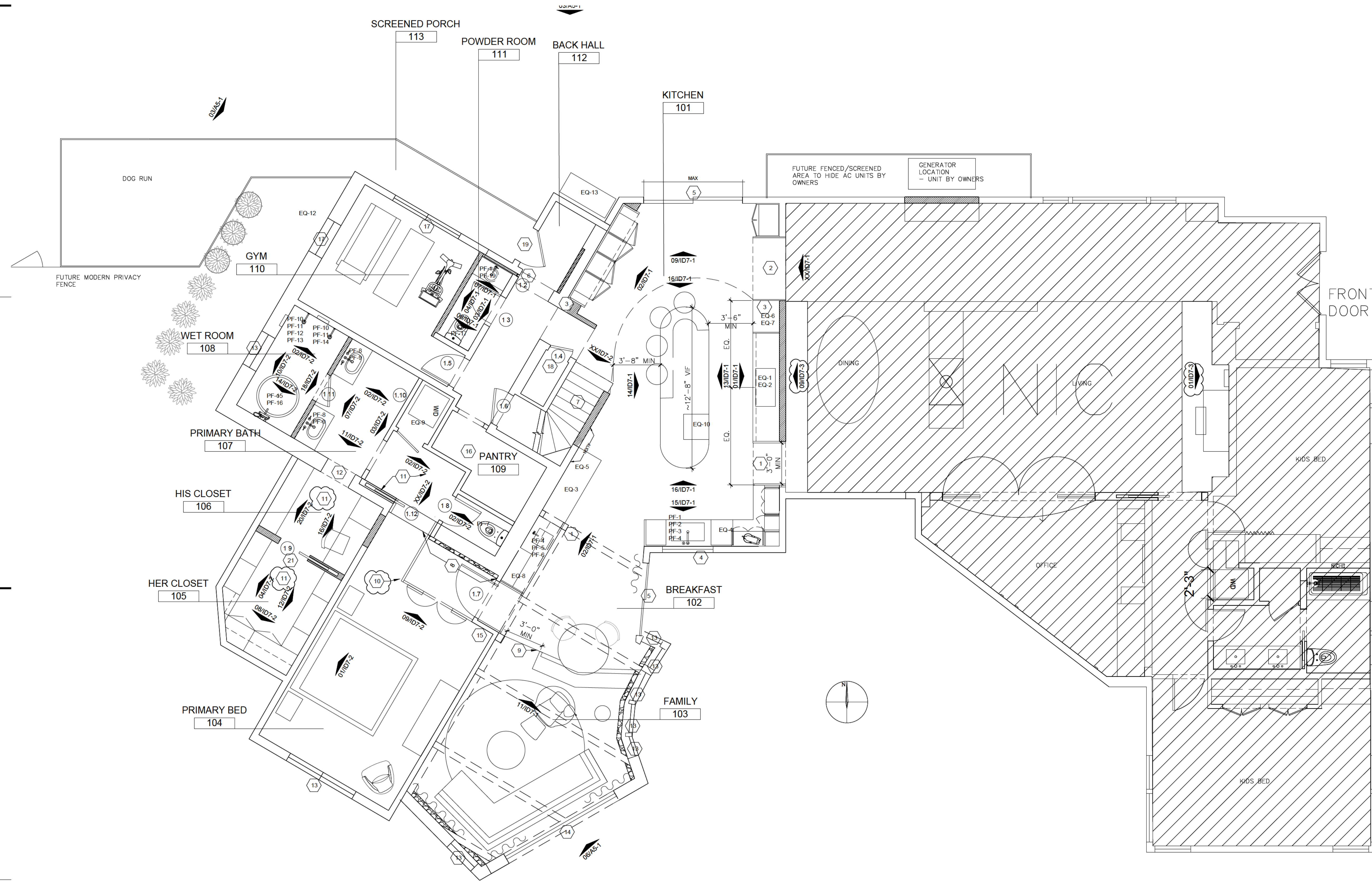
2 ISSUE FOR UPDATE 06.15.2024

ISSUE TO VILLAGE BOARD 07.31.2024

Sheet Title

**A-5.1**  
BLDG ELEVATIONS

Sheet Number



**Kauffmann Residence**  
**PHASE 2 RENOVATION**  
 8244 N. GRAY LOG LANE  
 FOX POINT, WI 53217



**HAYLEY MAUREN**  
 interior design

8244 N. GRAY LOG LN.  
 FOX POINT, WI 53217

513.207.5352

Drawn By: HK  
 Scale: 1/4" = 1'-0"

Drawing Issue	
	ISSUE FOR PRICING 11.13.2023
1	ISSUE FOR VE SCOPE 05.14.2024
2	ISSUE FOR UPDATE 06.15.2024

**GENERAL NOTES**

- GC TO COMPLY WITH ALL LOCAL CODES.
- ALL NEW SOLID CORE DOORS WITH BALDWIN ESTATE HARDWARE TO MATCH PHASE 1
- GC TO PERFORM EXPLORATORY DEMO PRIOR TO START TO NARROW IN ON ACTUAL PARTITION LAYOUTS.
- GC TO VERIFY FINAL LAYOUT WITH DESIGNER/HOMEOWNER ON SITE.
- ALL BASE BOARD HVAC GRILLES LOCATIONS TO BE REVIEWED ON SITE WITH DESIGNER. ALL BASE BOARD HVAC GRILLES TO BE REPLACED WITH CUSTOM WOOD DIFFUSER USED IN PHASE 1 AND PAINTED TO MATCH ADJACENT WALL BASE COLOR.
- ANY SUPPLY OR RETURN AIR GRILLES WITHIN MILLWORK TOE KICKS TO BE ROUTED INTO TOE KICKS.
- GC/HVAC SUB TO REVIEW EXISTING HEATING AND COOLING IN PRIMARY SUITE & GYM POST DEMO
- NOTIFY DESIGNER OF ANY DISCREPANCIES BETWEEN DESIGN INTENT AND FIELD CONDITIONS

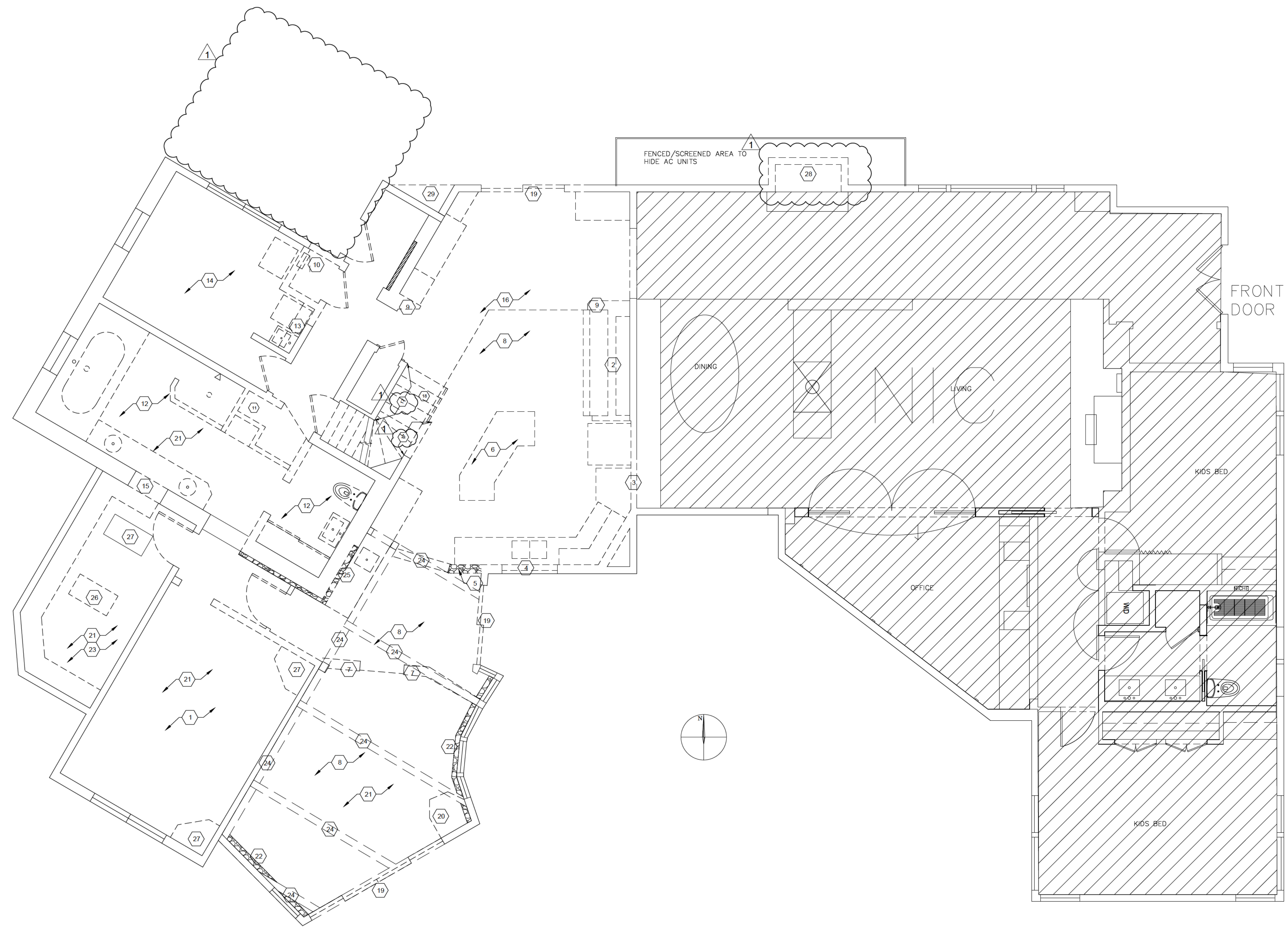
**KEY NOTES**

- NEW OPENING BETWEEN DINING AND KITCHEN. DEEP JAMB PORTAL SIM TO PHASE 1 DETAIL.
- EXISTING OPENING BETWEEN ENTRY HALL AND KITCHEN. GC TO ADD DEEP JAMB PORTAL DETAIL
- EXISTING THICK WALL - GC TO DETERMINE IF THICKNESS IS NECESSARY FOR STRUCTURAL REASONS.
- NEW WINDOW
- NEW EXTERIOR SLIDING GLASS DOOR
- NEW HALF HEIGHT 'HIDEAGATE' PET GATE
- EXISTING STAIR LAYOUT/STRUCTURE TO REMAIN. PREP FOR NEW HARDWOOD TREADS AND RISERS.
- EXISTING STONE WALL TO REMAIN IF POSSIBLE.
- STEP DOWN INTO FAMILY ROOM. FRAME FOR NEW SHAPE OF EXISTING STEP DOWN. PREP FOR NEW FINISHES.
- FUTURE 'TRELIS' SCREEN PARTITION & DOORS - SEE ELEVATIONS.
- GC TO PREP/PAINT WALLS & CEILING, ELECTRICAL, CARPET FOR FUTURE CLOSET MILLWORK.
- NEW OPENING FROM BATHROOM TO CLOSET LOCATED WITHIN ORIGINAL 1950'S WINDOW LOCATION. GC TO VERIFY IN DEMO IF HEADER STILL EXISTS. SEE ORIGINAL BLUE PRINTS.
- EXISTING WINDOW TO REMAIN.
- PRICE FOR NEW MARVIN WINDOWS IN EXISTING OPENING OR JELDWEIN ALTERNATE
- REVIEW EXISTING VERTICAL HVAC RUN IN PRIMARY BEDROOM AND POSSIBLE RELOCATION
- NEW WALK IN PANTRY - ALSO ALTERNATE POWDER ROOM LOCATION PENDING FEASIBILITY OF CURRENTLY PROPOSED POWDER ROOM TOILET.
- EXISTING WINDOWS TO REMAIN

- NEW EXTERIOR DOOR WITH DOGGY DOOR
- NEW STOVE LOCATION
- GC/HVAC SUB TO REVIEW EXISTING INSULATION, HEATING & COOLING SUPPLY AND RETURN IN THIS SPACE.

Sheet Title  
**ID-1**  
**PARTITION PLAN**

Sheet Number



**Kauffmann Residence**  
**PHASE 2 RENOVATION**  
 8244 N. GRAY LOG LANE  
 FOX POINT, WI 53217



**HAYLEY MAUREEN**  
 interior design

8244 N. GRAY LOG LN.  
 FOX POINT, WI 53217

513.207.5352

Drawn By HK

Scale 1/4" = 1'-0"

Drawing Issue

ISSUE FOR PRICING	11.13.2023
<b>1</b> ISSUE FOR VE SCOPE	05.14.2024

Sheet Title

**ID-0**  
**DEMOLITION**  
**PLAN**

Sheet Number

GENERAL NOTES

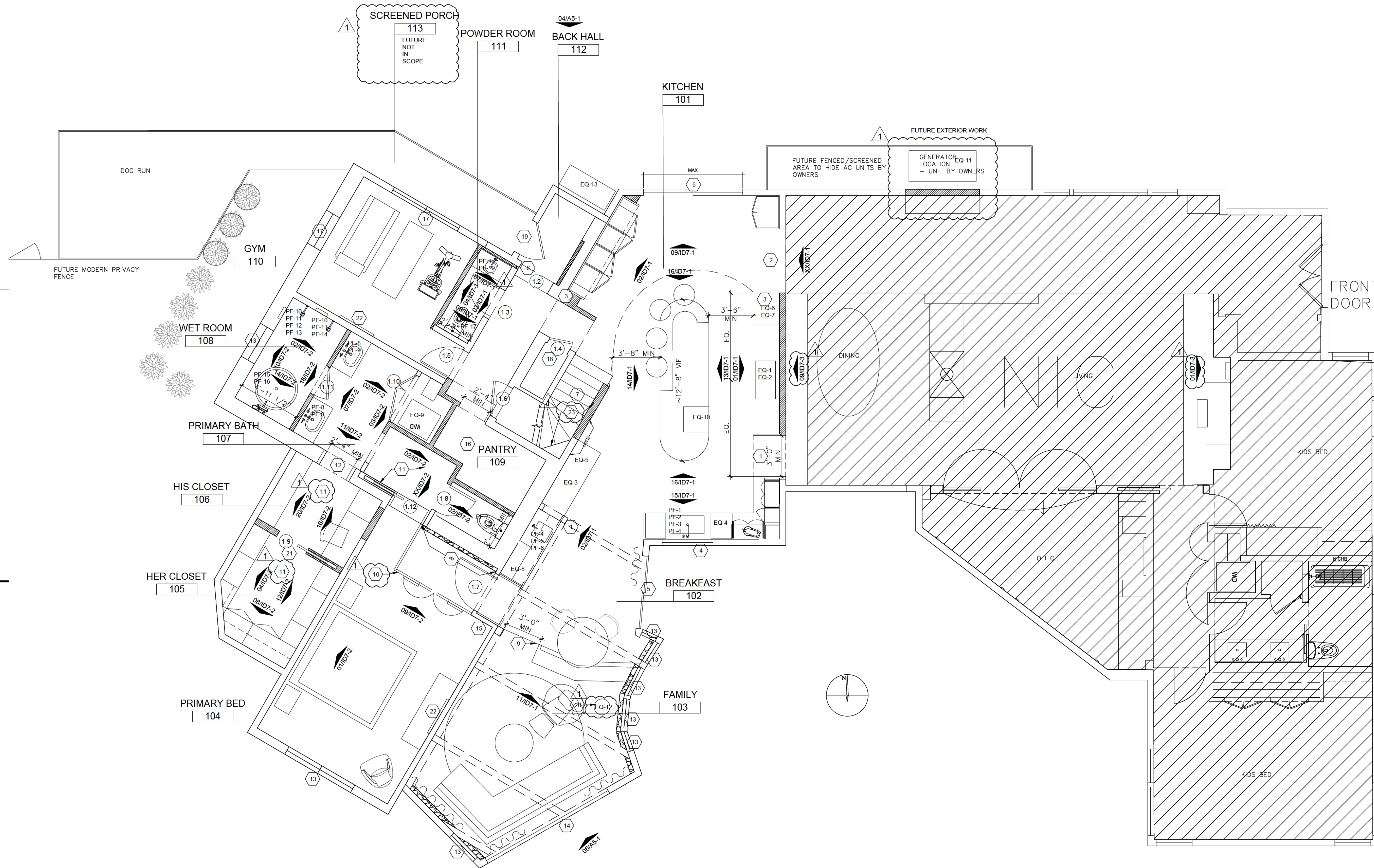
1. GC TO COMPLY WITH ALL LOCAL CODES.
2. GC TO PERFORM EXPLORATORY DEMO PRIOR TO START TO NARROW IN ON ACTUAL PARTITION LAYOUTS.
3. DEMO LIGHTING THROUGHOUT PROJECT AREA
4. ALL EXISTING FLOOR FINISHES IN PROJECT AREA TO BE DEMOLISHED
5. DEMO EXISTING HVAC GRILLES - GC/HVAC SUB TO DETERMINE BEST PLAN FOR HVAC REWORK
6. ANY APPLIANCES, FIXTURES, OR CABINETRY THAT CAN BE DONATED SHOULD BE

KEY NOTES

- 1** DEMO ALL EXISTING FINISHES IN PRIMARY BEDROOM - GLUE DOWN CARPET, DRYWALL, WALL BASE, LIGHTING, CEILING, DEVICES ETC.
- 2** DEMO PARTITION BETWEEN KITCHEN AND WALL CAVITY FROM PRIOR PROJECT TO GAIN SPACE IN KITCHEN.
- 3** DEMO FOR NEW OPENING BETWEEN KITCHEN AND DINING.
- 4** DEMO EXISTING WINDOW
- 5** DEMO EXISTING 'INTERIOR WINDOW' AND VERTICAL POST - GC TO DETERMINE STRUCTURAL IMPACT
- 6** DEMO ALL EXISTING KITCHEN CABINETS, FIXTURES, APPLIANCES - DONATE IF POSSIBLE
- 7** DEMO EXISTING PARTIAL WALL & SWITCHES
- 8** DEMO ALL EXISTING TILE FLOORS
- 9** DEMO EXISTING THICK PARTITION - GC TO DETERMINE IF THIS HAS STRUCTURAL IMPLICATIONS

- 10** RELOCATE ELECTRICAL PANEL FROM EXISTING CLOSET TO BASEMENT
- 11** DEMO EXISTING PRIMARY BATH TUB EQUIPMENT
- 12** DEMO ALL EXISTING FINISHES, FIXTURES, MILLWORK, DRYWALL - DONATE FIXTURES IF POSSIBLE
- 13** DEMO EXISTING WASHER/DRYER LOCATION - PREP FOR NEW POWDER ROOM LOCATION
- 14** DEMO EXISTING RUBBER FLOOR, WALL BASE, TRACK LIGHTING, CABINETRY, WASHER/DRYER & BASEBOARD HEAT
- 15** DEMO FOR NEW OPENING - GC TO CONFIRM AN EXISTING HEADER HERE FROM A PREVIOUS WINDOW LOCATION
- 16** DEMO EXISTING KITCHEN SOFFIT, CEILING AND LIGHTING.
- 17** DEMO SELECT AREAS OF WOOD PANELED WALLS - PREP FOR SMOOTH DRYWALL
- 18** DEMO EXISTING CARPET ON STAIRS ONLY (CARPET ON SECOND FLOOR TO REMAIN), DEMO EXISTING STAIR HANDRAIL. STAIR STRUCTURE TO REMAIN - PREP FOR NEW HARDWOOD TREADS AND RISERS

- 19** DEMO EXISTING SLIDING DOORS
- 20** DEMO EXIST STOVE & HEARTH
- 21** LOCATION OF EXISTING SLAB ON GRADE - NO CRAWL SPACE OR BASEMENT BELOW
- 22** EXISTING STONE WALL/LEDGE TO REMAIN
- 23** DEMO EXISTING CLOSET SYSTEM, LIGHTING, & CARPET
- 24** EXISTING STRUCTURAL BEAMS AND WOOD CEILING TO REMAIN
- 25** GC TO HELP DETERMINE IF EXISTING STONE WALL SHOULD BE DEMOLISHED OR COVERED FOR NEW WET BAR LOCATION
- 26** DEMO/INFILL 1 OF 2 EXISTING SKYLIGHTS IN PRIMARY CLOSET.
- 27** MAINTAIN THIS SKYLIGHT LOCATION BUT REPLACE WITH NEW FIXED VELUX SKYLIGHT
- 28** FUTURE WORK - DEMO EXTERIOR BUMP OUT FOR FUTURE GENERATOR LOCATION
- 29** DEMO EXISTING PARTIAL WALL AND ROOF



Kauffmann Residence  
**PHASE 2 RENOVATION**  
 8244 N. GRAY LOG LANE  
 FOX POINT, WI 53217



**HAYLEY MAUREEN**  
 interior design

8244 N. GRAY LOG LN.  
 FOX POINT, WI 53217

513.207.5352

Drawn By HK

Scale 1/4" = 1'-0"

Drawing Issue

ISSUE FOR PRICING 11.13.2023

1 ISSUE FOR VE SCOPE 05.14.2024

Sheet Title

**ID-1**  
**PARTITION PLAN**

Sheet Number

GENERAL NOTES

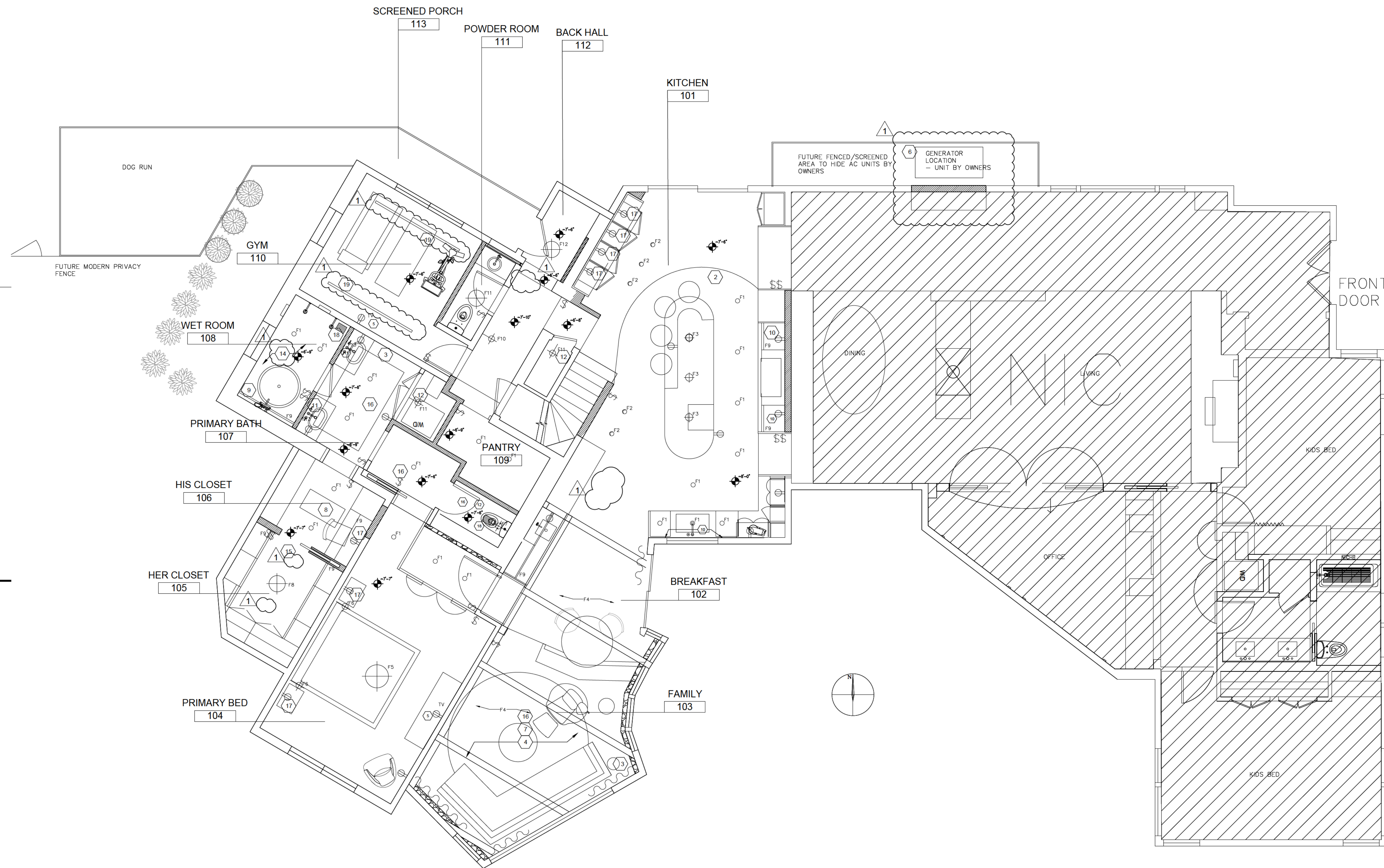
1. GC TO COMPLY WITH ALL LOCAL CODES.
2. ALL NEW SOLID CORE DOORS WITH BALDWIN ESTATE HARDWARE TO MATCH PHASE 1
3. GC TO PERFORM EXPLORATORY DEMO PRIOR TO START TO NARROW IN ON ACTUAL PARTITION LAYOUTS.
4. GC TO VERIFY FINAL LAYOUT WITH DESIGNER/HOMEOWNER ON SITE.
5. ALL BASE BOARD HVAC GRILLES LOCATIONS TO BE REVIEWED ON SITE WITH DESIGNER. ALL BASE BOARD HVAC GRILLES TO BE REPLACED WITH CUSTOM WOOD DIFFUSER USED IN PHASE 1 AND PAINTED TO MATCH ADJACENT WALL BASE COLOR.
6. ANY SUPPLY OR RETURN AIR GRILLES WITHIN MILLWORK TOE KICKS TO BE ROUTED INTO TOE KICKS.
7. GC/HVAC SUB TO REVIEW EXISTING HEATING AND COOLING IN PRIMARY SUITE & GYM POST DEMO
8. NOTIFY DESIGNER OF ANY DISCREPANCIES BETWEEN DESIGN INTENT AND FIELD CONDITIONS

KEY NOTES

- 1 NEW OPENING BETWEEN DINING AND KITCHEN. DEEP WD-1 JAMB PORTAL SIM TO PHASE 1 DETAIL.
- 2 EXISTING OPENING BETWEEN ENTRY HALL AND KITCHEN. GC TO ADD DEEP WD-1 JAMB PORTAL DETAIL
- 3 EXISTING THICK WALL - GC TO DETERMINE IF THICKNESS IS NECESSARY FOR STRUCTURAL REASONS.
- 4 NEW WINDOW
- 5 NEW EXTERIOR SLIDING GLASS DOOR
- 6 NEW HALF HEIGHT 'HIDEAGATE' PET GATE - GC & DESIGNER TO DISCUSS
- 7 EXISTING STAIR LAYOUT/STRUCTURE TO REMAIN. PREP FOR NEW HARDWOOD TREADS AND RISERS.
- 8 EXISTING STONE WALL TO REMAIN IF POSSIBLE.

- 9 STEP DOWN INTO FAMILY ROOM. FRAME FOR NEW SHAPE OF EXISTING STEP DOWN. PREP FOR NEW FINISHES
- 10 FUTURE 'TRELIS' SCREEN PARTITION & DOORS - SEE ELEVATIONS.
- 11 GO TO PREP/PAINT WALLS & CEILING, ELECTRICAL, CARPET FOR FUTURE CLOSET MILLWORK
- 12 NEW OPENING FROM BATHROOM TO CLOSET LOCATED WITHIN ORIGINAL 1900S WINDOW LOCATION. GC TO VERIFY IN DEMO IF HEADER STILL EXISTS. SEE ORIGINAL BLUE PRINTS.
- 13 EXISTING WINDOW TO REMAIN.
- 14 PRICE FOR NEW MARVIN WINDOWS IN EXISTING OPENING
- 15 REVIEW EXISTING VERTICAL HVAC RUN IN PRIMARY BEDROOM AND POSSIBLE RELOCATION
- 16 NEW WALK IN PANTRY - GC TO INSTALL FLOOR, TRIM, AND PAINT IN PREPARATION FOR FUTURE MILLWORK.
- 17 EXISTING WINDOWS TO REMAIN

- 19 NEW EXTERIOR DOOR WITH DOGGY DOOR
- 20 NEW STOVE LOCATION - GC TO PREP ROOF OPENING FOR FUTURE FLU SEE EQ-12
- 21 GC/HVAC SUB TO REVIEW EXISTING INSULATION, HEATING & COOLING SUPPLY AND RETURN IN THIS SPACE.
- 22 NEW TV LOCATION. GC TO INSTALL SANUS IN-WALL MEDIA BOX BY OWNER
- 23 PARTIAL REMOVAL OF EXISTING WOOD PANELING IN STAIR WELL - REPLACE WITH PAINTED DRYWALL. REVIEW ON SITE WITH DESIGNER.



**Kauffmann Residence**  
**PHASE 2 RENOVATION**  
 8244 N. GRAY LOG LANE  
 FOX POINT, WI 53217



**HAYLEY MAUREEN**  
 interior design

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 513.207.5352

Drawn By: HK  
 Scale: 1/4" = 1'-0"

Drawing Issue	
ISSUE FOR PRICING	11.13.2023
1 ISSUE FOR VE SCOPE	05.14.2024

**GENERAL NOTES**

1. GC TO COMPLY WITH ALL LOCAL CODES.
  2. GC TO PRICE NEW ELECTRICAL SERVICE TO THE HOUSE TO ACCOMMODATE RENOVATION.
  3. ALL NEW LED LIGHTING - ALL LIGHTING TO BE 2700K - SEE LIGHTING SCHEDULE
  4. FINAL LIGHTING LAYOUT TO BE APPROVED ON SITE BY DESIGNER
  5. NOTIFY DESIGNER/HOMEOWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN INTENT.
  6. ALL NOTED CEILING HEIGHTS ARE BASED ON EXISTING CONDITIONS. GC TO MAX OUT CEILING HEIGHTS WHERE POSSIBLE.
  7. ALL DEVICES TO BE SCREWLESS DECORA STYLE UNLESS NOTED OTHERWISE - FINALIZE ALL DEVICE COLORS WITH DESIGNER.
- 9 DOWN LIGHTS WERE REMOVED FROM SCOPE COMPARED TO THE PRICING DRAWINGS. TRACK LIGHTING IN GYM. REMOVED ONE SCONCE IN BACK HALL 112

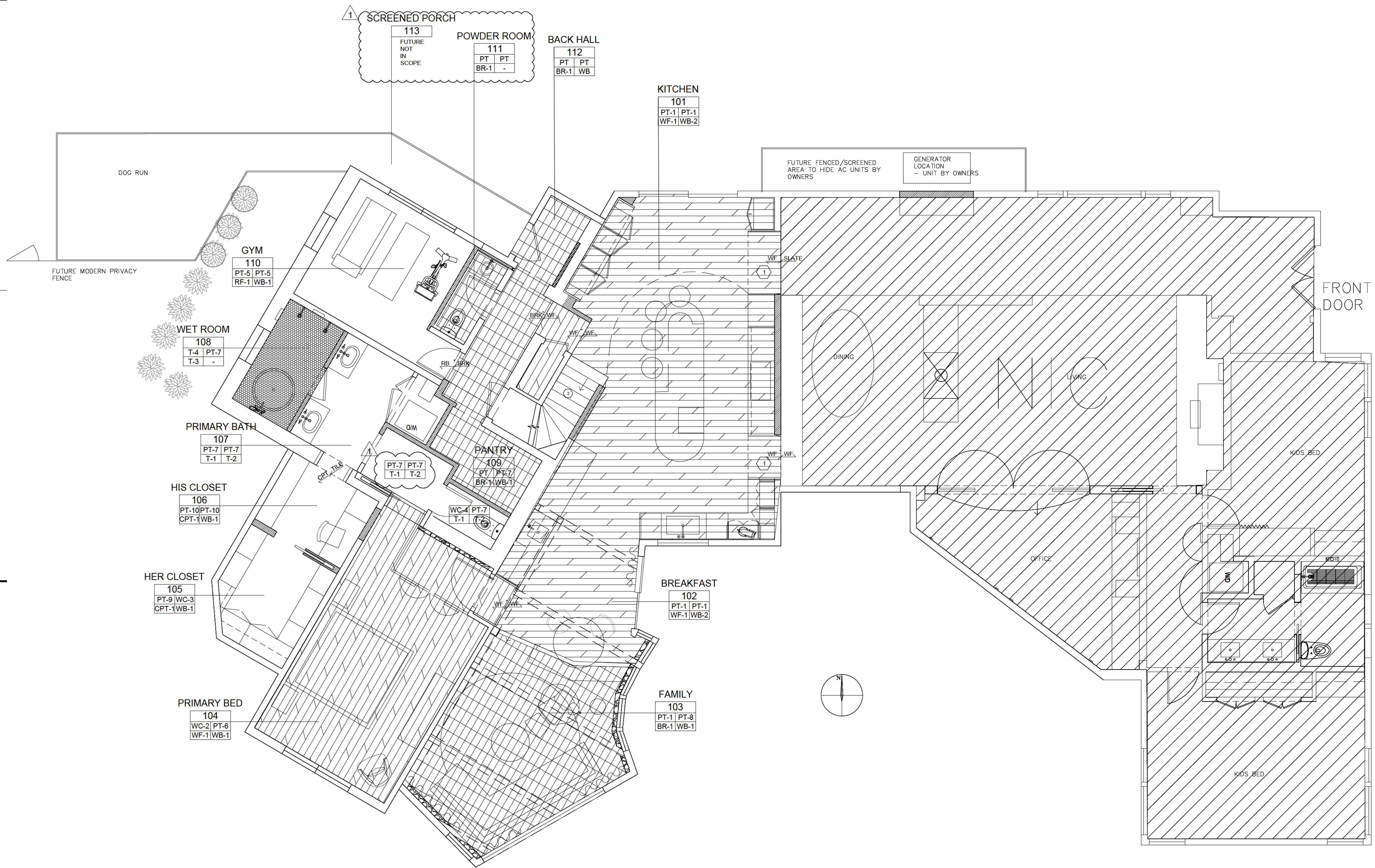
**KEY NOTES**

- 1 NOT USED
- 2 NEW CURVED SOFFIT WHERE CEILING IS DROPPED FINAL SHAPE AND LOCATION TBD BY GC & DESIGNER POST DEMO.
- 3 SOFFIT FRAMING PRIMARY BATH VANITY ROOM TO HOUSE HVAC DUCTWORK
- 4 REPLACE EXISTING TRACK LIGHTING WITH NEW IN SAME LOCATIONS - EXISTING CEILING CONDITIONS TO REMAIN
- 5 NEW WALL HUNG TV LOCATION - POWER @ OWNER PROVIDED IN-WALL BACK BOX
- 6 PROPOSED GENERATOR LOCATION - GC TO CONFIRM
- 7 EXISTING SKYLIGHTS TO REMAIN - THESE WERE RECENTLY REPLACED
- 8 EXISTING SKYLIGHT TO BE REPLACED IN EXISTING LOCATION WITH NON OPERABLE VELUX
- 9 COVE LIGHT WALL GRAZER LED

**KEY NOTES**

- 10 SYSTEM 22 OUTLETS AT STONE BACKSPLASH - DEVICES BY OWNER
- 11 POWER FOR MEDICINE CABINET
- 12 MOTION SENSOR LIGHT SWITCH
- 13 PATCH/INFILL EXISTING CEILING/ROOF AFTER REMOVAL OF CURRENT STOVE CHIMNEY
- 14 PAINTED WET ROOM CEILING
- 15 PATCH/INFILL CEILING/ROOF WHERE EXISTING SKYLIGHT WAS REMOVED
- 16 RADIANT HEAT IN FAMILY ROOM AND PRIMARY BATH
- 17 DUPLEX WITH USB
- 18 VENT FAN
- 19 TRACK LIGHTING - BY OWNER, ELECTRICIAN TO CONFIRM SPECS AND COMPONENTS WORK FOR THIS LOCATION

Sheet Title **ID-2**  
**REFLECTED**  
**CEILING PLAN**  
 Sheet Number



**Kauffmann Residence**  
**PHASE 2 RENOVATION**  
 8244 N. GRAY LOG LANE  
 FOX POINT, WI 53217



**HAYLEY MAUREEN**  
 interior design

8244 N. GRAY LOG LN.  
 FOX POINT, WI 53217

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Scale 1/4" = 1'-0"

Drawing Issue

ISSUE FOR PRICING 11.13.2023

1 ISSUE FOR VE SCOPE 05.14.2024

**GENERAL NOTES**

1. GC TO COMPLY WITH ALL LOCAL CODES.
2. ALL FLOORS TO BE LEVEL WITH EACH OTHER
3. SEE DETAIL SHEET FOR TRANSITIONS BETWEEN FINISHES
4. ALL PAINTED TRIM & DOORS TO MATCH ADJACENT WALL UNLESS NOTED OTHERWISE.
5. ALL PAINTED WALLS TO BE EGGSHELL, TRIM & DOORS TO BE SATIN, & CEILING TO BE FLAT.
6. ALL TILE LAYOUTS TO BE REVIEWED IN SITE WITH DESIGNER PRIOR TO INSTALLATION
7. ALL GROUT LINE SIZES AND COLORS TO BE FINALIZED ON SITE WITH DESIGNER
8. ALL DRYWALL TO RECEIVE SMOOTH FINISH
9. ROOM FINISH KEY: 

WALL	CLG
FLOOR	BASE

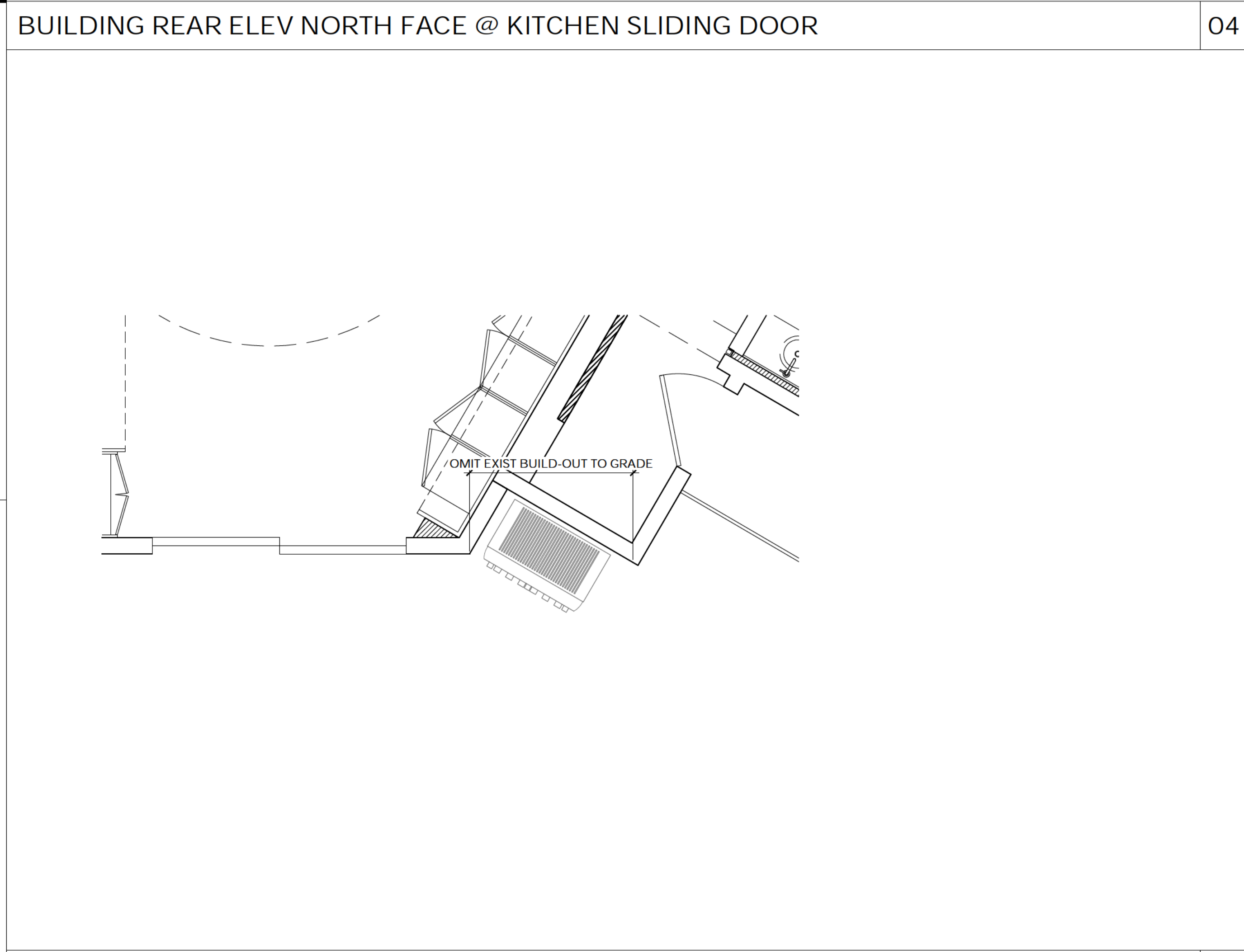
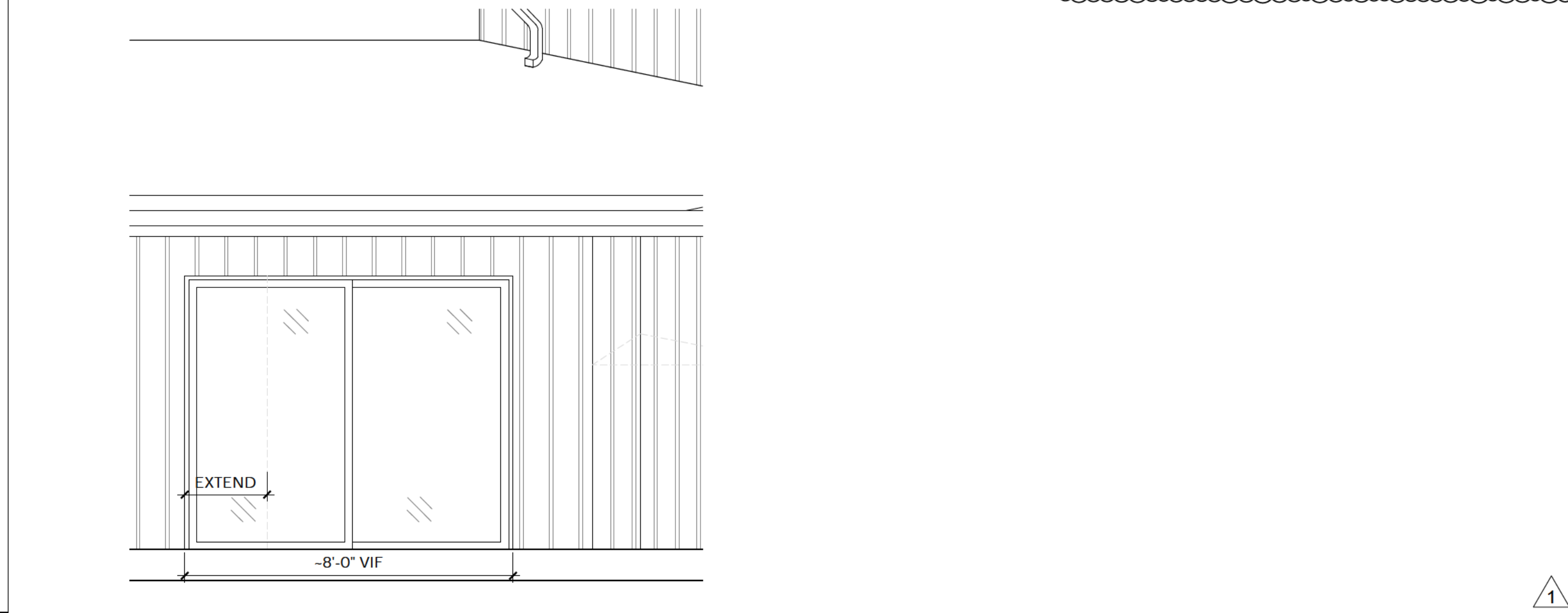
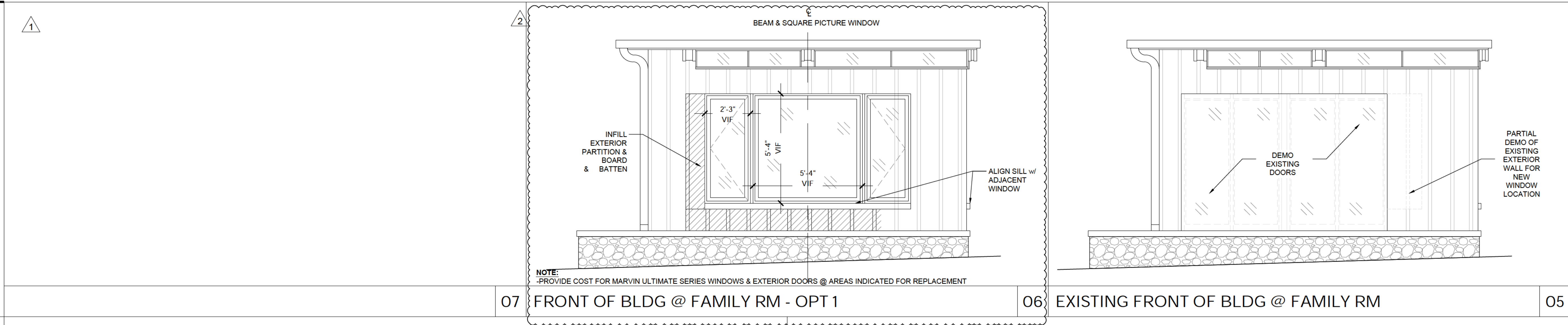
**KEY NOTES**

- 1 GC/WOOD FLOOR INSTALLER/DESIGNER TO DISCUSS SOLUTIONS FOR TRANSITION - IF TURNBOARDS ARE NECESSARY IN PORTALS
- 2 WF-1 STAIRS TREADS AND RISERS

Sheet Title

**ID-4**  
**FINISH**  
**PLAN**

Sheet Number



07 FRONT OF BLDG @ FAMILY RM - OPT 1      06 EXISTING FRONT OF BLDG @ FAMILY RM      03 BUILDING REAR ELEV NORTH FACE @ KITCHEN SLIDING DOOR      04      02 KITCHEN DOOR PLAN      01

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ISSUE FOR PRICING	11.13.2023
1 ISSUE FOR VE SCOPE	05.14.2024
2 ISSUE FOR UPDATE	06.15.2024

Sheet Title  
**A-5.1**  
**BLDG ELEVATIONS**

Sheet Number

**FINISH SCHEDULE**

ALL FINISHES PROVIDED BY OWNER U.N.O. - GC TO PREP FOR AND INSTALL

TAG	DESCRIPTION	MANUFACTURER	MODEL NO. / STYLE	FINISH/ COLOR	
PAINT					
PT-1	HOUSE WHITE	BEN MOORE OR EQ.	OC-17 WHITE DOVE	-	TO MATCH WHITE FROM PHASE 1
PT-2	X	-	-	-	-
PT-3	X	-	-	-	-
PT-4	X	-	-	-	-
PT-5	GYM	-	WHITE EXACT COLOR TBD	-	-
PT-6	PRIMARY BEDROOM CEILING	-	RUST EXACT COLOR TBD	-	-
PT-7	PRIMARY BATH	-	-	-	-
PT-8	EXISTING BEAMS IN FAMILY	-	DARK GRAY EXACT COLOR TBD	-	-
PT-9	HER CLOSET	BENJAMIN MOORE OR EQ.	RED EXACT COLOR TBD	-	-
PT-10	HIS CLOSET	BENJAMIN MOORE OR EQ.	LIGHT BLUE EXACT COLOR TBD	-	-
TILE					
REFER TO ALL MANUFACTURERS INSTALLATION INSTRUCTIONS					
T-1	STONE TILE	CLE	STRATA LINEA STONE PLANK 4"	-	per 12.78 SF bundle: nine 4"x 12"x 3/4" planks; straight rectified ten 4"x 18"x 3/4" planks; straight rectified eight 4"x 24"x 3/4" planks; straight rectified
T-2	CERAMIC SUBWAY TILE	FIRECLAY	DRIFTWOOD SURFACE BULLNOSE FOR BASE AND CASING	-	SEE ELEVATIONS FOR LOCATIONS
T-3	STONE MOSAIC	TILEBAR	CARRARA 1X1 SHEETED MOSAIC	-	PRIMARY SHOWER FLOOR
T-4	4X12 STONE TILE	TILEBAR	CARRARA 4X12 POLISHED TILE	-	SEE ELEVATIONS FOR HERRINGBONE PATTERN INSTALLATION
T-5	STONE MOSAIC	ARTISTIC TILE	TESSUTO SMOKE	-	14 1/8" X 14 7/8" INTERLOCKING SHEETS. KITCHEN ACCENT BACKSPLASH
T-6	SPLIT BRICK PAVER	BELDEN BRICK OR EQ.	470-479 DARK SMOOTH	-	GC TO ADVISE ON BEST PRODUCT FOR THIS APPLICATION
T-7	**FUTURE SQUARE CONCRETE TILE	POPHAM DESIGN	X MARKS THE SPOT MEDIUM SQUARE	-	POWDER ROOM WALLS. 7.88" X 7.88" X .48"
STONE					
REFER TO ALL MANUFACTURERS INSTALLATION INSTRUCTIONS					
ST-1	2 CM MARBLE SLAB	CALIA	CALACATTA BLUE HONED 2CM	HONED	64"X117" SLABS, FINAL STONE SELECTION TO BE MADE IN PERSON BY HOMEOWNER
ST-2	2 CM STONE SLAB	TBD	HOLD ALLOWANCE FOR HALF SLAB OR REMNANT OF STONE	-	POWDER ROOM COUNTER & BACKSPLASH
ST-3	2 CM STONE SLAB	TBD	ARABESCATO CORCHIA	HONED	PRIMARY VANITY COUNTERTOP, BACKSPLASH/MIRROR SURROUND, NICHE SHELF
FLOOR					
REFER TO ALL MANUFACTURERS INSTALLATION INSTRUCTIONS					
WF-1	HARDWOOD	ROMAN	MATCH RED OAK FLOOR AND FINISH FROM PHASE 1 PROJECT	-	PROVIDED BY GC - NO SHORT BOARDS
CPT-1	CARPET	TBD	TBD	-	CLOSETS
RB-1	ROLLED FLOOR	-	-	-	-
WALL BASE					
REFER TO ALL MANUFACTURERS INSTALLATION INSTRUCTIONS					
WB-1	PAINTED BASE	-	PAINTED TO MATCH EACH WALL ACCORDINGLY	-	MATCH STYLE FROM PHASE 1
WB-2	WALNUT BASE	-	-	-	MATCH PROFILE FROM PHASE 1

TAG	DESCRIPTION	MANUFACTURER	MODEL NO. / STYLE	FINISH/ COLOR	
WALLCOVERING - *ALL FUTURE SCOPE					
WC-1	GRASSCLOTH WALLCOVERING	-	TBD	TBD	-
WC-2	SILK MURAL	-	PHILLIP JEFFRIES	10172 PERFECT PEONIES	-
WC-3	PRINTED PAPER	-	KRISTY STAFFORD	OWEN PINK	-
WC-4	GRASSCLOTH	-	TBD	TBD	-
MILLWORK					
WD-1	NATURAL WALNUT	DAVID MYER vandacabinet@msn.com 920.336.5841	V&A CUSTOM CABINET	PLAIN SAWN WALNUT	SATIN
WD-2	BLEACHED WALNUT	-	V&A CUSTOM CABINET	PLAIN SAWN BLEACHED WALNUT	SATIN
WD-3	NATURAL HICKORY	-	V&A CUSTOM CABINET	NATURAL KNOTTY HICKORY	SATIN
LQ-1	SHOP PAINTED FINISH	-	V&A CUSTOM CABINET	'WHITE' EXACT COLOR TBD	SATIN
LQ-2	SHOP PAINTED FINISH	-	V&A CUSTOM CABINET	ORANGE EXACT COLOR TBD	SATIN
LQ-3	SHOP PAINTED FINISH	-	V&A CUSTOM CABINET	LIGHT BLUE EXACT COLOR TBD	SATIN
LQ-4	SHOP PAINTED FINISH	-	FUTURE SCOPE	RED EXACT COLOR TBD	SATIN
LQ-5	SHOP PAINTED FINISH	-	FUTURE SCOPE	LIGHT BLUE EXACT COLOR TBD	SATIN

LIGHTING SCHEDULE					
TAG	DESCRIPTION	MANUFACTURER	MODEL NO. / STYLE	FINISH/ COLOR	
NOTES: ALL LIGHTING TO BE DIMMABLE -ALL FIXTURES BY OWNER. SWITCHES BY GC - VERIFY ALL SWITCH & DEVICE COLORS WITH OWNER/DESIGNER PRIOR TO PROCUREMENT.					
F-1	3" LED RECESSED DOWNLIGHT	-	TECH LIGHTING	ENTRA CL 3IN ROUND ENCL3RFD-927W-W	2700K
F-2	3" LED RECESSED ADJUSTABLE DOWNLIGHT	-	TECH LIGHTING	ENTRA CL 3IN ROUND ENCL3RFA-927W-W	2700K
F-3	CEILING MOUNT FIXTURE	-	-	(1) 60 W BULB. 4" OCT/RND JBOX	2700K
F-4	TRACK LIGHTING	-	-	-	2700K
F-5	NOT USED	-	-	-	2700K
F-6	WALL MOUNT READING LIGHT	-	-	-	2700K
F-7	DECORATIVE SCONCE	-	-	-	2700K
F-8	CEILING MOUNT FIXTURE	-	-	-	2700K
F-9	LED STRIP LIGHT	-	-	-	2700K
F-10	DECORATIVE SCONCE	-	-	-	2700K
F-11	CLOSET LIGHT	WAC LIGHTING	WS-224G2-27-WT	-	2700K
F-12	CEILING MOUNT LIGHT	-	-	-	2700K
F-13	ROBERN MEDICINE CABINET	ROBERN	MIRROR: MR2436D4FPE2 LIGHTS: GLA36ELPS3D	-	2700K

REFER TO ALL MANUFACTURERS INSTALLATION INSTRUCTIONS

MILLWORKER TO PROVIDE FINISH/VENEER SAMPLES FOR APPROVAL. MILLWORKER TO HELP MAKE A BEST RECOMMENDATION FOR GRAIN LAYUP BASED ON VENEER.

**Kauffmann Residence**  
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**HAYLEY MAUREN**  
interior design

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FOX POINT, WI 53217  
513.207.5352

Drawn By: HK  
Scale: NA

Drawing Issue  
ISSUE FOR PRICING 11.10.2023  
ISSUE FOR VE SCOPE 05.14.2024

Sheet Title  
**ID-6.1**  
**SCHEDULES**

Sheet Number

**PLUMBING SCHEDULE**

ALL PLUMBING AND EQUIPMENT PROVIDED BY OWNER - GC TO PREP FOR AND INSTALL

**EQUIPMENT SCHEDULE**

TAG	DESCRIPTION	CONTACT	MANUFACTURER	MODEL NO. / STYLE	FINISH/ COLOR	REMARKS
PF-1	KITCHEN FAUCET	STUDIO 41	KALLISTA	ONE PULL-DOWN 025200-00-CP	CHROME	
PF-2	KITCHEN SINK UNDERMOUNT	STUDIO 41	KOHLER	STRIVE 32" K-5285-NA	SS	
PF-3	AIRSWITCH	STUDIO 41	MOUNTAIN PLUMBING	ROUND DELUXE MT957GM	CHROME	
PF-4	DISPOSAL	STUDIO 41				
PF-5	BAR FAUCET		KOHLER	CRUE K-22975-CP	CHROME	
PF-6	BAR SINK		KOHLER	STRIVE 15" K-5287-NA	SS	
PF-7	FLOOR MOUNT TOILET		TOTO	AQUIA IV WASHLET MW4463074CEMFGN	WHITE	
PF-8	WIDESPREAD FAUCET		WATERWORKS	FLYTE FLLS10	CHROME	
PF-9	UNDERMOUNT SINK		KOHLER	KATHRYN K-2330-0		
PF-10	SHOWER HEAD		WATERWORKS	FLYTE	CHROME	
PF-11	THERMOSTATIC & VOLUME CONTROL VALVE		WATERWORKS	FLYTE	CHROME	
PF-12	HANDSHOWER		WATERWORKS	FLYTE	CHROME	
PF-13	VOLUME CONTROL		WATERWORKS	FLYTE	CHROME	
PF-14	TILE IN DRAIN				CHROME	
PF-15	SOAKING TUB		SIGNATURE HARDWARE	41" SIGLO ROUND SH481097		QUICK CONNECT DRAIN KIT SH441848
PF-16	WALL MOUNTED TUB FILLER		WATERWORKS	FLYTE		
PF-17	TOILET		TOTO	--		
PF-18	SINGLE HOLE FAUCET		WATERWORKS	FLYTE		
PF-19	UNDER MOUNT SINK		KOHLER	VERTICYL K-2883-0	WHITE	

TAG	DESCRIPTION	MANUFACTURER	MODEL NO. / STYLE	REMARKS
EQ-1	INDUCTION COOKTOP	WOLF	CI36560C/B	FLUSH INSTALLATION IN COUNTERTOP
EQ-2	INTEGRATED VENT	BEST	PKEX2239	
EQ-3	PANELED FRIDGE COLUMN	SUBZERO	DEC3050RID/L & DUAL INSTALLATION KIT	CUSTOM PANEL BY MILLWORKER
EQ-4	PANELED DISHWASHER	BOSCH		CUSTOM PANEL BY MILLWORKER
EQ-5	PANELED FREEZER COLUMN	SUBZERO	DEC1850FI/R	CUSTOM PANEL BY MILLWORKER
EQ-6	CONVECTION/STEAM COMBI OVEN	WOLF	CSOP3050TE/S/T	PLUMBED
EQ-7	CONVECTION OVEN	WOLF	SO3050TE/S/T	
EQ-8	PANELED FRIDGE/FREEZER DRAWERS	SUBZERO	ID-30CI	CUSTOM PANEL BY MILLWORKER
EQ-9	STACKED WASHER DRYER	LG	TBD	GC TO DETERMINE IF THIS LOCATION CAN BE GAS OR NEEDS TO BE ELECTRIC
EQ-10	PANELED UNDERCOUNTER WINE FRIDGE	SUBZERO	DEU2450W/R	CUSTOM FRAME PANEL BY MILLWORKER
EQ-11	HOUSE GENERATOR	GENERAC	TBD	
EQ-12	FUTURE WOOD BURNING STOVE	WITTUS	STACKED	GC TO PREP OPENING IN ROOF FOR FUTURE FLU
EQ-13	GAS GRILLE	TBD		FUTURE OUTDOOR LOCATION

**ACCESSORIES SCHEDULE**

TAG	DESCRIPTION	CONTACT	MANUFACTURER	MODEL NO. / STYLE	FINISH/ COLOR	REMARKS
ACC-1	PAPER HOLDER		WATERWORKS	FLYTE	CHROME	QTY: 2
ACC-2	ROBE HOOK		WATERWORKS	FLYTE	CHROME	QTY: 4
ACC-3	HAND TOWEL BAR		TBD	TBD	CHROME	QTY: 2
ACC-4	X					

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Sheet Title

**ID-6.2**  
**SCHEDULES**

Sheet Number

## DOOR SCHEDULE

NOTES: ALL DOORS BY GC U.N.O. VERIFY DOOR HEIGHTS ON SITE.  
ALL DOORS TO BE SOLID CORE.  
GC TO PROVIDE DRAWINGS FOR APPROVAL FOR B & F

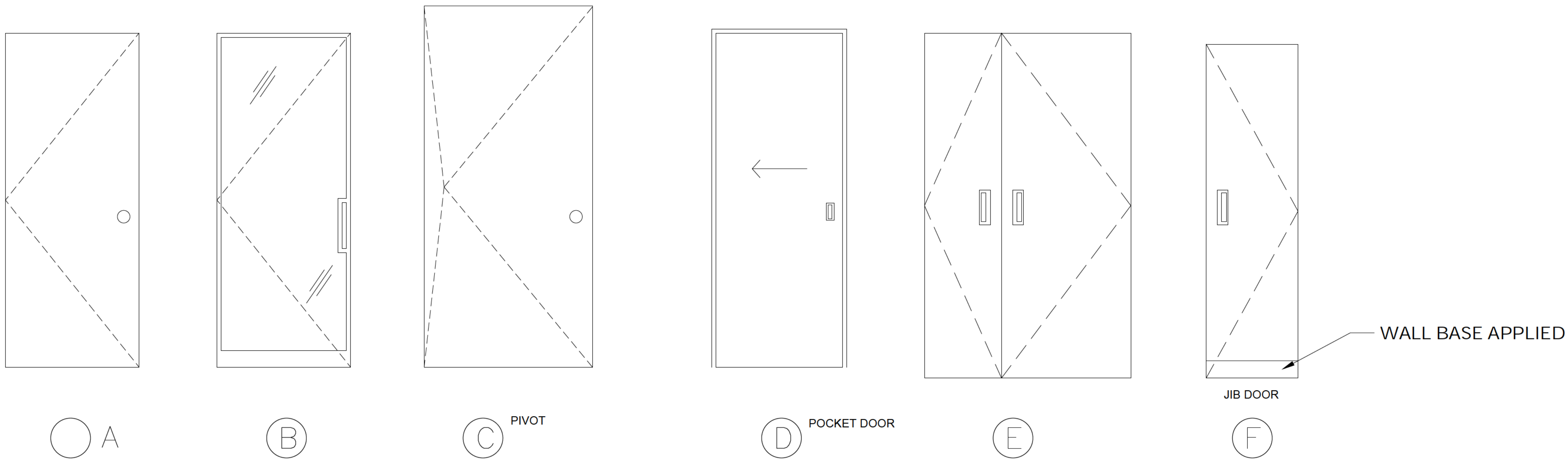
TAG	TYPE	NOMINAL SIZE W X H X TH	DOOR		FRAME		HDWE SET	
			MATERIAL	FINISH	MATERIAL	FINISH		
1.2	-	3'-0" X 3'-6" VIF						2X6 HIDEAGATE 42" HIGH. HIDEAGATE.COM
1.3	A	2'-4" X 6'-8" VIF X 1 3/4"	WD	PT	WD	PT	PRIVACY	POWDER ROOM - VERIFY SWING VS. POCKET POST LAYOUT
1.4	F	1'-10" X 6'-8" X 1 3/4"	WD	PT	-	-	HIDDEN	PANTRY JIB DOOR
1.5	A	2'-6" X 6'-8" VIF X 1.75"	WD	PT	WD	PT	PASSAGE	GYM
1.6	A	1'-10" X 6'-8" VIF	WD	PT	WD	PT	PASSAGE	BASEMENT
1.7	C	3'-4 1/4" X 7'-2" VIF X 1 3/4"	WD	WD	WD	WD	PRIVACY 2	PRIMARY BED
1.8	A	2'-4" X 6'-8" VIF X 1 3/4"	WD	PT	WD	PT	PRIVACY	TOILET ROOM
1.9	D	2'-9" X 6'-8" VIF X 1 3/4"	WD	PT	WD	PT	POCKET	PRIMARY CLOSET
1.10	E	4'-0" X 6'-8" VIF X 1 3/4"	WD	PT	WD	PT	CLOSET 1	LAUNDRY CLOSET - PAIR OF DOORS
1.11	B	2'-4" X 6'-8" VIF X 1 3/4"	GLASS	CLEAR	STEEL	POWDER COATED	NA	GLASS AND STEEL DOOR WITH INTEGRATED PULL (SIM TO OFFICE)
1.12	D	2'-8" X 6'-8" VIF X 1 3/4"	WD	PT	WD	PT	POCKET	PRIMARY BATH POCKET

## HARDWARE

ALL HARDWARE TO BE PROVIDED BY GC

TAG	DESCRIPTION	MANUFACTURER	MODEL NO./STYLE	FINISH/ COLOR	
PASSAGE	SWING DOOR	BALDWIN	5055 ESTATE KNOB	LIFETIME POLISHED BRASS	5055.003, 5032 ROSE
PRIVACY	BATHROOM DOOR	BALDWIN	5055 ESTATE KNOB	LIFETIME POLISHED BRASS	5055.003, 5032 ROSE & 6760 TURN PIECE
CLST 1	LAUNDRY CLOSET	ACCURATE	FC5001 5" RECTANGULAR FLUSH PULL	UNLAQUERED BRASS	ROLLER CATCHES
HIDDEN	JIB DOOR	ACCURATE	FC5001 5" RECTANGULAR FLUSH PULL	LIFETIME POLISHED BRASS	PIVOT HINGES OR SOSS FOR HIDDEN HINGES
PRIVACY 2	PRIMARY BEDROOM	BALDWIN	5055 ESTATE KNOB	LIFETIME POLISHED BRASS	5055.003, 5032 ROSE & 6760 TURN PIECE. PIVOT HINGES
POCKET	POCKET DOOR	EMTEK	MODERN RECTANGULAR FLUSH PULL	POLISHED BRASS	EMT-311453 & EMT-2221 EDGE PULL, TRACK: JOHNSON 200PD POCKET DOOR HARDWARE

## DOOR TYPES



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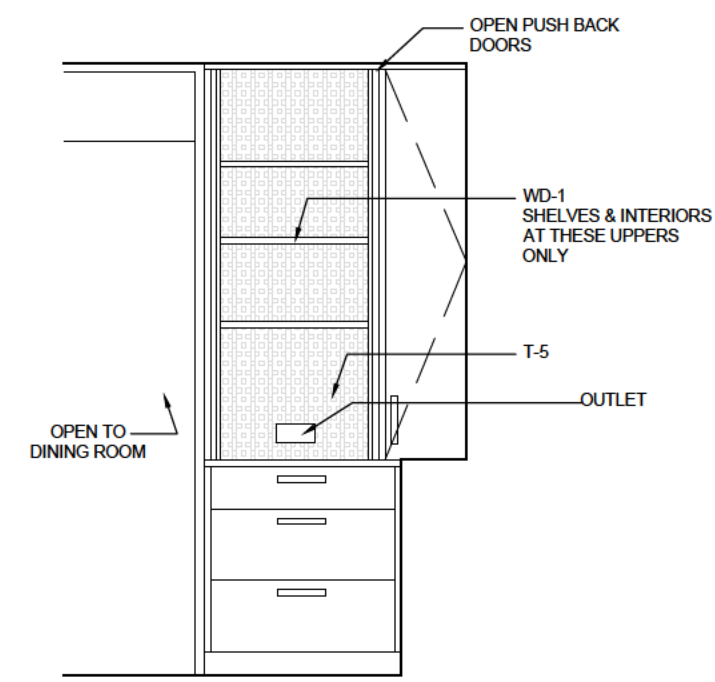
ISSUE FOR PRICING 11.10.2023

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Sheet Title

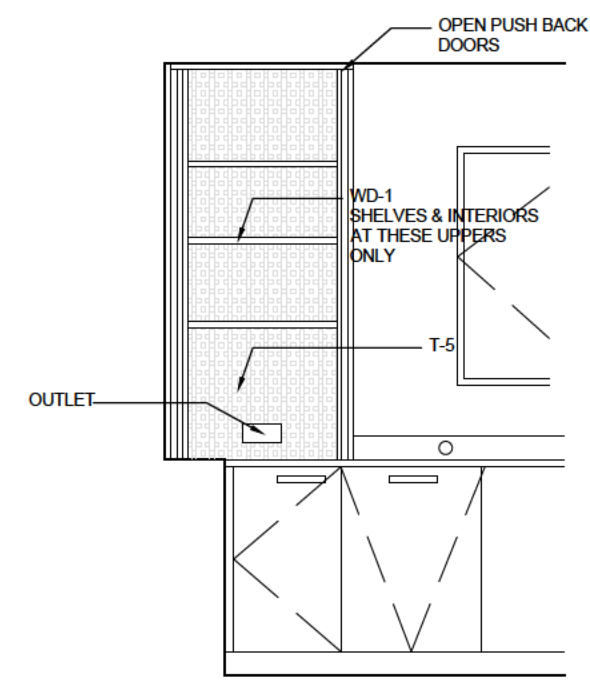
**ID-6.3**  
SCHEDULES

Sheet Number



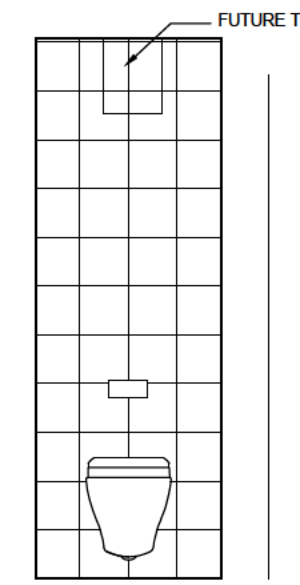
OPEN UPPER CABINET ELEV

16



OPEN UPPER CABINET ELEV

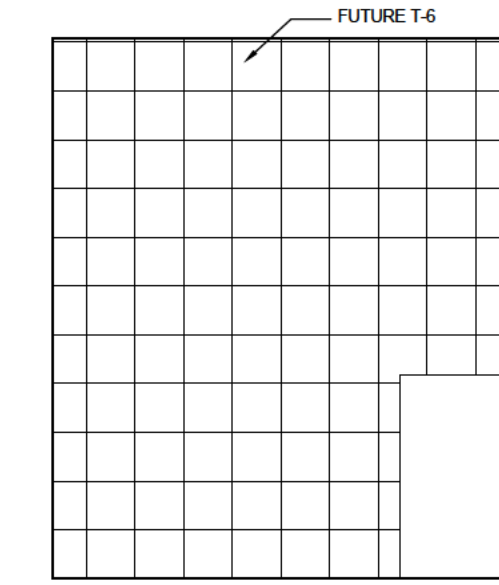
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\*FUTURE -TILED WALLS

SOUTHWEST ELEV @ POWDER

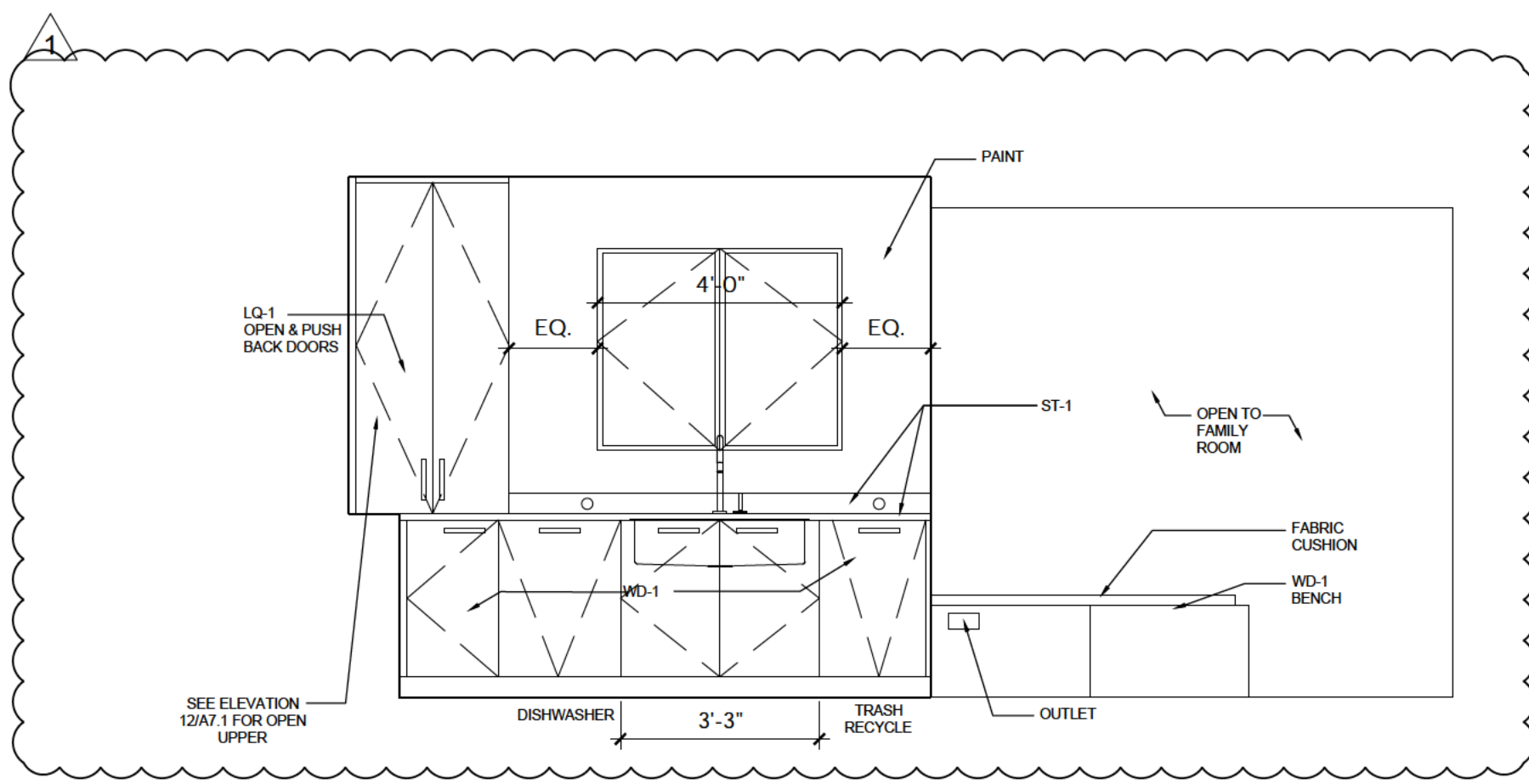
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\*FUTURE -TILED WALLS

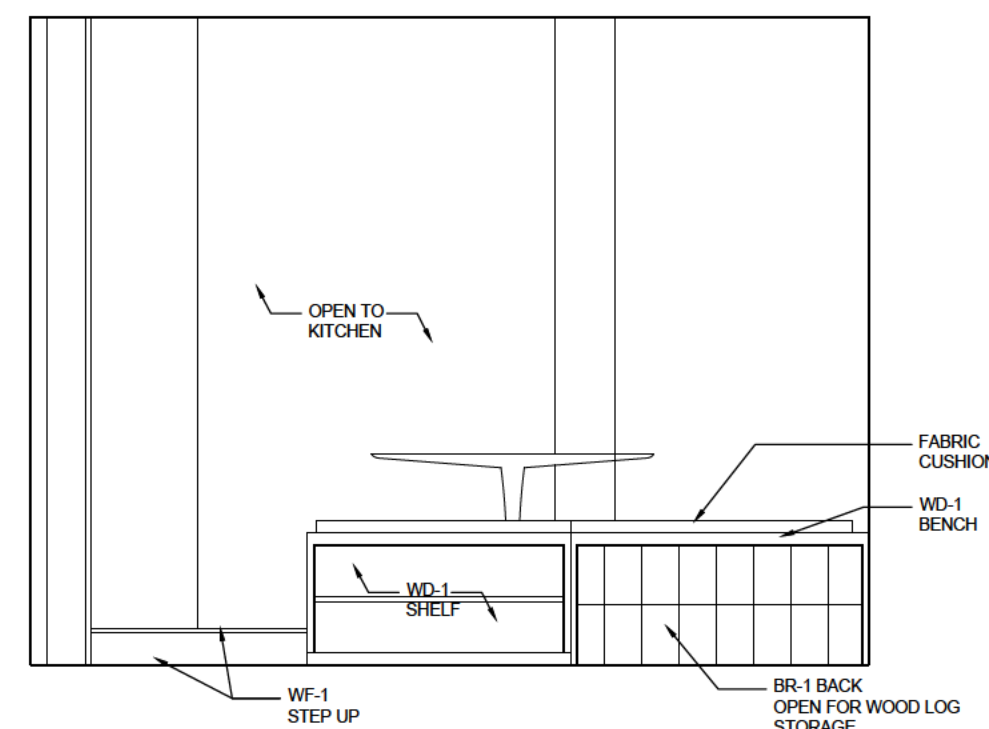
SOUTHEAST ELEV @ POWDER

04



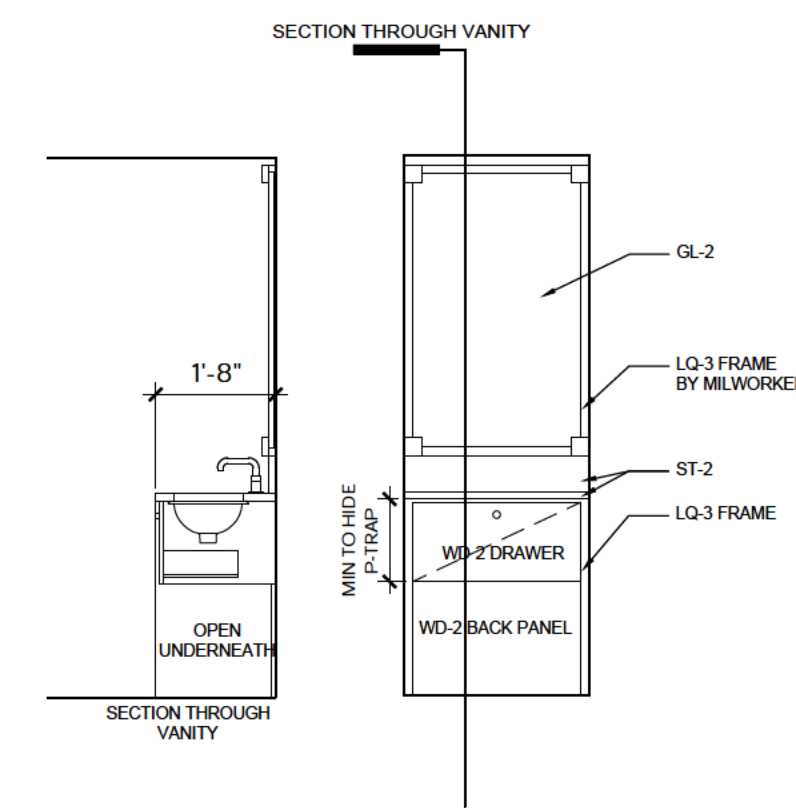
SOUTH ELEVATION @ KITCHEN

15



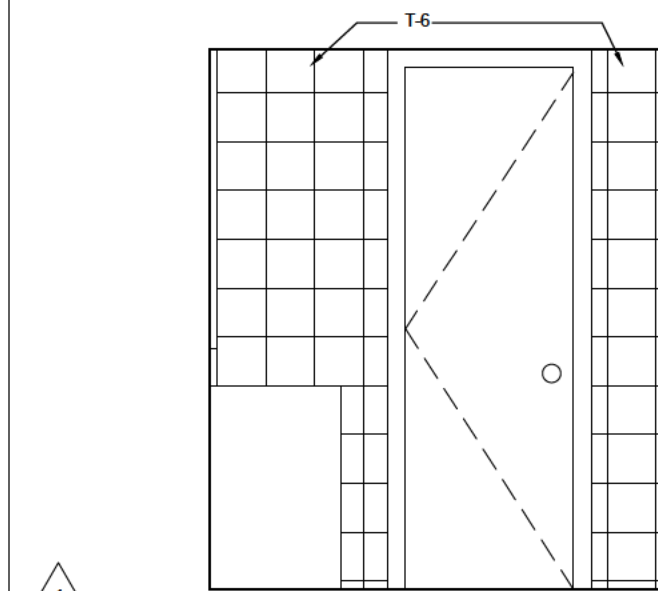
NORTHEAST ELEV @ FAMILY

11



NORTHEAST ELEV @ POWDER

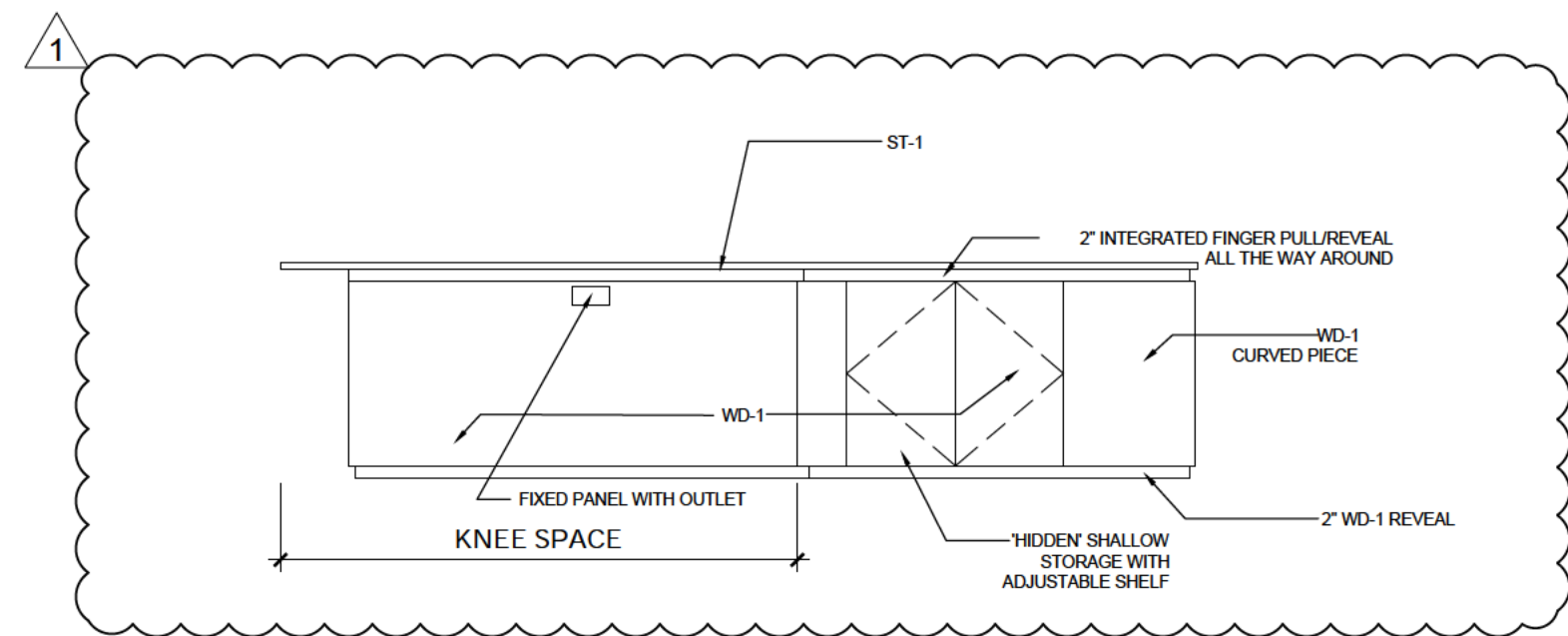
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\*FUTURE -TILED WALLS

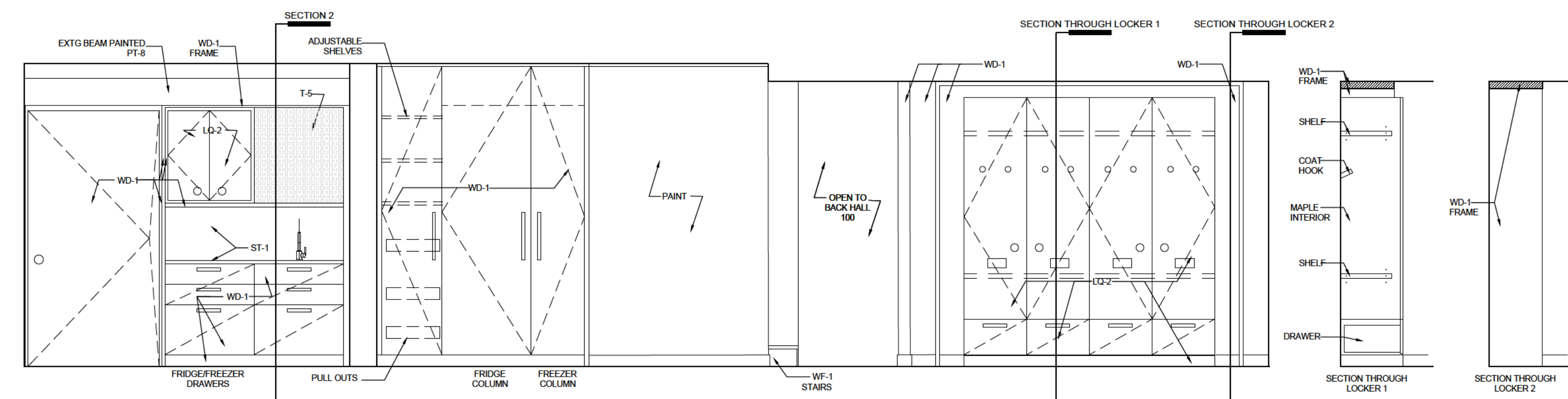
SOUTHEAST ELEV @ POWDER

03



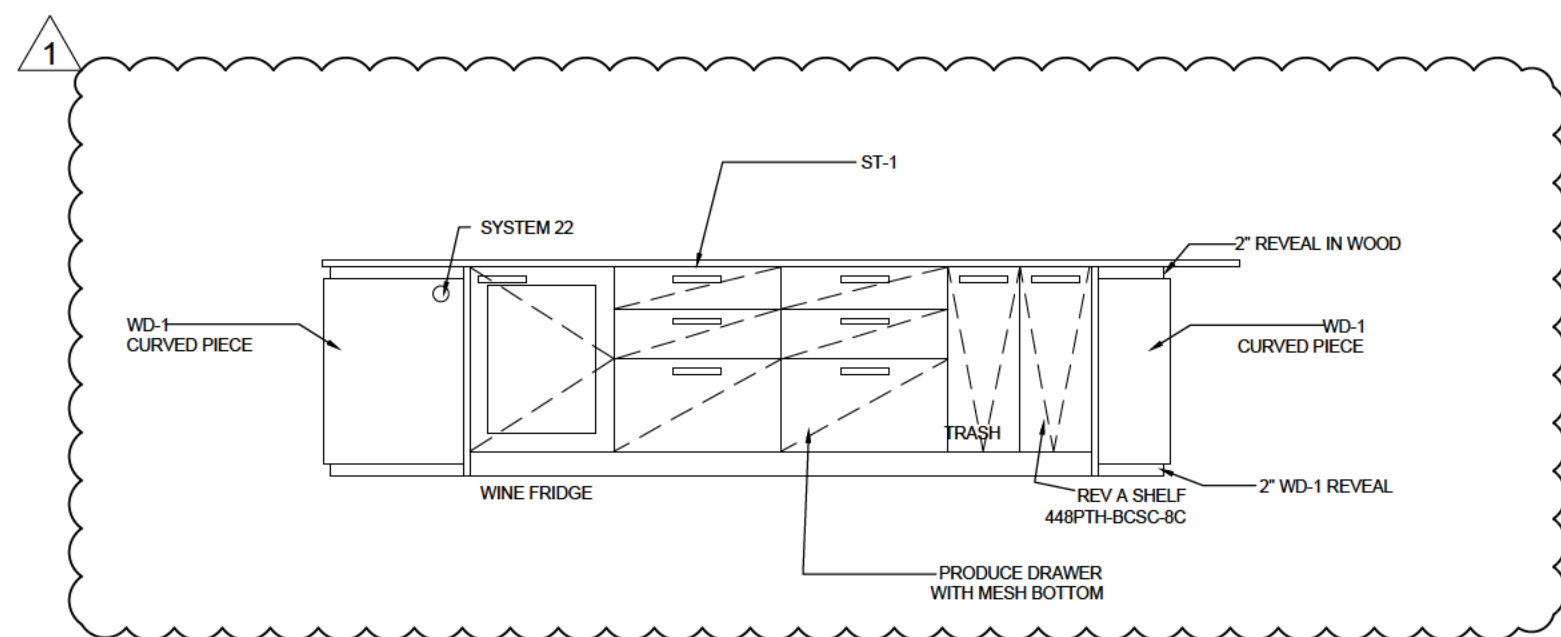
EAST ELEVATION @ KITCHEN ISLAND

14



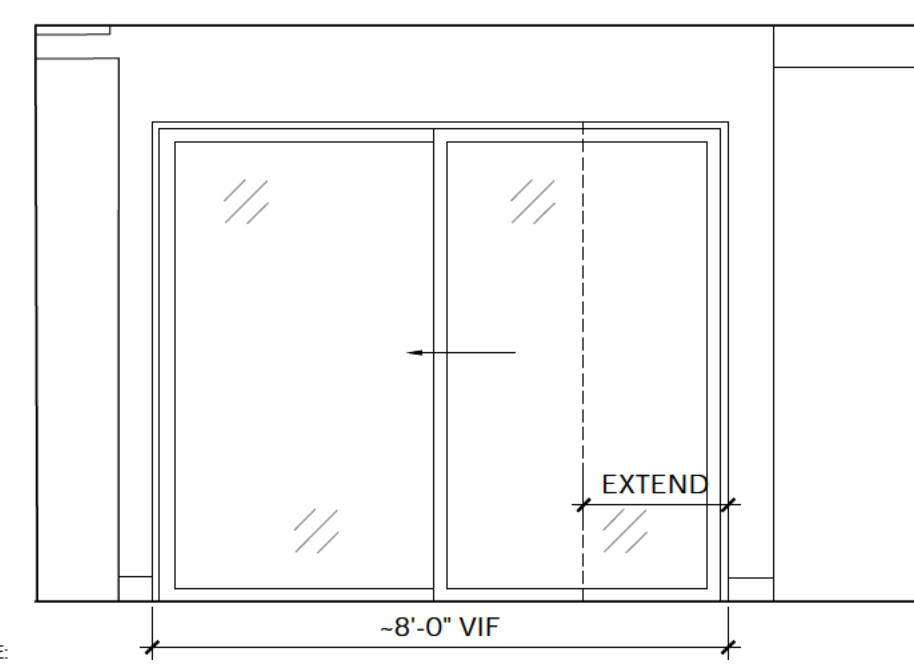
NORTHWEST ELEVATION @ KITCHEN

02



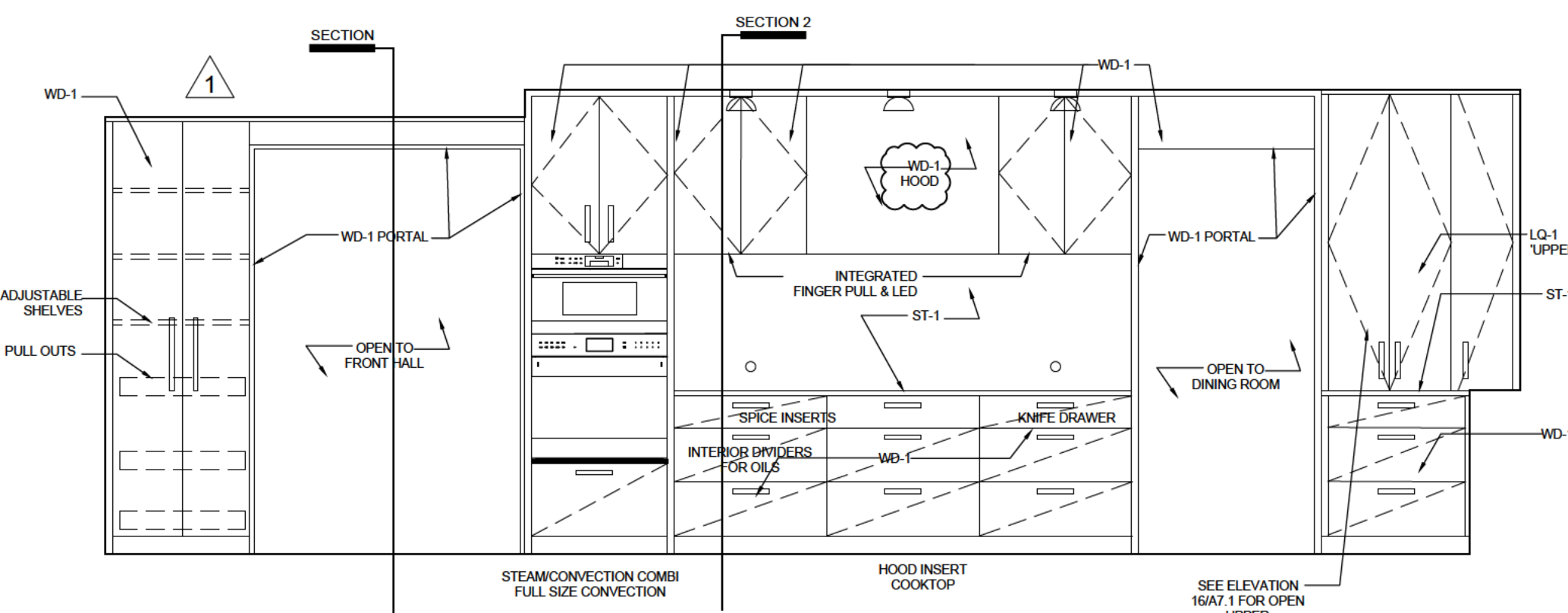
WEST ELEVATION @ KITCHEN ISLAND

13



NORTH ELEVATION @ KITCHEN

09



EAST ELEVATION @ KITCHEN

01

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Scale 3/8" = 1'-0"

Drawing Issue

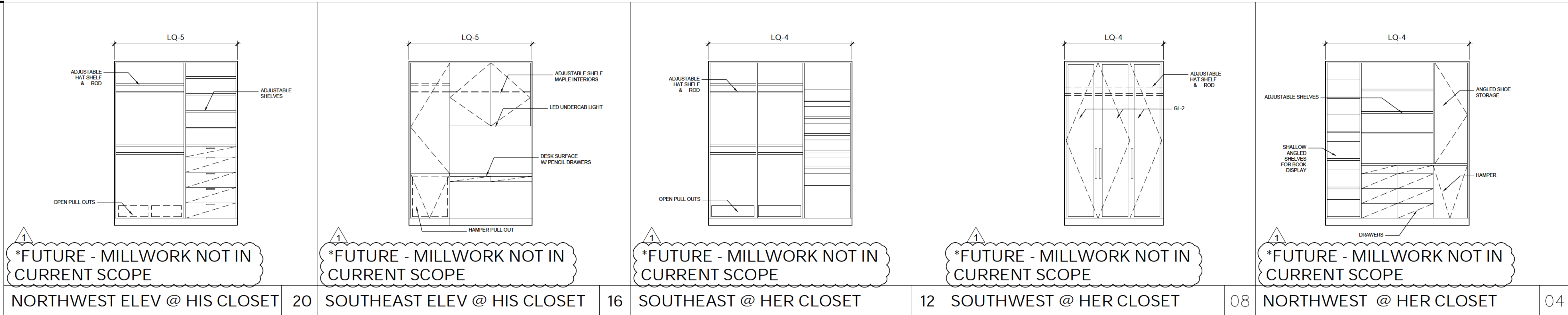
ISSUE FOR PRICING 11.13.2023

1 ISSUE FOR VE SCOPE 05.14.2024

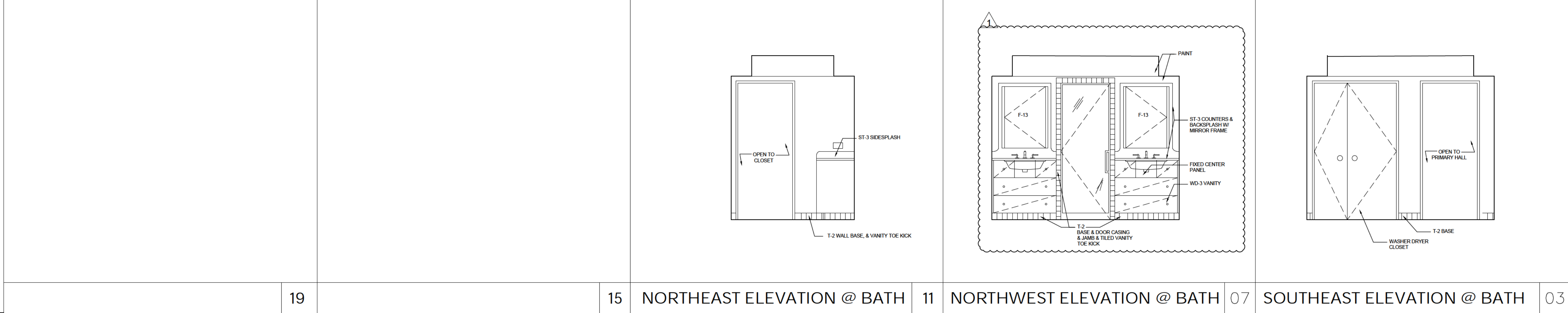
Sheet Title

**ID-7.1**  
**ELEVATIONS**

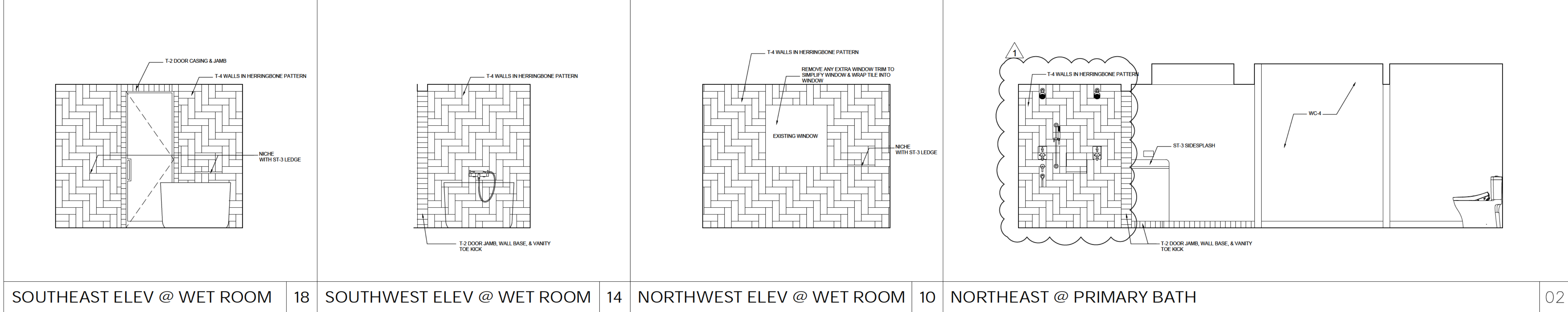
Sheet Number



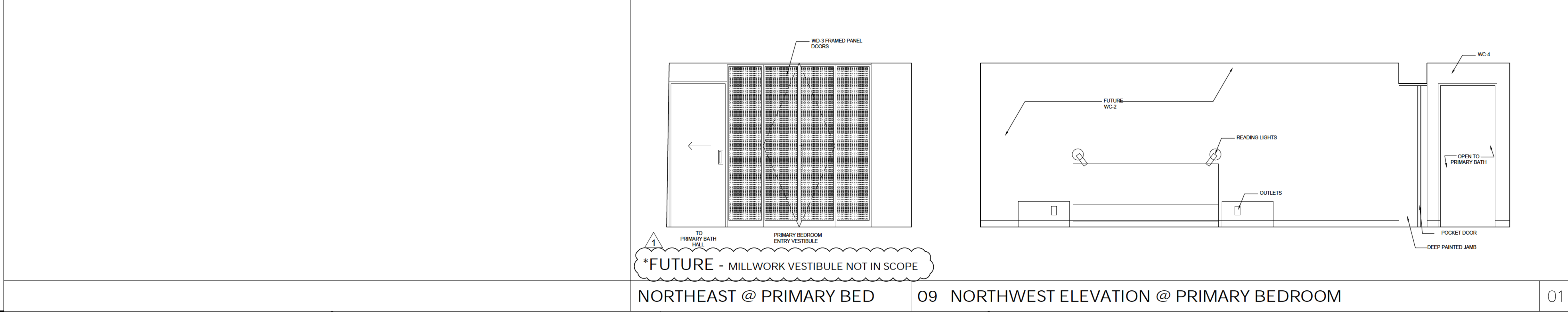
NORTHWEST ELEV @ HIS CLOSET 20    SOUTHEAST ELEV @ HIS CLOSET 16    SOUTHEAST @ HER CLOSET 12    SOUTHWEST @ HER CLOSET 08    NORTHWEST @ HER CLOSET 04



NORTHEAST ELEVATION @ BATH 11    NORTHWEST ELEVATION @ BATH 07    SOUTHEAST ELEVATION @ BATH 03



SOUTHEAST ELEV @ WET ROOM 18    SOUTHWEST ELEV @ WET ROOM 14    NORTHWEST ELEV @ WET ROOM 10    NORTHEAST @ PRIMARY BATH 02



NORTHEAST @ PRIMARY BED 09    NORTHWEST ELEVATION @ PRIMARY BEDROOM 01

Kauffmann Residence  
**PHASE 2 RENOVATION**  
 8244 N. GRAY LOG LANE  
 FOX POINT, WI 53217



**HAYLEY MAUREEN**  
 interior design

8244 N. GRAY LOG LN.  
 FOX POINT, WI 53217

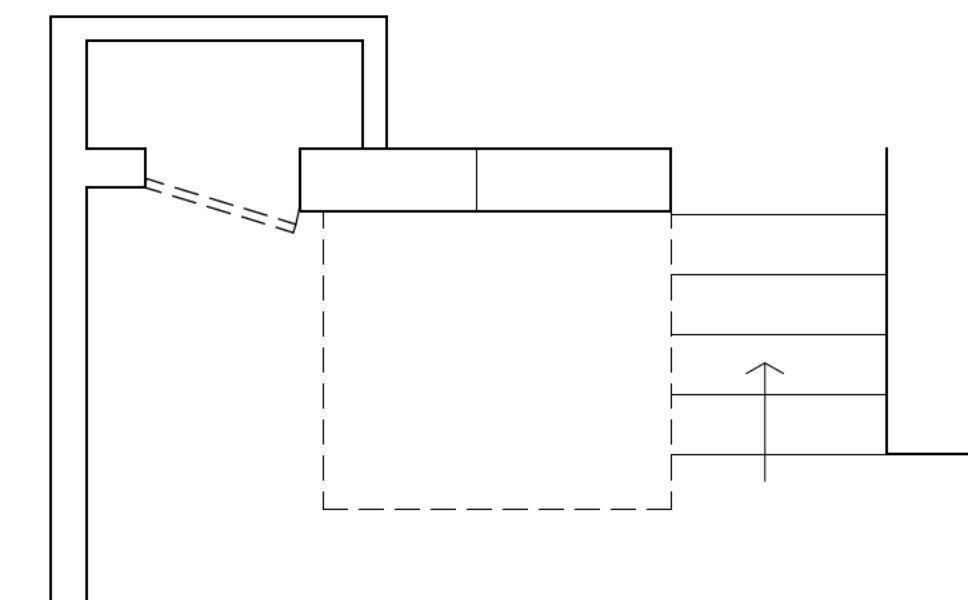
513.207.5352

Drawn By HK  
 Scale 3/8" = 1'-0"

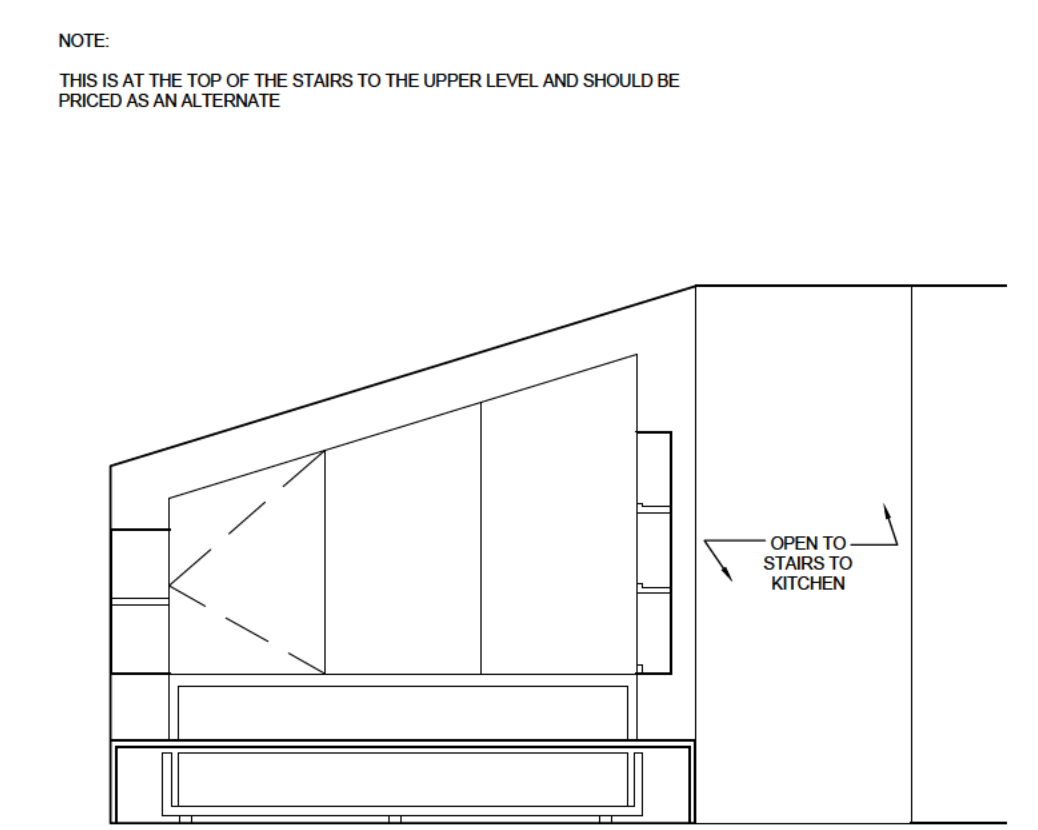
Drawing Issue  
 ISSUE FOR PRICING 11.13.2023  
 1 ISSUE FOR VE SCOPE 05.14.2024

Sheet Title  
**ID-7.2**  
**ELEVATIONS**

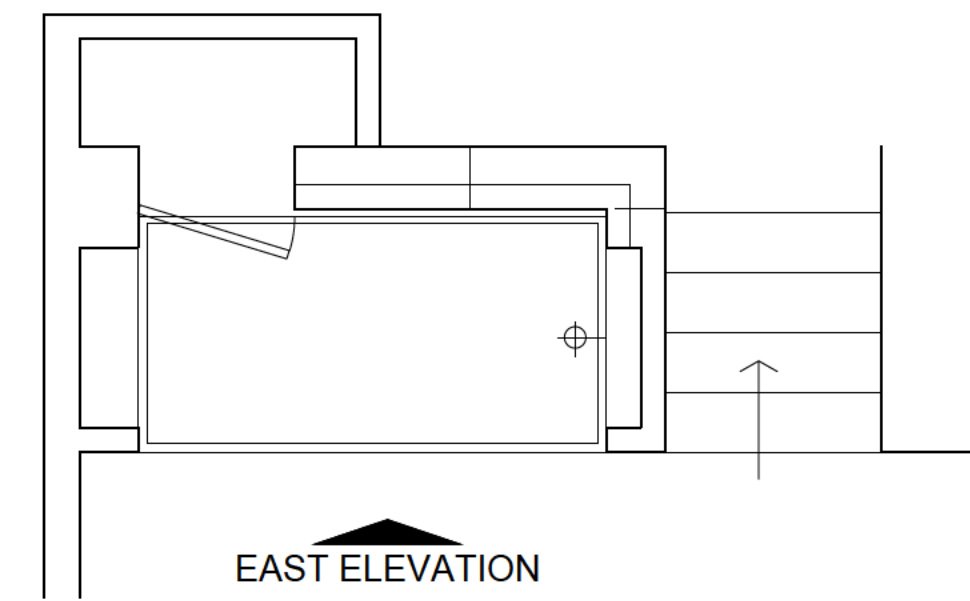
Sheet Number



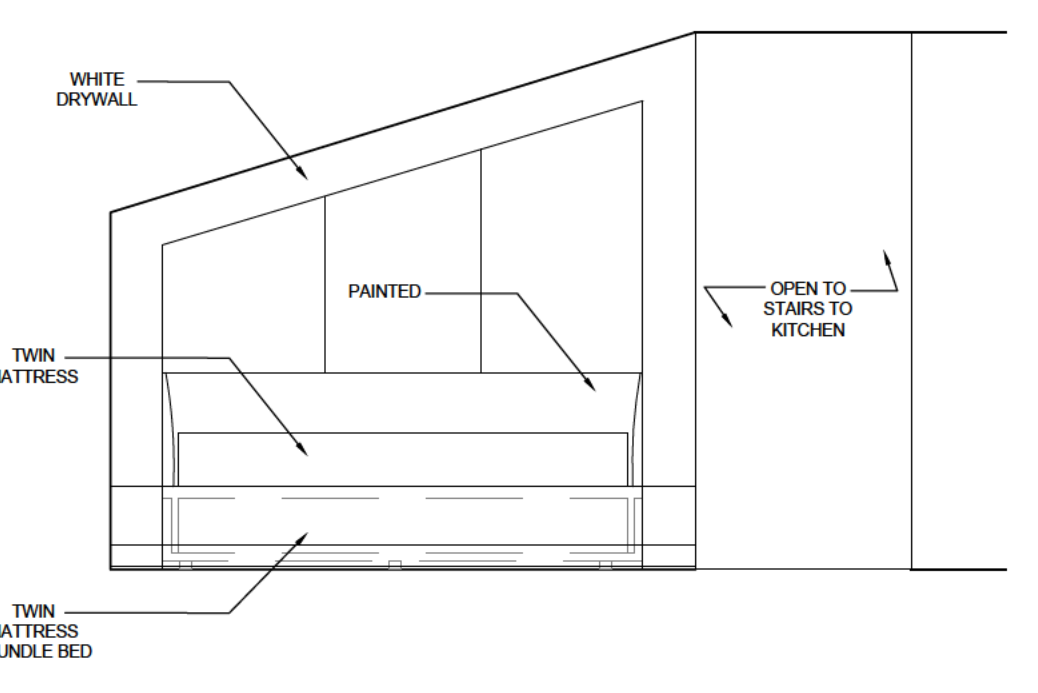
12 UPPER LOFT DEMO PLAN



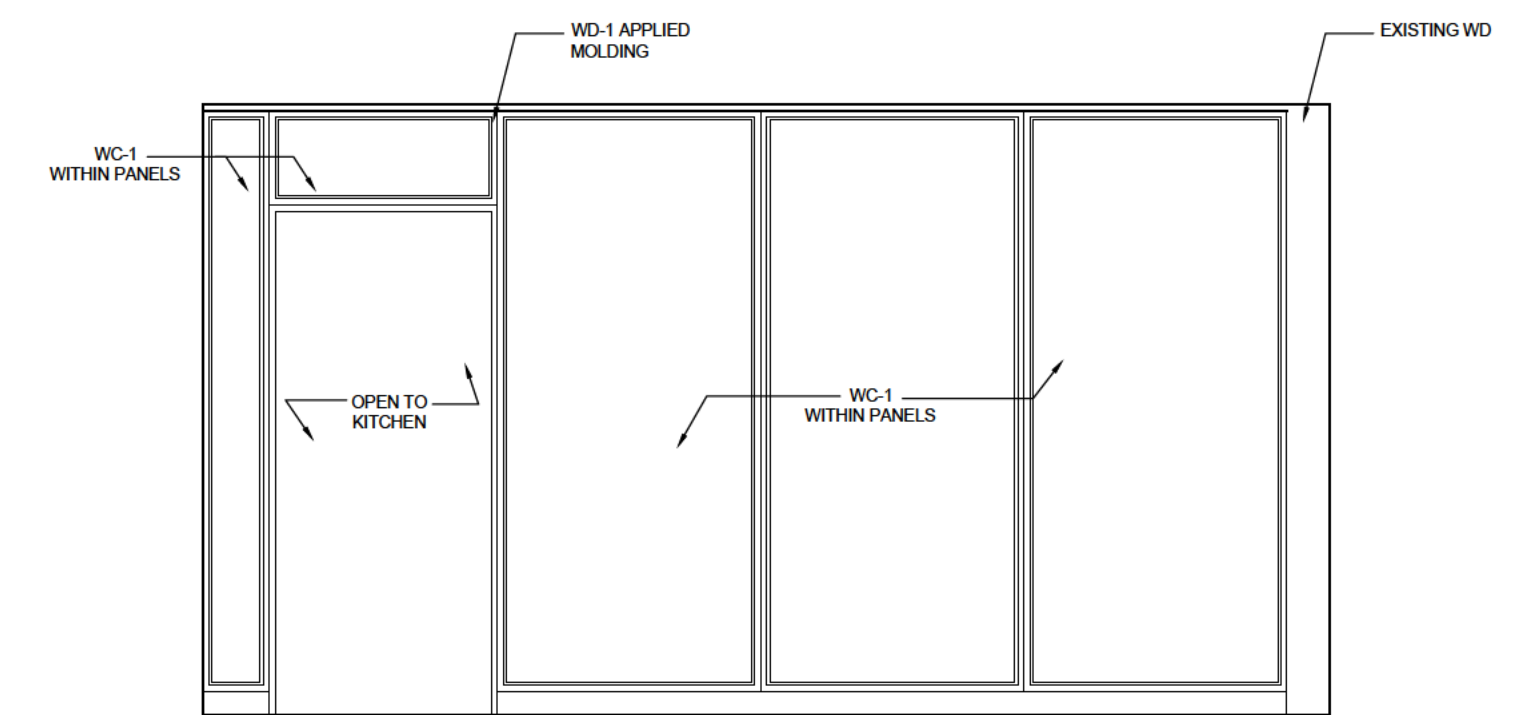
08 SECTION @ UPPER LOFT DAY BED 04



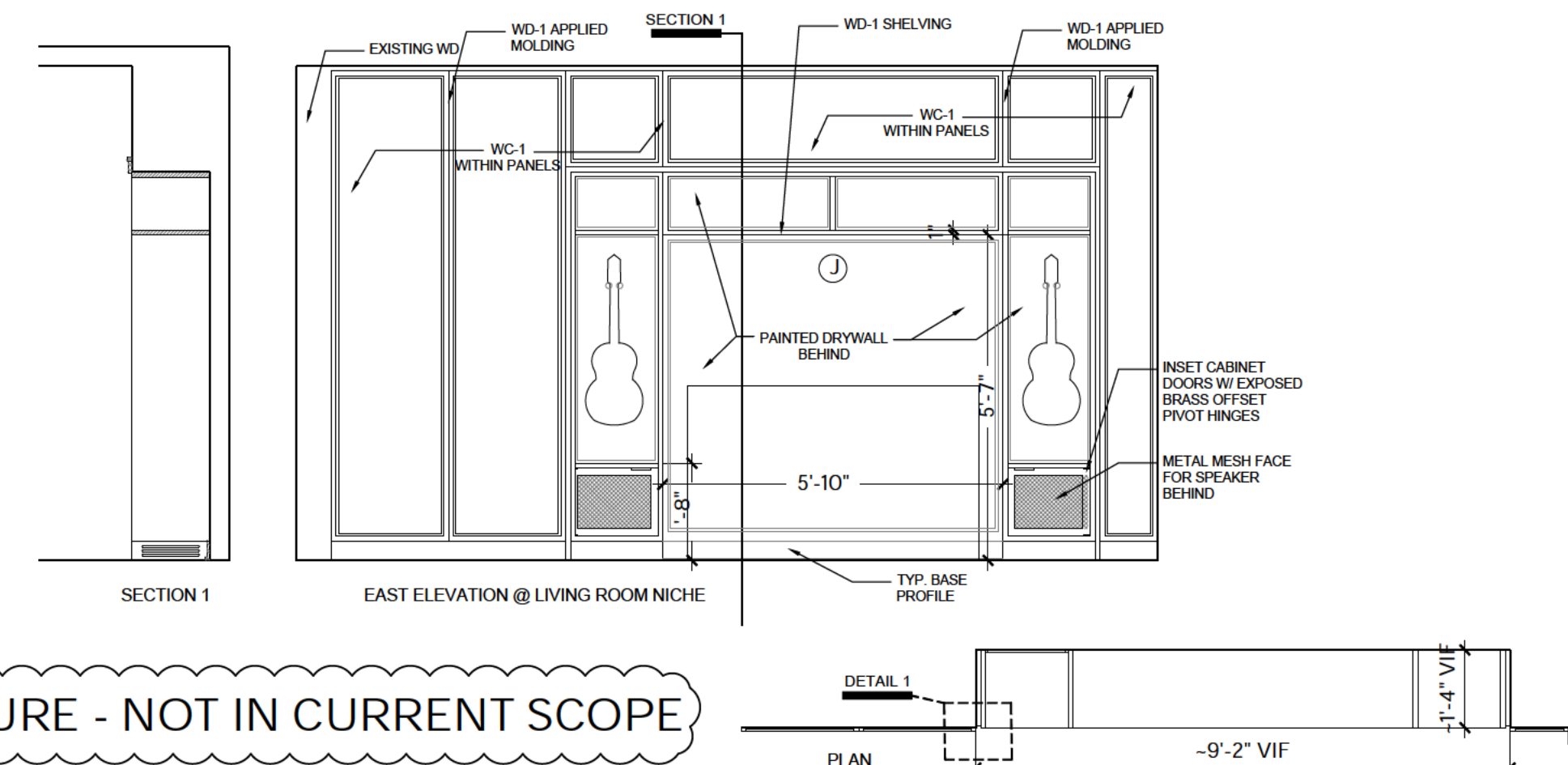
11 UPPER LOFT PLAN



07 EAST ELEV @ UPPER LOFT 03



WEST ELEVATION @ DINING ROOM



09 EAST ELEVATION @ LIVING ROOM

Kauffmann Residence  
**PHASE 2 RENOVATION**  
 8244 N. GRAY LOG LANE  
 FOX POINT, WI 53217



**HAYLEY MAUREEN**  
 interior design

8244 N. GRAY LOG LN.  
 FOX POINT, WI 53217

513.207.5352

Drawn By HK

Scale 3/8" = 1'-0"

Drawing Issue

ISSUE FOR PRICING 11.13.2023

1 ISSUE FOR VE SCOPE 05.14.2024

Sheet Title

**ID-7.3**  
**ELEVATIONS**

Sheet Number



**VILLAGE OF FOX POINT**  
 7200 N Santa Monica Blvd  
 Fox Point, WI 53217  
 (414) 247-6622  
 www.villageoffoxpoint.com

**Permit Number:**  
**B-**

OFFICE USE ONLY
Issued Date
Zoning

**BUILDING PERMIT**

<b>Job Address</b> 8566 N. Regent Road	<b>Building Type:</b> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
<b>Description of Work</b>	
Remove (raze) existing single vehicle garage and front entry, Construct new two vehicle garage and replace front entry. On rear south facade provide new first floor additional living space with new washroom facilities, storage closets, new 2nd floor access and general use space. New 2nd floor "loft" space will be built over new 1st floor addition and portions of existing living space.	
<b>Estimated Cost of Project \$</b> 150,000	

<b>Owner/Occupant</b>	
<b>Business Name</b> N/A	<b>Contact Name</b> Elizabeth A. Casmer
<b>Address</b> 8566 N. Regent Road	<b>City/State/Zip</b> Fox Point, WI 53217
<b>Phone</b> 612-801-0188	<b>Email</b> bizcasmer@gmail.com

**\*\*Cautionary Statement required when homeowner is applying for permit\*\***

<b>Contractor</b>	
<b>Company Name</b> K.C. IMPROVEMENTS	<b>Contact Name</b> KARL CLEFFE
<b>Address</b> 6443 N. ARCH AVE.	<b>City/State/Zip</b> BROWN DEER, WI. 53223
<b>Phone</b> 414-807-1500	<b>Email</b> kcrvides@hotmail.com
<b>Dwelling Contractor #</b>	<b>Dwelling Contractor Qualifier #</b>

Square Footage Under Construction									
1st Floor	110sf	2nd Floor	615sf	Basement	none	Addition	527sf	Garage	529sf

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	
Building Board	\$75.00	
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld	\$95.00 minimum plus	\$0.13/sqft
Moving buildings	\$250.00 plus	\$0.13/sqft
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	<b>Minimum Fee</b>	<b>\$70.00</b>
Payable to: Village of Fox Point	<b>Total Permit Fee</b>	<b>\$</b>

**Applicant Signature** Elizabeth A. Casmer **Date** 8/2/24

Rev 01/22

**ISSUED PERMITS** are available on the Village website under **PERMITS & LICENSES**



**VILLAGE OF FOX POINT**  
7200 N Santa Monica Blvd  
Fox Point, WI 53217  
(414) 247-6622  
www.villageoffoxpoint.com

## **CAUTIONARY STATEMENT TO OWNERS OBTAINING BUILDING PERMITS**

101.65(1r) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654(2)(a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1)(a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

### **Wetlands Notice to Permit Applicants**

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service

### **Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil**

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

**Elizabeth A. Casmer**

Homeowner's Name – PRINTED

Homeowner's Signature

**8566 N. Regent Road**

Property Address

**August 2, 2024**

Date



# A REMODEL OF THE CASMER RESIDENCE 8566 NORTH REGENT FOX POINT, WI 53217

## ARCHITECTURAL

REV	
A0.01	SITE PLAN w/ PHOTOS
A1.00	SURVEY
A1.01	SITE PLAN
A1.10	FOUNDATION PLAN
A1.11	1st FLOOR DEMOLITION PLAN
A1.12	1st FLOOR PLAN
A1.13	ROOF DEMOLITION PLAN
A1.14	2nd FLOOR PLAN
A2.00	ROOF PLAN
A4.00	EXTERIOR ELEVATIONS - EXISTING
A4.10	EXTERIOR ELEVATIONS - EXISTING
A4.20	EXTERIOR ELEVATIONS - DEMOLITION
A4.30	EXTERIOR ELEVATIONS - DEMOLITION
A4.40	EXTERIOR ELEVATIONS - NEW
A4.50	EXTERIOR ELEVATIONS - NEW
A5.00	BUILDING CROSS SECTIONS



JFrench and Associates, Inc.

Architecture

301 Heidel Road  
Thiensville, WI 53092  
ph. 414 - 234 - 0299

RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI

AUTHORIZATION SIGNATURE

SIGNATURE DATE:

### OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Architect are instruments of service and shall not become the property of the Owner whether or not the Project for which they are made is completed. Drawings, specifications and other documents furnished by the Architect shall not be used by the owner on other projects, for additions to this project or for completion to use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of the Architect's or the Architect's common law copyrights or other reserved rights. The owner shall own neither the documents nor the copyrights.

SHEET TITLE

TITLE SHEET

REVISIONS

PROJECT DATA

Date: 8-2-2024

Job No: 24101

Drawn By: JCF

SHEET NO.

T1

BUILDING BOARD REVIEW



1 - W FRONT ELEVATION (WEST)



2 - SW FRONT SOUTHWEST CORNER



3 - N NORTH ELEV., WEST 1/2 OF HOUSE



4 - NE NORTH ELEV. LOOKING S.E.



6 - E REAR ELEV. GARAGE



7 - S SOUTH ELEV., EAST 1/2 OF HOUSE



8 - S SOUTH ELEVATION, CENTER OF HOUSE



5 - NW NORTH ELEVATION LOOKING S.W.



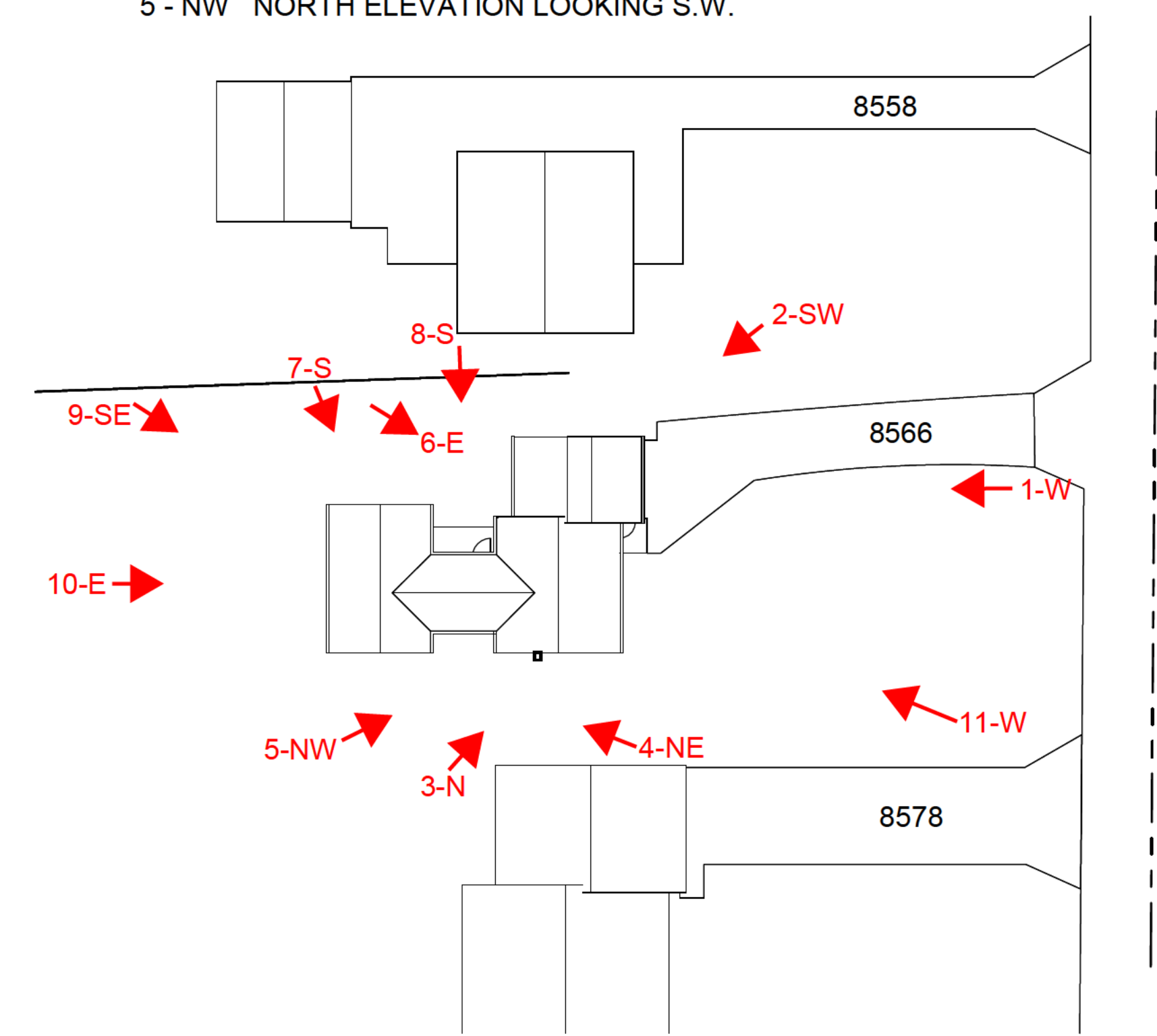
9 - SE REAR SOUTHEAST CORNER



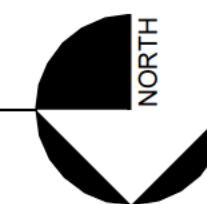
10 - E REAR ELEVATION (EAST)



11 - W FRONT ELEVATION (WEST)



1 PHOTO KEY  
A0.01 SCALE: 3/64" = 1'-0"



JFrench and Associates, Inc.

Architecture

301 Heidel Road  
Thiensville, WI 53092  
ph. 414 - 234 - 0299

RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI

AUTHORIZATION SIGNATURE \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_  
BY SIGNING THIS DOCUMENT, THE ARCHITECT AGREES TO PROVIDE THE BEST PROFESSIONAL SERVICE AND TO MAINTAIN THE CONFIDENTIALITY OF ALL INFORMATION RELAYED TO HIM OR HER BY THE CLIENT. THE ARCHITECT'S OBLIGATION TO THE CLIENT IS LIMITED TO THE SCOPE OF WORK PROVIDED AND SET FORTH IN THE ARCHITECT'S CONTRACT AND/OR STATEMENT OF WORK.

**OWNERSHIP AND USE OF DOCUMENTS**  
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SHEET TITLE \_\_\_\_\_

EXISTING ELEV. - PHOTO'S

REVISIONS \_\_\_\_\_

PROJECT DATA

Date: \_\_\_\_\_ 8-2-2024

Job No: \_\_\_\_\_ 24101

Drawn By: \_\_\_\_\_ JCF

SHEET NO. \_\_\_\_\_

BUILDING BOARD REVIEW

A0.01



JFrench and Associates, Inc.

Architecture

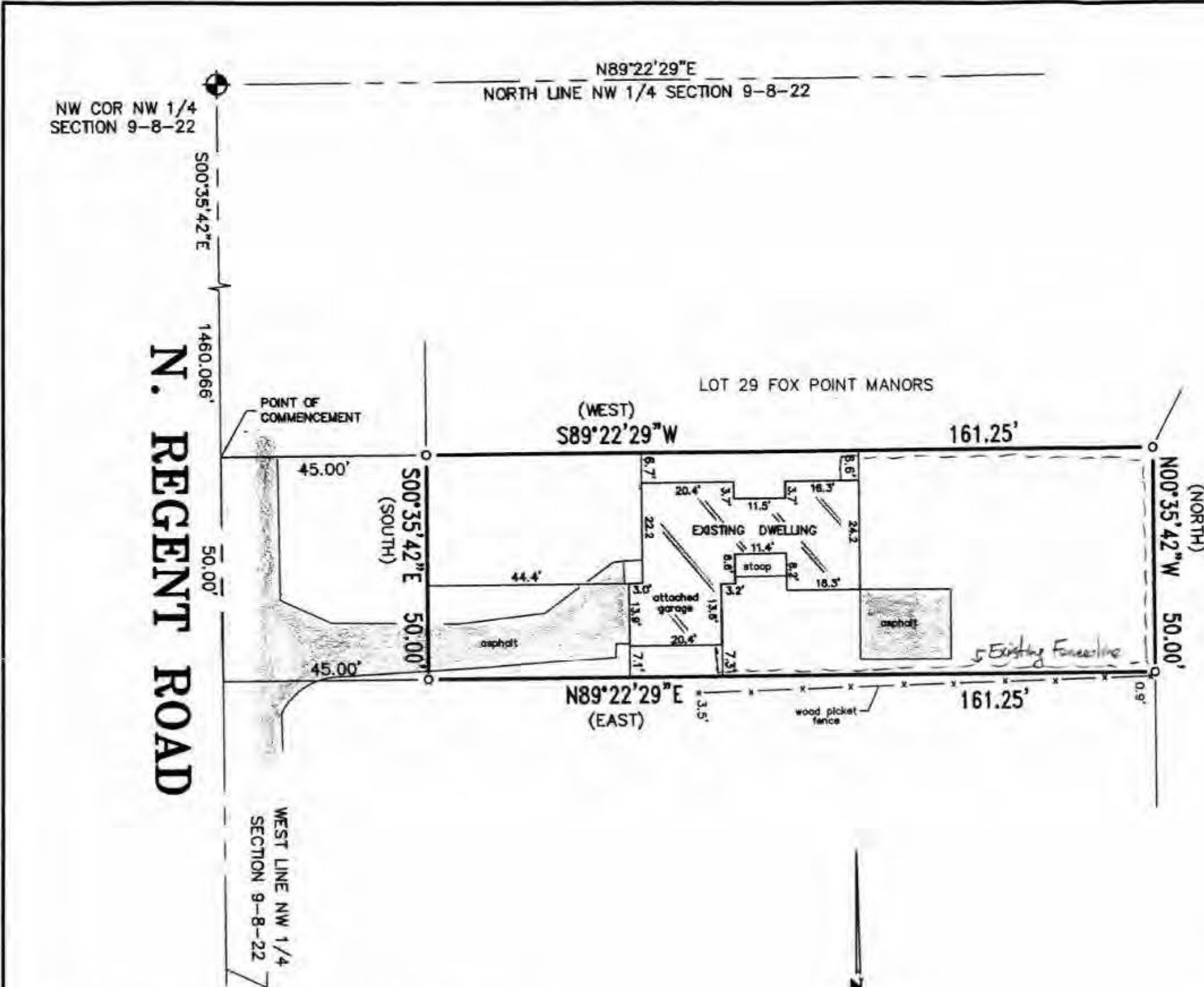
301 Heidel Road  
Thiensville, WI 53092  
ph. 414 - 234 - 0299

RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI

# PLAT OF SURVEY -OF-

A PARCEL OF LAND IN THE NORTHWEST 1/4 OF SECTION 9, IN TOWNSHIP 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE WEST LINE OF SAID 1/4 SECTION 1460.066 FEET SOUTH OF THE NORTHWEST CORNER THEREOF; THENCE SOUTH ON THE WEST LINE OF SAID 1/4 SECTION, 50.0 FEET; THENCE EAST ON A LINE PARALLEL TO THE NORTH LINE OF SAID 1/4 SECTION, 206.25 FEET; THENCE NORTH AND PARALLEL TO THE WEST LINE OF SAID 1/4 SECTION, 50.0 FEET; THENCE WEST AND PARALLEL TO THE NORTH LINE OF SAID 1/4 SECTION, 206.25 FEET TO THE PLACE OF COMMENCEMENT. RESERVING THE WESTERLY 24.75 FEET FOR STREET PURPOSES.

SURVEY ADDRESS: 8566 REGENT ROAD  
SURVEY FOR: KATHERINE GRAPENGIESER



I hereby certify that I have surveyed the above described property and that the above map is a correct representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and encroachments, if any.

This survey is made for the use of the present owners of the property, and those who purchase mortgage or guarantee the title thereto within one year from date hereof.

## LIBERTY LAND SURVEYING

789 CHICORY ROAD  
BURLINGTON, WISCONSIN 53105  
(262)210-7260 (262)767-8786

- LEGEND**
- FOUND IRON PIPE
  - SET IRON ROD
  - ( ) RECORDED AS

SCALE: 1" = 30'



THIS IS NOT AN ORIGINAL PRINT  
UNLESS THIS SEAL IS RED  
THIS SURVEY IS SUBJECT TO WISCONSIN LIEN LAWS.  
THIS PLAT OF SURVEY IS THE NOTICE OF INTENT  
TO FILE LIEN. LIEN WAIVER IS REQUIRED.

*Franklin J. Lehman*  
FRANKLIN J. LEHMAN S-2211

OCT. 24, 2007 DATE 071002 JOB NUMBER

AUTHORIZATION SIGNATURE

SIGNATURE

**OWNERSHIP AND USE OF DOCUMENTS**

The drawings, specifications and other documents furnished by the Architect and instruments of service shall become the property of the Owner whether or not the Project for which they are made is completed. Drawings, specifications and other documents furnished by the Architect shall not be used by the owner on other projects, for additions to this project, or for other purposes in connection with the Project is not to be construed as publication in derogation of the Architect's or the Architect's common law copyright or other reserved rights. The owner shall own neither the documents nor the copyright.

SHEET TITLE

SURVEY

REVISIONS

PROJECT DATA

Date: 8-2-2024

Job No: 24101

Drawn By: JCF

SHEET NO.

A1.00

BUILDING BOARD REVIEW



JFrench and Associates, Inc.

Architecture

301 Heidel Road  
Thiensville, WI 53092  
ph. 414 - 234 - 0299

RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI

AUTHORIZATION SIGNATURE \_\_\_\_\_ DATE: \_\_\_\_\_

**X** SIGNATURE: \_\_\_\_\_  
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SHEET TITLE \_\_\_\_\_

SITE PLAN

REVISIONS \_\_\_\_\_

PROJECT DATA

Date: \_\_\_\_\_ 8-2-2024

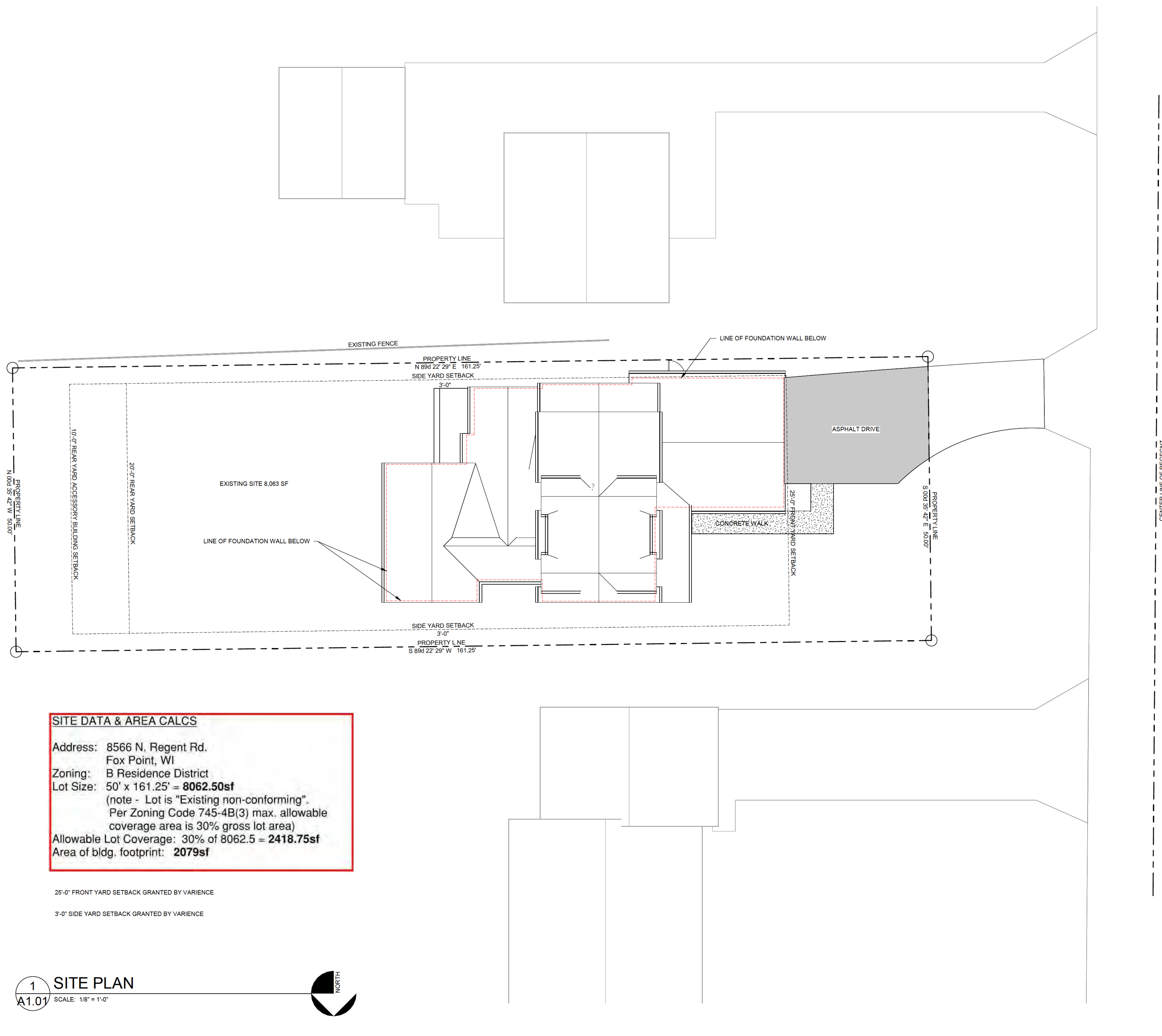
Job No: \_\_\_\_\_ 24101

Drawn By: \_\_\_\_\_ JCF

SHEET NO. \_\_\_\_\_

A1.01

BUILDING BOARD REVIEW

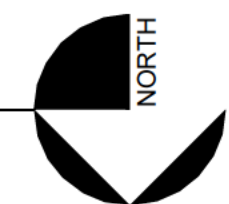


**SITE DATA & AREA CALCS**  
Address: 8566 N. Regent Rd.  
Fox Point, WI  
Zoning: B Residence District  
Lot Size: 50' x 161.25' = **8062.50sf**  
(note - Lot is "Existing non-conforming".  
Per Zoning Code 745-4B(3) max. allowable  
coverage area is 30% gross lot area)  
Allowable Lot Coverage: 30% of 8062.5 = **2418.75sf**  
Area of bldg. footprint: **2079sf**

25'-0" FRONT YARD SETBACK GRANTED BY VARIANCE

3'-0" SIDE YARD SETBACK GRANTED BY VARIANCE

1 SITE PLAN  
A1.01 SCALE: 1/8" = 1'-0"







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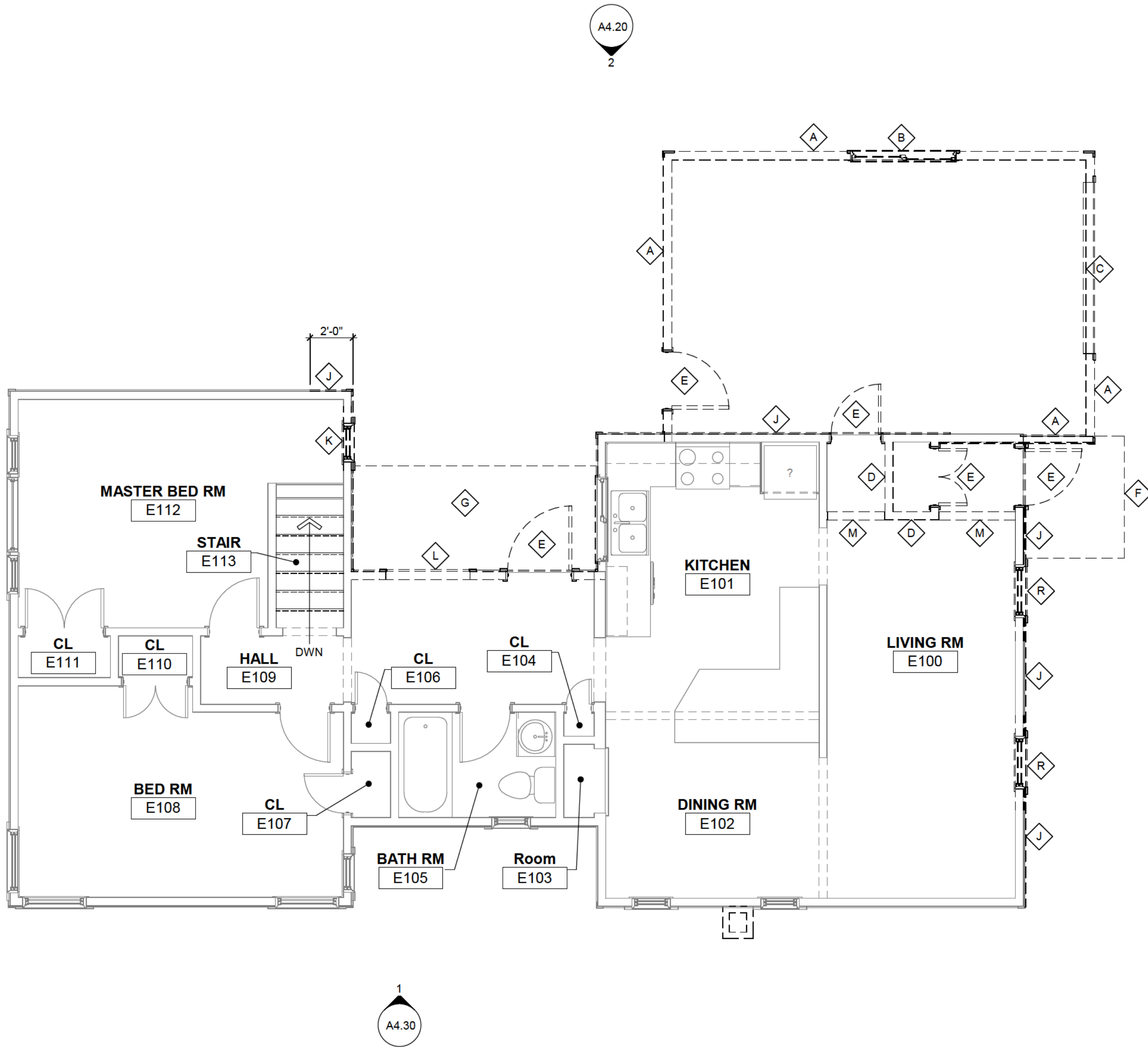
Architecture

301 Heidel Road  
Thiensville, WI 53092  
ph. 414 - 234 - 0299

RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI

**DEMOLITION KEY NOTES**

- A** REMOVE WALL, FOUNDATION AND FOOTING BELOW
- B** REMOVE WINDOW
- C** REMOVE OVERHAED GARAGE DOOR
- D** REMOVE WALL
- E** REMOVE DOOR AND FRAME
- F** REMOVE FRONT PORCH
- G** REMOVE WOOD DECK COMPLETELY
- H** REMOVE DOOR AND FRAME. INFILL OPENING AND MAKE WEATHER TIGHT UNTIL FINAL VENEER IS INSTALLED
- J** REMOVE EXTERIOR VENEER ON THIS AREA. MAKE WALL WEATHER TIGHT UNTIL FINAL VENEER IS INSTALLED
- K** REMOVE WINDOW AND PREP OPENING FOR NEW DOOR THIS LOCATION
- L** REMOVE WALL COMPLETELY THIS AREA. PROVIDE TEMPORARY SHORING FOR ROOF AS NEEDED; MAKE WEATHER TIGHT
- M** REMOVE SOFFIT
- N** REMOVE ROOF AND FRAMING, FASCIA AND GUTTERS THIS AREA
- O** REMOVE SHINGLE ROOF TO DECK, FASCIA AND GUTTER
- P** REMOVE MASONRY CHIMNEY TO GRADE
- Q** REMOVE ROOF AND FRAMING THIS AREA AND PREP FOR NEW SECOND FLOOR WALLS
- R** REMOVE WINDOW AND SHUTTERS



**1 1st FLOOR DEMOLITION PLAN**  
A1.11 SCALE: 1/4" = 1'-0"

AUTHORIZATION SIGNATURE \_\_\_\_\_ DATE: \_\_\_\_\_

**X** SIGNATURE: \_\_\_\_\_  
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF JFRENCH AND ASSOCIATES, INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF JFRENCH AND ASSOCIATES, INC. IS STRICTLY PROHIBITED.

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SHEET TITLE \_\_\_\_\_

1st FLOOR DEMOLITION PLAN

REVISIONS \_\_\_\_\_

PROJECT DATA \_\_\_\_\_

Date: \_\_\_\_\_ 8-2-2024

Job No: \_\_\_\_\_ 24101

Drawn By: \_\_\_\_\_ JCF

SHEET NO. \_\_\_\_\_

**A1.11**

BUILDING BOARD REVIEW

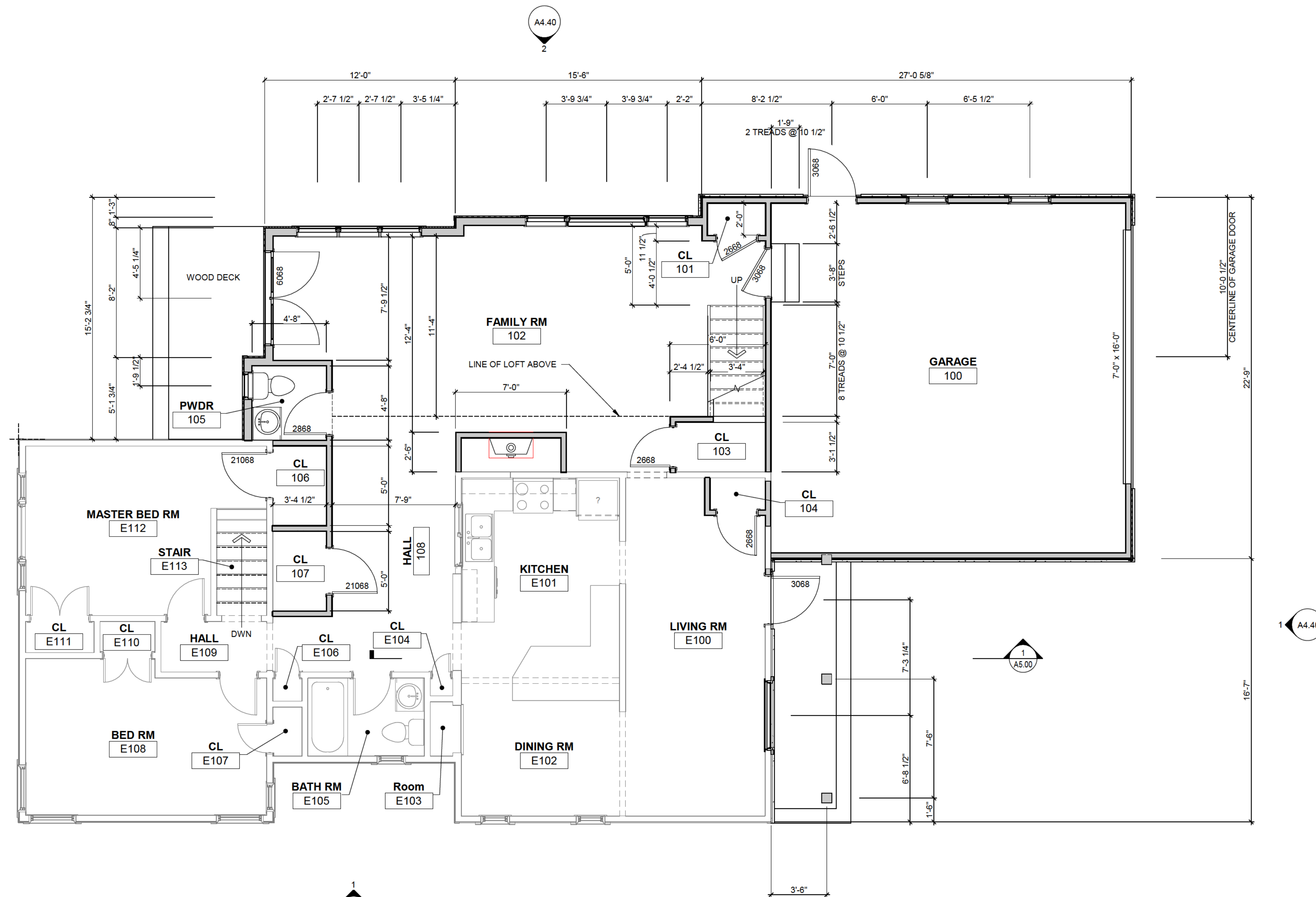


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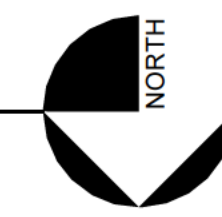
Architecture

301 Heidel Road  
Thiensville, WI 53092  
ph. 414 - 234 - 0299

RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI



1 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



ROOM FINISH SCHEDULE

FINISH KEY										NOTES	
FLOOR:				WALLS:				COUNTER TOPS:			
CPT	- CARPET	CT	- CERAMIC TILE	CT	- CERAMIC TILE	CT	- CERAMIC TILE	1. ALL BATH ROOMS TO USE WATER-RESISTANT GYPSUM BOARD ON THE WALLS AND CEILING. 2. ELECTRICAL BOXES IN WALLS WITH SOUND ATTENUATION BATTS SHALL BE SEALED WITH CAULKING ON BACK AND SIDES. 3. ELECTRICAL OUTLET BOXES TO BE SEPARATED BY AT LEAST ONE STUD SPACE. 4. PROVIDE RECESSED LIGHTING IN ALL CLOSETS, POWDER ROOM AND HALL. 5. PROVIDE RECESSED LIGHTING AT LOFT AREA. 6. PROVIDE SOUND ATTENUATION BATTS IN FLOOR JOIST AT LOFT AREA. ATTACHED PER MANUFACTURERS RECCOMENDATION. 7. SUPPLY AND WASTE CONNECTIONS SHALL BE ISOLATED FROM STRUCTURE. 8. WASTE STACK SHALL BE SEPARATED BY AT LEAST ONE VACANT STUD SPACE.  ALLOWANCES: 1. \$30 PER SQUARE FOOT FOR HARDWOOD FLOORS, MATERIAL AND INSTALL. 2. \$12 PER SQUARE FOOT FOR CERAMIC TILE AND INSTALL. 3. PROVIDE TWO PENDANT CEILING FIXTURES AT FAMILY ROOM (\$1,500 EA PURCHASE); PLUS RECESSED INCIDENTAL LIGHTING. 4. PROVIDE \$2,500 ALLOWANCE FOR INTERIOR RAILING TO LOFT.			
CT	- CERAMIC TILE	EP	- EPOXY PAINT	EP	- EPOXY PAINT	GR	- GRANITE				
EM	- ENTRY MAT	EXP	- EXPOSED STRUCTURE	EXP	- EXPOSED STRUCTURE	NS	- NATURAL STONE	1. ALL BATH ROOMS TO USE WATER-RESISTANT GYPSUM BOARD ON THE WALLS AND CEILING. 2. ELECTRICAL BOXES IN WALLS WITH SOUND ATTENUATION BATTS SHALL BE SEALED WITH CAULKING ON BACK AND SIDES. 3. ELECTRICAL OUTLET BOXES TO BE SEPARATED BY AT LEAST ONE STUD SPACE. 4. PROVIDE RECESSED LIGHTING IN ALL CLOSETS, POWDER ROOM AND HALL. 5. PROVIDE RECESSED LIGHTING AT LOFT AREA. 6. PROVIDE SOUND ATTENUATION BATTS IN FLOOR JOIST AT LOFT AREA. ATTACHED PER MANUFACTURERS RECCOMENDATION. 7. SUPPLY AND WASTE CONNECTIONS SHALL BE ISOLATED FROM STRUCTURE. 8. WASTE STACK SHALL BE SEPARATED BY AT LEAST ONE VACANT STUD SPACE.  ALLOWANCES: 1. \$30 PER SQUARE FOOT FOR HARDWOOD FLOORS, MATERIAL AND INSTALL. 2. \$12 PER SQUARE FOOT FOR CERAMIC TILE AND INSTALL. 3. PROVIDE TWO PENDANT CEILING FIXTURES AT FAMILY ROOM (\$1,500 EA PURCHASE); PLUS RECESSED INCIDENTAL LIGHTING. 4. PROVIDE \$2,500 ALLOWANCE FOR INTERIOR RAILING TO LOFT.			
SC	- SEALED CONCRETE	GWB	- GYPSUM WALL BOARD	GWB	- GYPSUM WALL BOARD	PL	- PLASTIC LAMINATE				
VCT	- VINYL COMPOSITION TILE	PT	- PAINTED	PT	- PAINTED	SC	- SEALED CONCRETE	1. ALL BATH ROOMS TO USE WATER-RESISTANT GYPSUM BOARD ON THE WALLS AND CEILING. 2. ELECTRICAL BOXES IN WALLS WITH SOUND ATTENUATION BATTS SHALL BE SEALED WITH CAULKING ON BACK AND SIDES. 3. ELECTRICAL OUTLET BOXES TO BE SEPARATED BY AT LEAST ONE STUD SPACE. 4. PROVIDE RECESSED LIGHTING IN ALL CLOSETS, POWDER ROOM AND HALL. 5. PROVIDE RECESSED LIGHTING AT LOFT AREA. 6. PROVIDE SOUND ATTENUATION BATTS IN FLOOR JOIST AT LOFT AREA. ATTACHED PER MANUFACTURERS RECCOMENDATION. 7. SUPPLY AND WASTE CONNECTIONS SHALL BE ISOLATED FROM STRUCTURE. 8. WASTE STACK SHALL BE SEPARATED BY AT LEAST ONE VACANT STUD SPACE.  ALLOWANCES: 1. \$30 PER SQUARE FOOT FOR HARDWOOD FLOORS, MATERIAL AND INSTALL. 2. \$12 PER SQUARE FOOT FOR CERAMIC TILE AND INSTALL. 3. PROVIDE TWO PENDANT CEILING FIXTURES AT FAMILY ROOM (\$1,500 EA PURCHASE); PLUS RECESSED INCIDENTAL LIGHTING. 4. PROVIDE \$2,500 ALLOWANCE FOR INTERIOR RAILING TO LOFT.			
WD	- WOOD	PF	- PRE-FINISHED MATERIALS	PF	- PRE-FINISHED MATERIALS	SOL	- SOLID SURFACE				
MF	- MANUFACTURED FLOORING	VWC	- VINYL WALL COVERING	VWC	- VINYL WALL COVERING	WD	- WOOD	1. ALL BATH ROOMS TO USE WATER-RESISTANT GYPSUM BOARD ON THE WALLS AND CEILING. 2. ELECTRICAL BOXES IN WALLS WITH SOUND ATTENUATION BATTS SHALL BE SEALED WITH CAULKING ON BACK AND SIDES. 3. ELECTRICAL OUTLET BOXES TO BE SEPARATED BY AT LEAST ONE STUD SPACE. 4. PROVIDE RECESSED LIGHTING IN ALL CLOSETS, POWDER ROOM AND HALL. 5. PROVIDE RECESSED LIGHTING AT LOFT AREA. 6. PROVIDE SOUND ATTENUATION BATTS IN FLOOR JOIST AT LOFT AREA. ATTACHED PER MANUFACTURERS RECCOMENDATION. 7. SUPPLY AND WASTE CONNECTIONS SHALL BE ISOLATED FROM STRUCTURE. 8. WASTE STACK SHALL BE SEPARATED BY AT LEAST ONE VACANT STUD SPACE.  ALLOWANCES: 1. \$30 PER SQUARE FOOT FOR HARDWOOD FLOORS, MATERIAL AND INSTALL. 2. \$12 PER SQUARE FOOT FOR CERAMIC TILE AND INSTALL. 3. PROVIDE TWO PENDANT CEILING FIXTURES AT FAMILY ROOM (\$1,500 EA PURCHASE); PLUS RECESSED INCIDENTAL LIGHTING. 4. PROVIDE \$2,500 ALLOWANCE FOR INTERIOR RAILING TO LOFT.			
		ACT	- ACOUSTICAL CEILING TILE	ACT	- ACOUSTICAL CEILING TILE						
		EXP	- EXPOSED STRUCTURE	EXP	- EXPOSED STRUCTURE			1. ALL BATH ROOMS TO USE WATER-RESISTANT GYPSUM BOARD ON THE WALLS AND CEILING. 2. ELECTRICAL BOXES IN WALLS WITH SOUND ATTENUATION BATTS SHALL BE SEALED WITH CAULKING ON BACK AND SIDES. 3. ELECTRICAL OUTLET BOXES TO BE SEPARATED BY AT LEAST ONE STUD SPACE. 4. PROVIDE RECESSED LIGHTING IN ALL CLOSETS, POWDER ROOM AND HALL. 5. PROVIDE RECESSED LIGHTING AT LOFT AREA. 6. PROVIDE SOUND ATTENUATION BATTS IN FLOOR JOIST AT LOFT AREA. ATTACHED PER MANUFACTURERS RECCOMENDATION. 7. SUPPLY AND WASTE CONNECTIONS SHALL BE ISOLATED FROM STRUCTURE. 8. WASTE STACK SHALL BE SEPARATED BY AT LEAST ONE VACANT STUD SPACE.  ALLOWANCES: 1. \$30 PER SQUARE FOOT FOR HARDWOOD FLOORS, MATERIAL AND INSTALL. 2. \$12 PER SQUARE FOOT FOR CERAMIC TILE AND INSTALL. 3. PROVIDE TWO PENDANT CEILING FIXTURES AT FAMILY ROOM (\$1,500 EA PURCHASE); PLUS RECESSED INCIDENTAL LIGHTING. 4. PROVIDE \$2,500 ALLOWANCE FOR INTERIOR RAILING TO LOFT.			
		FRP	- FIBERGLASS REINFORCED PANEL	FRP	- FIBERGLASS REINFORCED PANEL						
		GWB	- GYPSUM WALL BOARD	GWB	- GYPSUM WALL BOARD			1. ALL BATH ROOMS TO USE WATER-RESISTANT GYPSUM BOARD ON THE WALLS AND CEILING. 2. ELECTRICAL BOXES IN WALLS WITH SOUND ATTENUATION BATTS SHALL BE SEALED WITH CAULKING ON BACK AND SIDES. 3. ELECTRICAL OUTLET BOXES TO BE SEPARATED BY AT LEAST ONE STUD SPACE. 4. PROVIDE RECESSED LIGHTING IN ALL CLOSETS, POWDER ROOM AND HALL. 5. PROVIDE RECESSED LIGHTING AT LOFT AREA. 6. PROVIDE SOUND ATTENUATION BATTS IN FLOOR JOIST AT LOFT AREA. ATTACHED PER MANUFACTURERS RECCOMENDATION. 7. SUPPLY AND WASTE CONNECTIONS SHALL BE ISOLATED FROM STRUCTURE. 8. WASTE STACK SHALL BE SEPARATED BY AT LEAST ONE VACANT STUD SPACE.  ALLOWANCES: 1. \$30 PER SQUARE FOOT FOR HARDWOOD FLOORS, MATERIAL AND INSTALL. 2. \$12 PER SQUARE FOOT FOR CERAMIC TILE AND INSTALL. 3. PROVIDE TWO PENDANT CEILING FIXTURES AT FAMILY ROOM (\$1,500 EA PURCHASE); PLUS RECESSED INCIDENTAL LIGHTING. 4. PROVIDE \$2,500 ALLOWANCE FOR INTERIOR RAILING TO LOFT.			
		VGR	- VINYL GYPSUM BOARD	VGR	- VINYL GYPSUM BOARD						

NUMBER	NAME	FLOOR				WALL FINISH				CEILING		REMARKS	NUMBER
		FINISH	BASE	NORTH	EAST	SOUTH	WEST	FINISH	HEIGHT				
100	GARAGE	SC	---	PT	PT	PT	PT	PT	PT	8'-0"	GWB CEILING	100	
101	CL	WD	WD	PT	PT	PT	PT	PT	PT	8'-0"		101	
102	FAMILY RM	WD	WD	PT	PT	PT	PT	PT	PT	12'-0"		102	
103	CL	WD	WD	PT	PT	PT	PT	PT	PT	6'-0"		103	
104	CL	WD	WD	PT	PT	PT	PT	PT	PT	8'-0"		104	
105	PWDR	CT	CT	PT	PT	PT	PT	PT	PT	8'-0"		105	
106	CL	WD	WD	PT	PT	PT	PT	PT	PT	8'-0"		106	
107	CL	WD	WD	PT	PT	PT	PT	PT	PT	8'-0"		107	
108	HALL	WD	WD	PT	PT	PT	PT	PT	PT	8'-0"		108	
200	LOFT	WD	WD	PT	PT	PT	PT	PT	PT	9'-0"		200	

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DATE:

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SHEET TITLE

1st FLOOR PLAN

REVISIONS

PROJECT DATA

Date: 8-2-2024

Job No: 24101

Drawn By: JCF

SHEET NO.

A1.12

BUILDING BOARD REVIEW



JFrench and Associates, Inc.

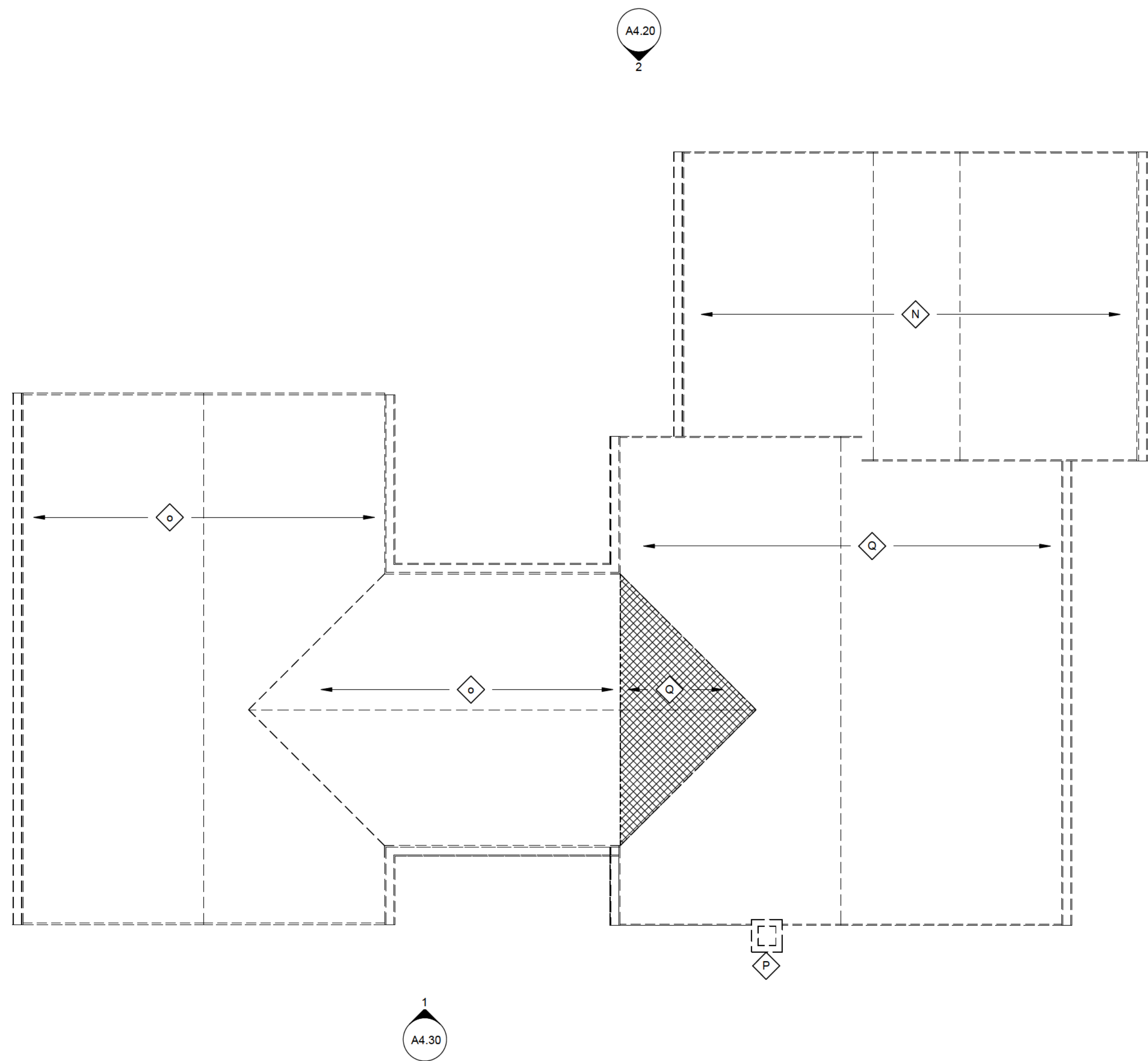
Architecture

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Thiensville, WI 53092  
ph. 414 - 234 - 0299

RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI

**DEMOLITION KEY NOTES**

- A** REMOVE WALL, FOUNDATION AND FOOTING BELOW
- B** REMOVE WINDOW
- C** REMOVE OVERHAED GARAGE DOOR
- D** REMOVE WALL
- E** REMOVE DOOR AND FRAME
- F** REMOVE FRONT PORCH
- G** REMOVE WOOD DECK COMPLETELY
- H** REMOVE DOOR AND FRAME. INFILL OPENING AND MAKE WEATHER TIGHT UNTIL FINAL VENEER IS INSTALLED
- J** REMOVE EXTERIOR VENEER ON THIS AREA. MAKE WALL WEATHER TIGHT UNTIL FINAL VENEER IS INSTALLED
- K** REMOVE WINDOW AND PREP OPENING FOR NEW DOOR THIS LOCATION
- L** REMOVE WALL COMPLETELY THIS AREA. PROVIDE TEMPORARY SHORING FOR ROOF AS NEEDED; MAKE WEATHER TIGHT
- M** REMOVE SOFFIT
- N** REMOVE ROOF AND FRAMING, FASCIA AND GUTTERS THIS AREA
- O** REMOVE SHINGLE ROOF TO DECK, FASCIA AND GUTTER
- P** REMOVE MASONRY CHIMNEY TO GRADE
- Q** REMOVE ROOF AND FRAMING THIS AREA AND PREP FOR NEW SECOND FLOOR WALLS



**1** ROOF DEMOLITION PLAN  
**A1.13** SCALE: 1/4" = 1'-0"

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ROOF DEMOLITION PLAN

REVISIONS \_\_\_\_\_

PROJECT DATA \_\_\_\_\_

Date: \_\_\_\_\_ 8-2-2024

Job No: \_\_\_\_\_ 24101

Drawn By: \_\_\_\_\_ Author

SHEET NO. \_\_\_\_\_

**A1.13**

BUILDING BOARD REVIEW





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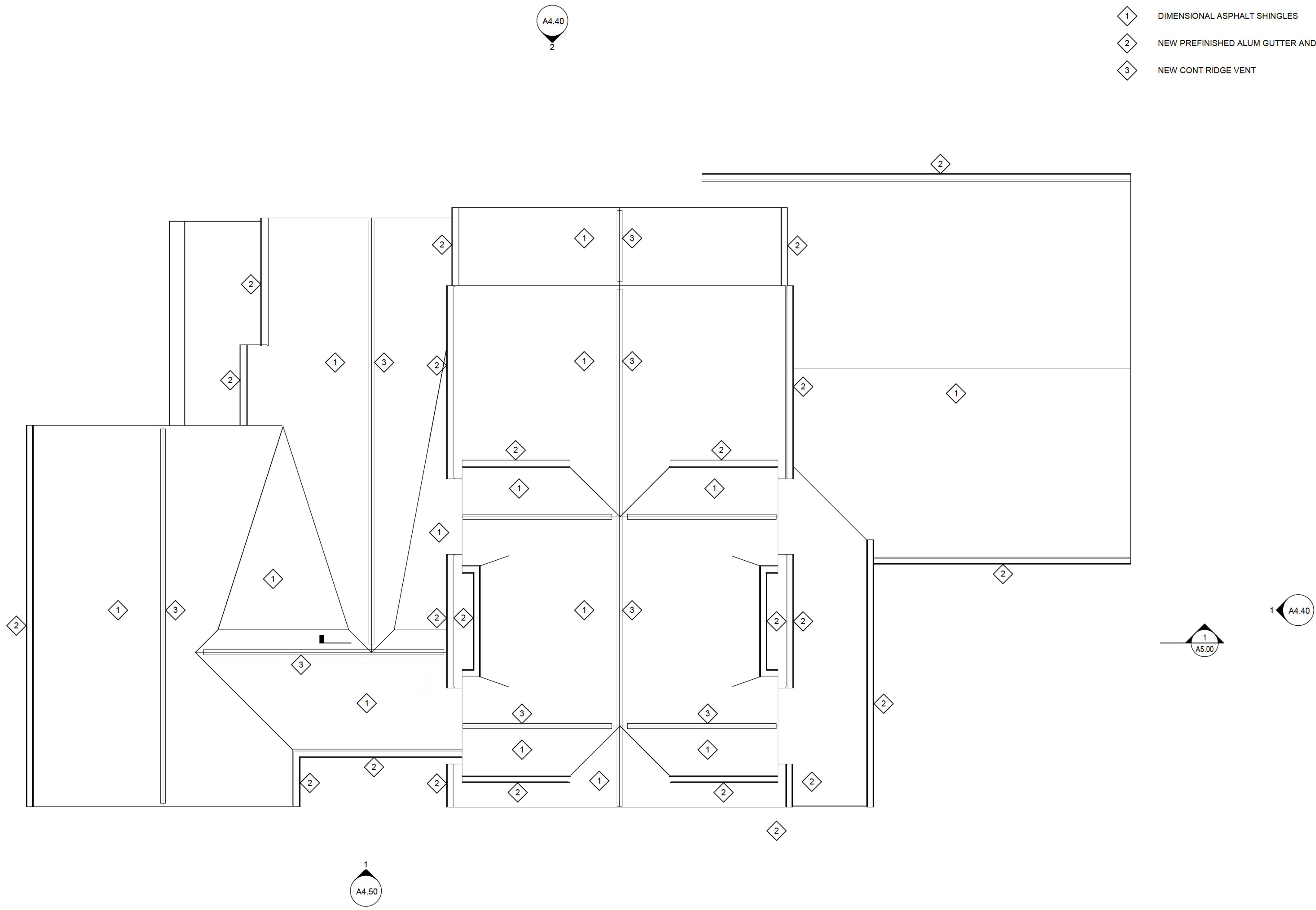
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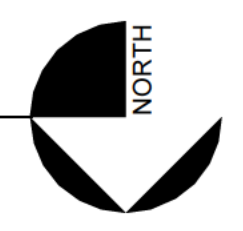
RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI

ROOF KEY NOTES

- 1 DIMENSIONAL ASPHALT SHINGLES
- 2 NEW PREFINISHED ALUM GUTTER AND DWN SPOUT
- 3 NEW CONT RIDGE VENT



1 Roof Plan  
A2.00 SCALE: 1/4" = 1'-0"



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SHEET TITLE  
ROOF PLAN

REVISIONS

PROJECT DATA

Date: 8-2-2024

Job No: 24101

Drawn By: JCF

SHEET NO.

A2.00

BUILDING BOARD REVIEW



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FOX POINT, WI

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SHEET TITLE

EXTERIOR ELEVATIONS - EXISTING

REVISIONS

PROJECT DATA

Date: 8-2-2024

Job No: 24101

Drawn By: \_\_\_\_\_ Author

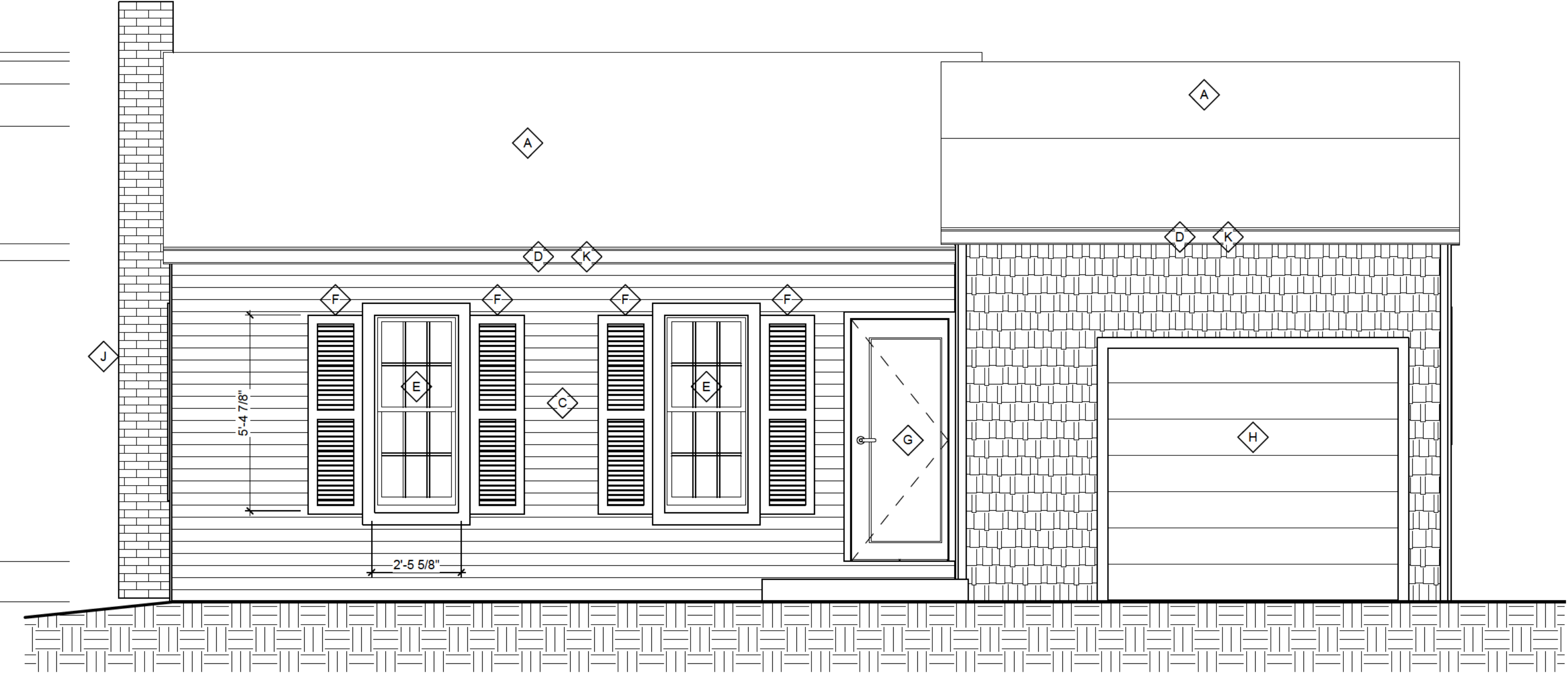
SHEET NO.

A4.00

BUILDING BOARD REVIEW

EXIST RIDGE - HIGH  
114'-0 1/2"  
EXIST RIDGE - GARAGE  
113'-9 1/2"  
EXIST RIDGE - LOW  
RIDGE - GARAGE  
111'-11 7/8"  
EXIST SOFFIT - GARAGE  
108'-9"  
EXIST SOFFIT - HOUSE  
108'-3 1/2"

1st FLOOR  
100'-0"  
GRADE  
98'-10 1/2"



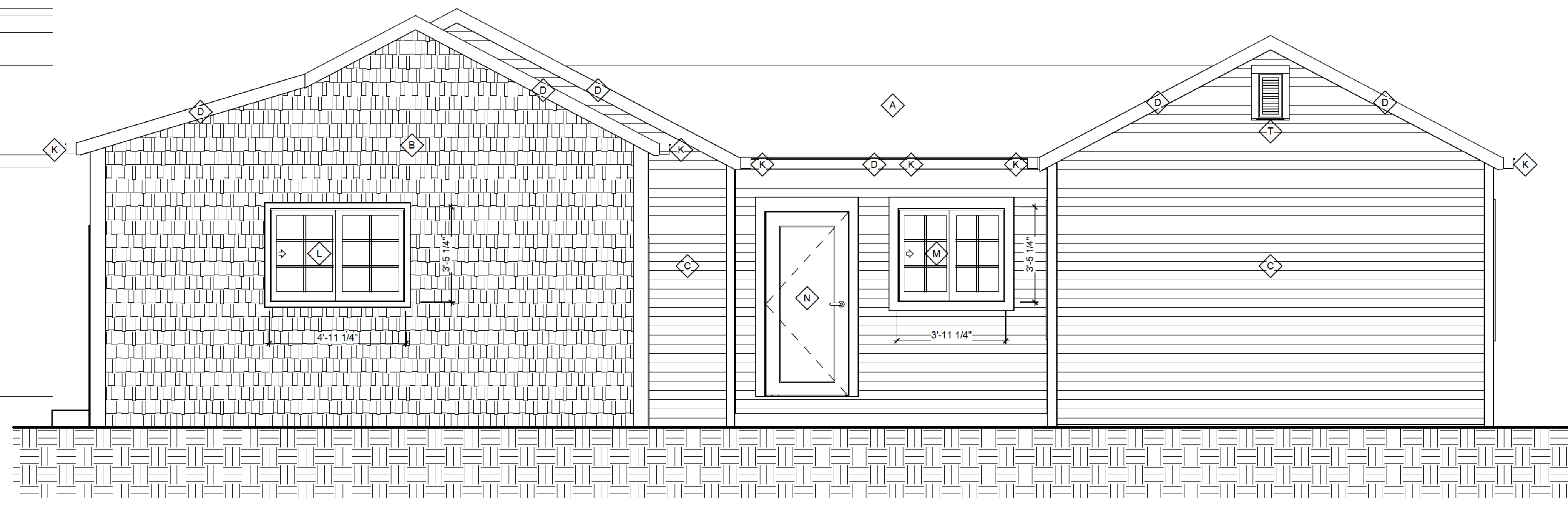
**1 WEST ELEVATION - EXISTING**  
A4.00 SCALE: 3/8" = 1'-0"

EXISTING CONDITIONS NOTES

- A EXISTING THREE TAB ASPHALT SHINGLES
- B EXISTING SHAKE STYLE SIDING WITH 8" EXPOSURE
- C EXISTING HORIZONTAL LAP SIDING WITH 10" EXPOSURE
- D EXISTING PREFINISHED ALUMINUM FASCIA
- E EXISTING DOUBLE HUNG WINDOW - 2'-5 5/8" x 5'-4 7/8"
- F EXISTING SHUTTERS
- G EXISTING ENTRY DOOR - 2'-8" x 6'-8"
- H EXISTING GARAGE DOOR - 7'-0" x 8'-0"
- J EXISTING MASONRY CH MNEY
- K EXISTING PREFINISHED ALUMINUM GUTTER
- L EXISTING SLIDE BY WINDOWS - 4'-11 1/4" x 3'-5 1/4"
- M EXISTING SLIDE BY WINDOWS - 3'-11 1/4" x 3'-5 1/4"
- N EXISTING ENTRY DOOR - 3'-0" x 6'-8"
- O EXISTING DOUBLE HUNG WINDOW - 1'-9 5/8" x 4'-4 7/8"
- P EXISTING PICTURE WINDOW - 3'-5 5/8" x 4'-4 7/8"
- Q EXISTING DOUBLE HUNG WINDOW - 2'-11 5/8" x 4'-4 7/8"
- R EXISTING ENTRY DOOR - 2'-6" x 6'-8"
- S EXISTING DOUBLE HUNG WINDOW - 1'-9 5/8" x 4'-8 7/8"
- T EXISTING GABEL END VENT

EXIST RIDGE - HIGH  
114'-0 1/2"  
EXIST RIDGE - GARAGE  
113'-9 1/2"  
EXIST RIDGE - LOW  
RIDGE - GARAGE  
111'-11 7/8"  
EXIST SOFFIT - GARAGE  
108'-9"  
EXIST SOFFIT - HOUSE  
108'-3 1/2"

1st FLOOR  
100'-0"  
GRADE  
98'-10 1/2"



**2 SOUTH ELEVATION - EXISTING**  
A4.00 SCALE: 3/8" = 1'-0"



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RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI

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SHEET TITLE

EXTERIOR ELEVATIONS - EXISTING

REVISIONS

PROJECT DATA

Date: \_\_\_\_\_ 8-2-2024

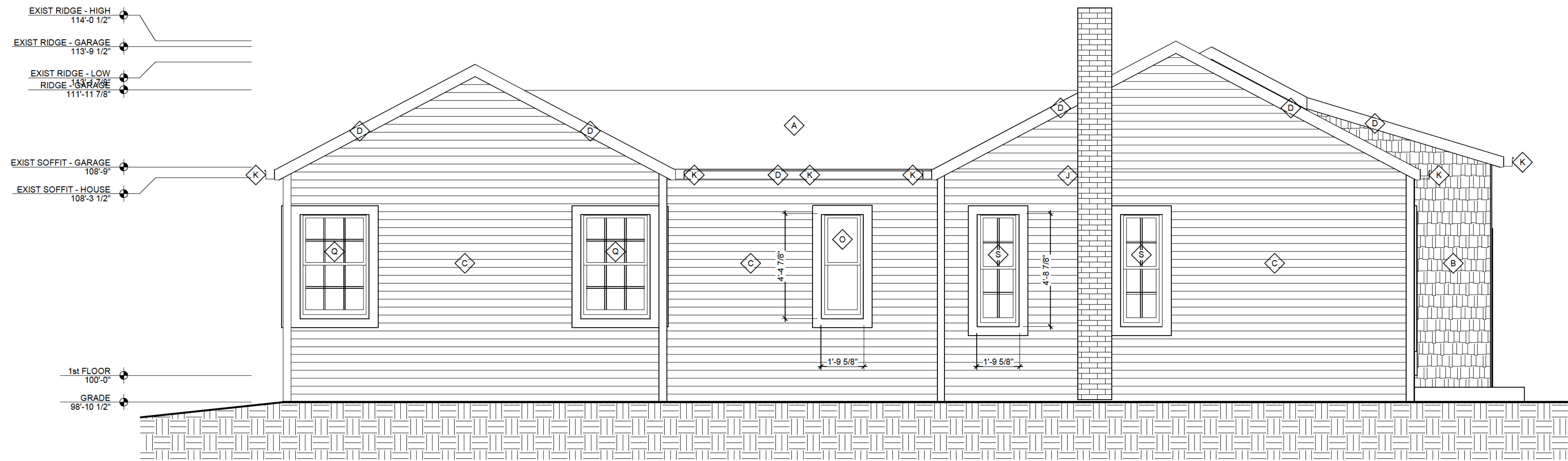
Job No: \_\_\_\_\_ 24101

Drawn By: \_\_\_\_\_ Author

SHEET NO.

A4.10

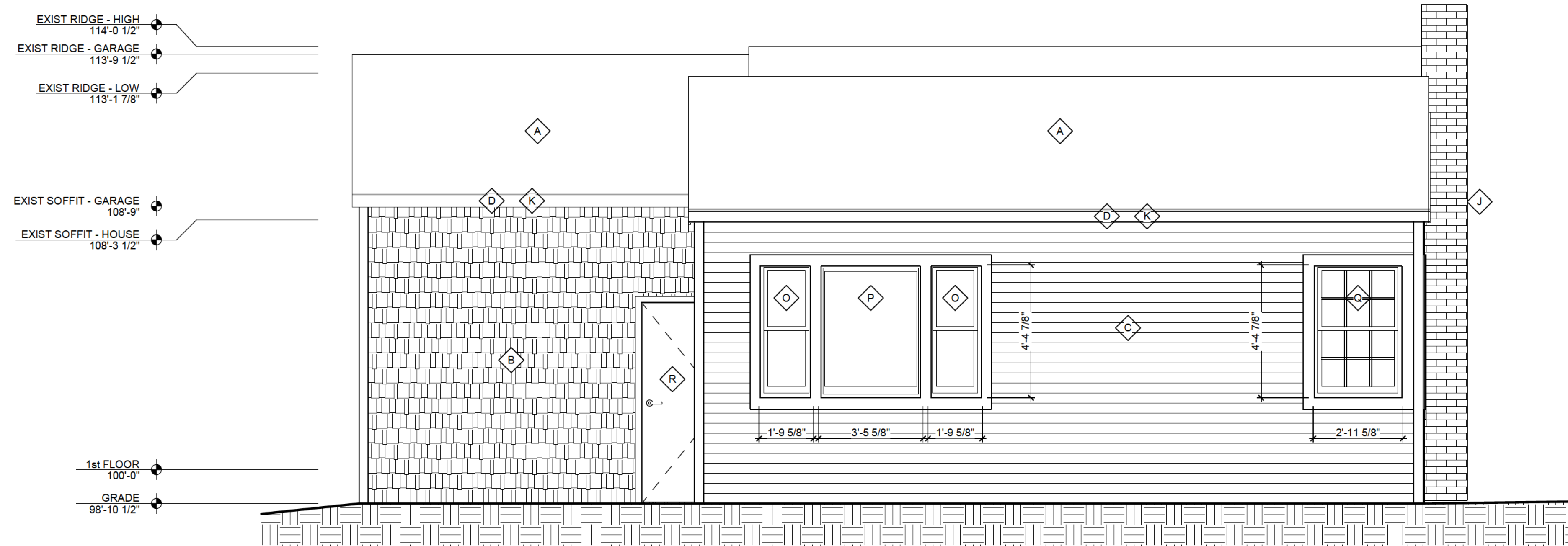
BUILDING BOARD REVIEW



**1 NORTH ELEVATION - EXISTING**  
A4.10 SCALE: 3/8" = 1'-0"

EXISTING CONDITIONS NOTES

- ◇ A EXISTING THREE TAB ASPHALT SHINGLES
- ◇ B EXISTING SHAKE STYLE SIDING WITH 8" EXPOSURE
- ◇ C EXISTING HORIZONTAL LAP SIDING WITH 10" EXPOSURE
- ◇ D EXISTING PREFINISHED ALUMINUM FASCIA
- ◇ E EXISTING DOUBLE HUNG WINDOW - 2'-5 5/8" x 5'-4 7/8"
- ◇ F EXISTING SHUTTERS
- ◇ G EXISTING ENTRY DOOR - 2'-8" x 6'-8"
- ◇ H EXISTING GARAGE DOOR - 7'-0" x 8'-0"
- ◇ J EXISTING MASONRY CHIMNEY
- ◇ K EXISTING PREFINISHED ALUMINUM GUTTER
- ◇ L EXISTING SLIDE BY WINDOWS - 4'-11 1/4" x 3'-5 1/4"
- ◇ M EXISTING SLIDE BY WINDOWS - 3'-11 1/4" x 3'-5 1/4"
- ◇ N EXISTING ENTRY DOOR - 3'-0" x 6'-8"
- ◇ O EXISTING DOUBLE HUNG WINDOW - 1'-9 5/8" x 4'-4 7/8"
- ◇ P EXISTING PICTURE WINDOW - 3'-5 5/8" x 4'-4 7/8"
- ◇ Q EXISTING DOUBLE HUNG WINDOW - 2'-11 5/8" x 4'-4 7/8"
- ◇ R EXISTING ENTRY DOOR - 2'-6" x 6'-8"
- ◇ S EXISTING DOUBLE HUNG WINDOW - 1'-9 5/8" x 4'-8 7/8"
- ◇ T EXISTING GABEL END VENT



**2 EAST ELEVATION - EXISTING**  
A4.10 SCALE: 3/8" = 1'-0"



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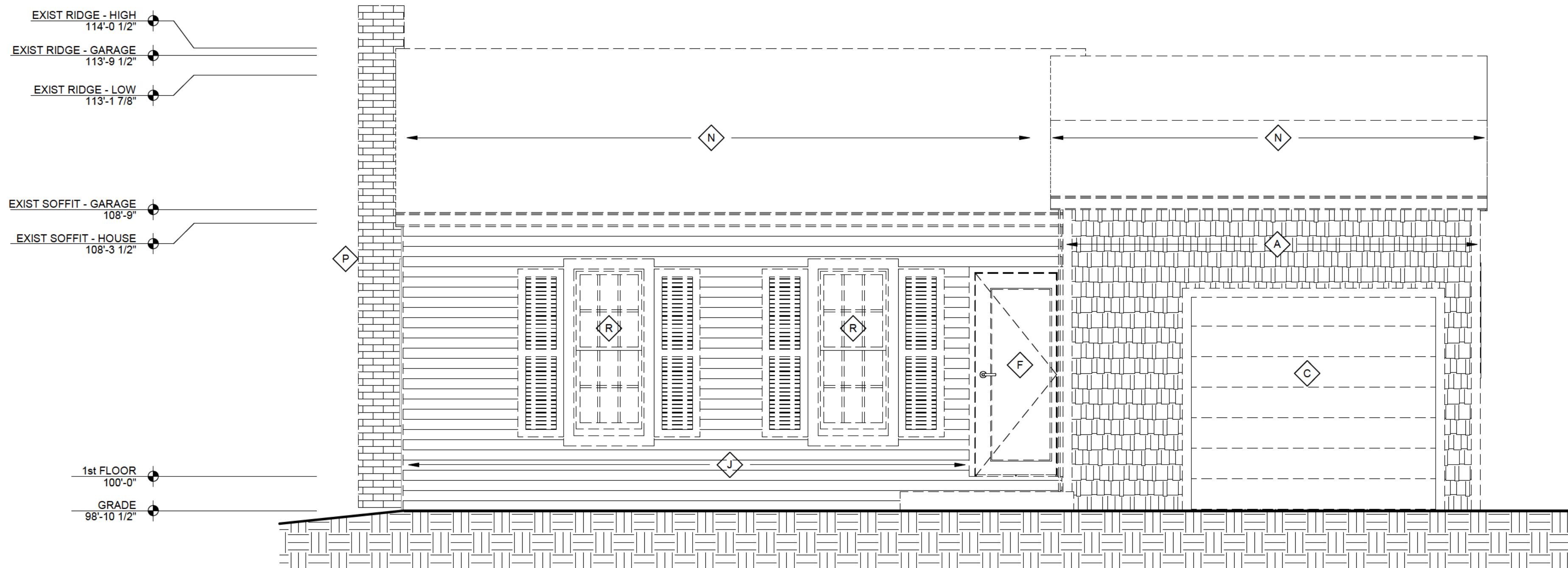
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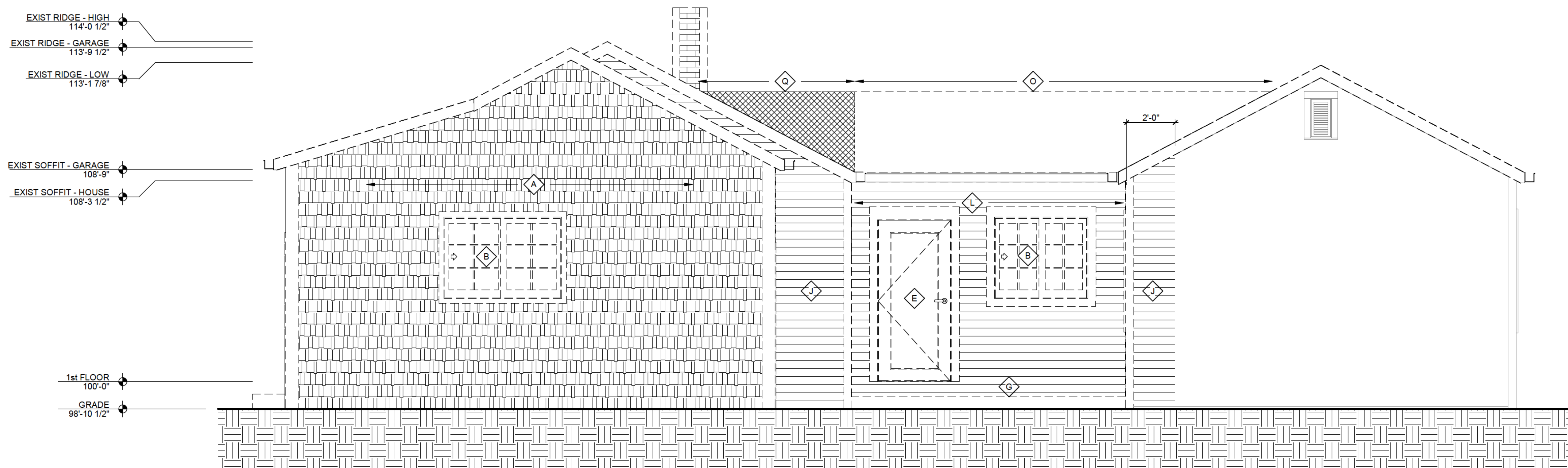
RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI

DEMOLITION NOTES

- A** REMOVE WALL, FOUNDATION AND FOOTING BELOW
- B** REMOVE WINDOW
- C** REMOVE OVERHAED GARAGE DOOR
- D** REMOVE WALL
- E** REMOVE DOOR AND FRAME
- F** REMOVE FRONT PORCH
- G** REMOVE WOOD DECK COMPLETELY
- H** REMOVE DOOR AND FRAME. INFILL OPENING AND MAKE WEATHER TIGHT UNTIL FINAL VENEER IS INSTALLED
- J** REMOVE EXTERIOR VENEER ON THIS AREA. MAKE WALL WEATHER TIGHT UNTIL FINAL VENEER IS INSTALLED
- K** REMOVE WINDOW AND PREP OPENING FOR NEW DOOR THIS LOCATION
- L** REMOVE WALL COMPLETELY THIS AREA. PROVIDE TEMPORARY SHORING FOR ROOF AS NEEDED; MAKE WEATHER TIGHT
- M** REMOVE SOFFIT
- N** REMOVE ROOF AND FRAMING, FASCIA AND GUTTERS THIS AREA
- O** REMOVE SHINGLE ROOF TO DECK, FASCIA AND GUTTER
- P** REMOVE MASONRY CHIMNEY TO GRADE
- Q** REMOVE ROOF AND FRAMING THIS AREA AND PREP FOR NEW SECOND FLOOR WALLS
- R** REMOVE WINDOW AND SHUTTERS



1 WEST ELEVATION - DEMOLITION  
A4.20 SCALE: 3/8" = 1'-0"



2 SOUTH ELEVATION - DEMOLITION  
A4.20 SCALE: 3/8" = 1'-0"

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SHEET TITLE

EXTERIOR ELEVATIONS - DEMOLITION

REVISIONS

PROJECT DATA

Date: 8-2-2024

Job No: 24101

Drawn By: Author

SHEET NO.

A4.20

BUILDING BOARD REVIEW



JFrench and Associates, Inc.

Architecture

301 Heidel Road  
Thiensville, WI 53092  
ph. 414 - 234 - 0299

RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI

AUTHORIZATION SIGNATURE

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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SHEET TITLE

EXTERIOR ELEVATIONS -  
DEMOLITION

REVISIONS

PROJECT DATA

Date: \_\_\_\_\_ 8-2-2024

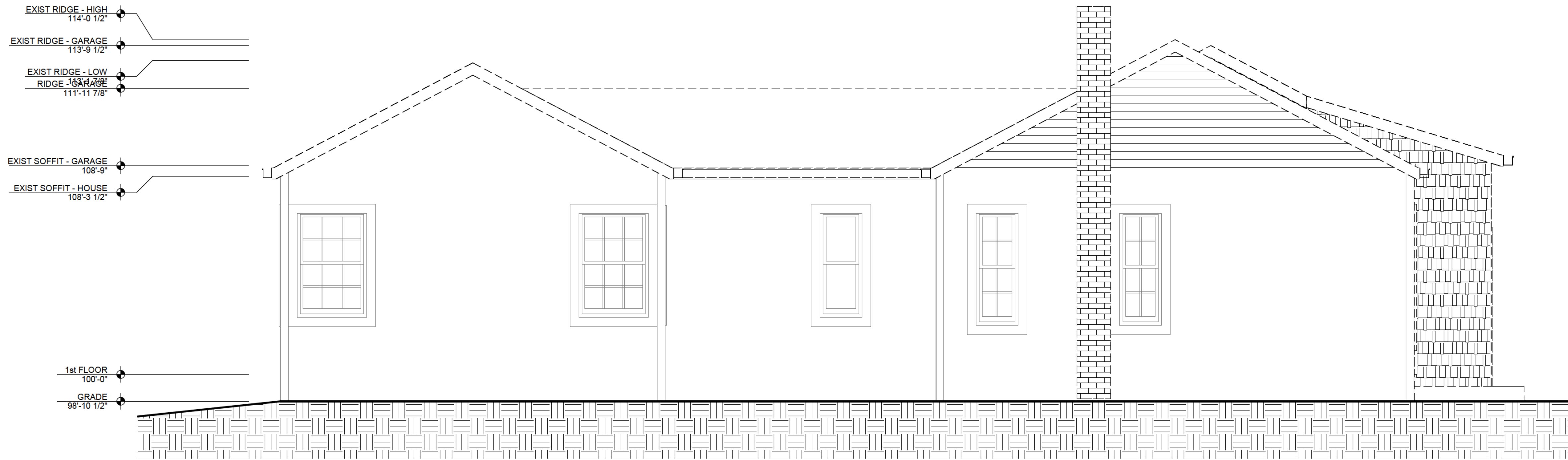
Job No: \_\_\_\_\_ 24101

Drawn By: \_\_\_\_\_ Author

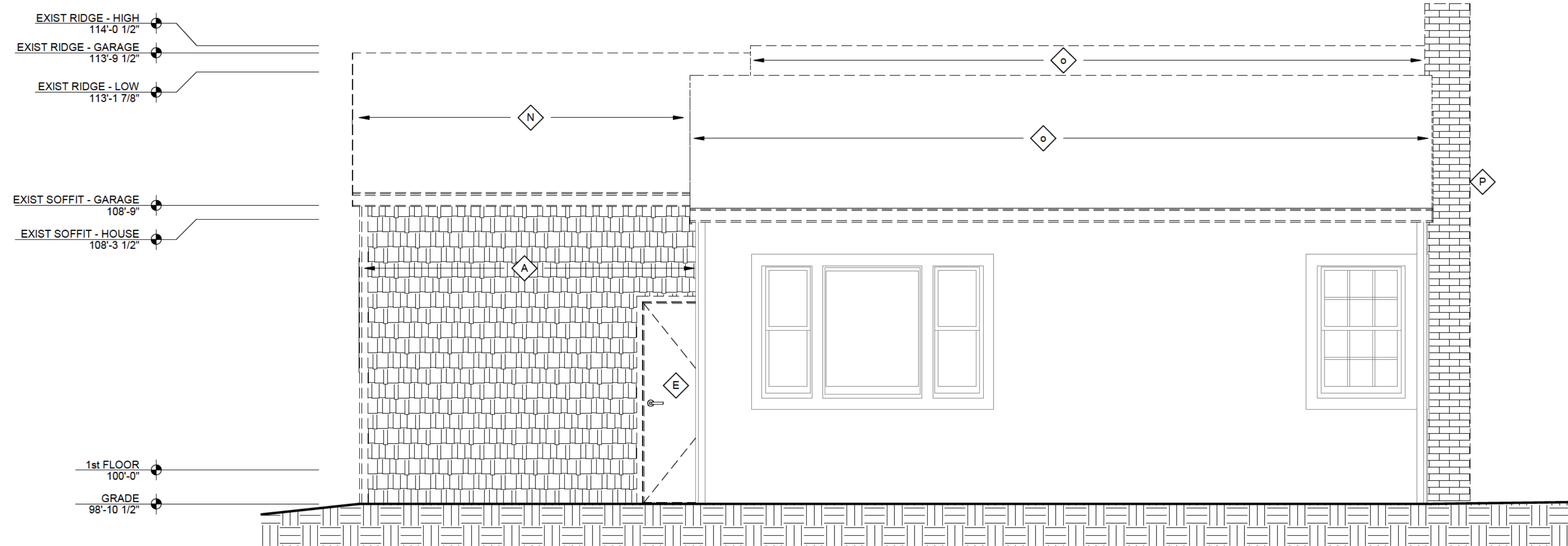
SHEET NO.

A4.30

BUILDING BOARD REVIEW



**1 NORTH ELEVATION - DEMOLITION**  
A4.30 SCALE: 3/8" = 1'-0"



**2 EAST ELEVATION - DEMOLITION**  
A4.30 SCALE: 3/8" = 1'-0"

DEMOLITION NOTES

- A** REMOVE WALL, FOUNDATION AND FOOTING BELOW
- B** REMOVE WINDOW
- C** REMOVE OVERHAED GARAGE DOOR
- D** REMOVE WALL
- E** REMOVE DOOR AND FRAME
- F** REMOVE FRONT PORCH
- G** REMOVE WOOD DECK COMPLETELY
- H** REMOVE DOOR AND FRAME. INFILL OPENING AND MAKE WEATHER TIGHT UNTIL FINAL VENEER IS INSTALLED
- J** REMOVE EXTERIOR VENEER ON THIS AREA. MAKE WALL WEATHER TIGHT UNTIL FINAL VENEER IS INSTALLED
- K** REMOVE WINDOW AND PREP OPENING FOR NEW DOOR THIS LOCATION
- L** REMOVE WALL COMPLETELY THIS AREA. PROVIDE TEMPORARY SHORING FOR ROOF AS NEEDED; MAKE WEATHER TIGHT
- M** REMOVE SOFFIT
- N** REMOVE ROOF AND FRAMING, FASCIA AND GUTTERS THIS AREA
- O** REMOVE SHINGLE ROOF TO DECK, FASCIA AND GUTTER
- P** REMOVE MASONRY CH MNEY TO GRADE
- Q** REMOVE ROOF AND FRAMING THIS AREA AND PREP FOR NEW SECOND FLOOR WALLS
- R** REMOVE WINDOW AND SHUTTERS

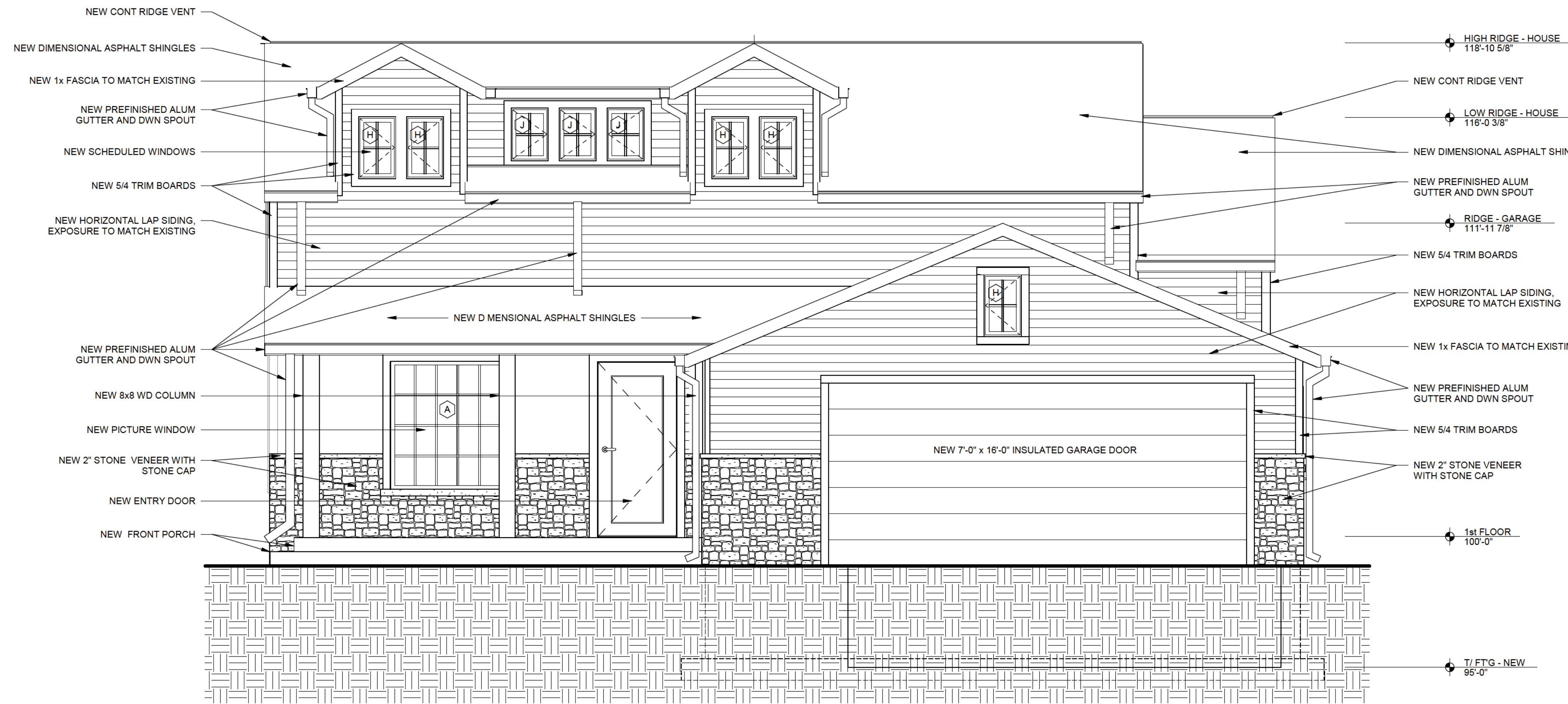


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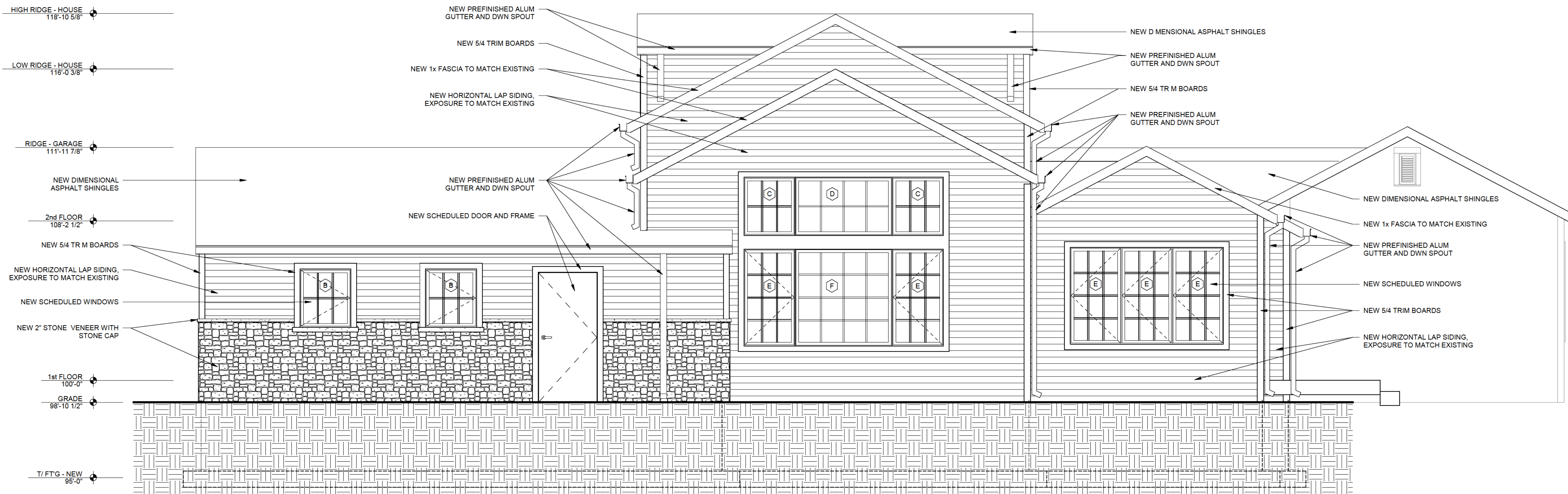
301 Heidel Road  
Thiensville, WI 53092  
ph. 414 - 234 - 0299

RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI



MARK	QTY	ROUGH OPENING		REMARKS
		HEIGHT	WIDTH	
A	1	5'-0 3/8"	4'-5 5/16"	Vinyl-clad wood picture window
B	2	3'-0 7/16"	2'-8"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
C	2	3'-0 7/16"	2'-8"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
D	1	3'-0 7/16"	5'-0 3/8"	ANDERSON 400 SERIES VINYL CLAD PICTURE WINDOW
E	5	5'-0 3/8"	2'-8"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
F	1	5'-0 3/8"	5'-0 3/8"	ANDERSON 400 SERIES VINYL CLAD PICTURE WINDOW
G	1	3'-0 7/16"	1'-9"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
H	9	2'-4 7/8"	1'-5 1/2"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
J	6	2'-0 5/8"	1'-5 1/2"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
K	2	3'-5 5/16"	2'-0 5/8"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW

1 WEST ELEVATION - NEW  
A4.40 SCALE: 3/8" = 1'-0"



2 SOUTH ELEVATION - NEW  
A4.40 SCALE: 3/8" = 1'-0"

AUTHORIZATION SIGNATURE

DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

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SHEET TITLE

EXTERIOR ELEVATIONS - NEW

REVISIONS

PROJECT DATA

Date: 8-2-2024

Job No: 24101

Drawn By: JCF

SHEET NO.

A4.40

BUILDING BOARD REVIEW



JFrench and Associates, Inc.

Architecture

301 Heidel Road  
Thiensville, WI 53092  
ph. 414 - 234 - 0299

RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
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SHEET TITLE

EXTERIOR ELEVATIONS - NEW

REVISIONS

PROJECT DATA

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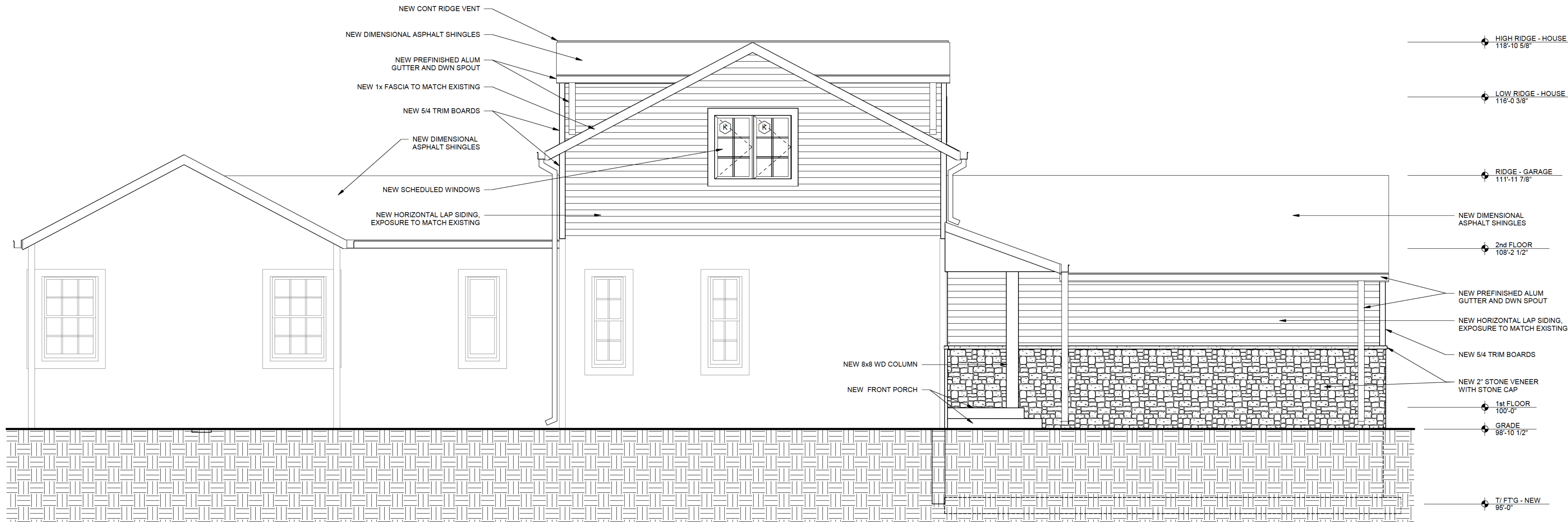
Job No: 24101

Drawn By: JCF

SHEET NO.

A4.50

BUILDING BOARD REVIEW



1 NORTH ELEVATION - NEW

A4.50 SCALE: 3/8" = 1'-0"



2 EAST ELEVATION - NEW

A4.50 SCALE: 3/8" = 1'-0"

MARK	QTY	ROUGH OPENING		REMARKS
		HEIGHT	WIDTH	
A	1	5'-0 3/8"	4'-5 5/16"	Vinyl-clad wood picture window
B	2	3'-0 7/16"	2'-8"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
C	2	3'-0 7/16"	2'-8"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
D	1	3'-0 7/16"	5'-0 3/8"	ANDERSON 400 SERIES VINYL CLAD PICTURE WINDOW
E	5	5'-0 3/8"	2'-8"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
F	1	5'-0 3/8"	5'-0 3/8"	ANDERSON 400 SERIES VINYL CLAD PICTURE WINDOW
G	1	3'-0 7/16"	1'-9"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
H	9	2'-4 7/8"	1'-5 1/2"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
J	6	2'-0 5/8"	1'-5 1/2"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW
K	2	3'-5 5/16"	2'-0 5/8"	ANDERSON 400 SERIES VINYL CLAD CASEMENT WINDOW



JFrench and Associates, Inc.

Architecture

301 Heidel Road  
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ph. 414 - 234 - 0299

RENOVATION FOR  
**ELIZABETH (BIZ) CASMER**  
8566 NORTH REGENT  
FOX POINT, WI

AUTHORIZATION SIGNATURE

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SHEET TITLE

BUILDING CROSS SECTIONS

REVISIONS

PROJECT DATA

Date: 8-2-2024

Job No: 24101

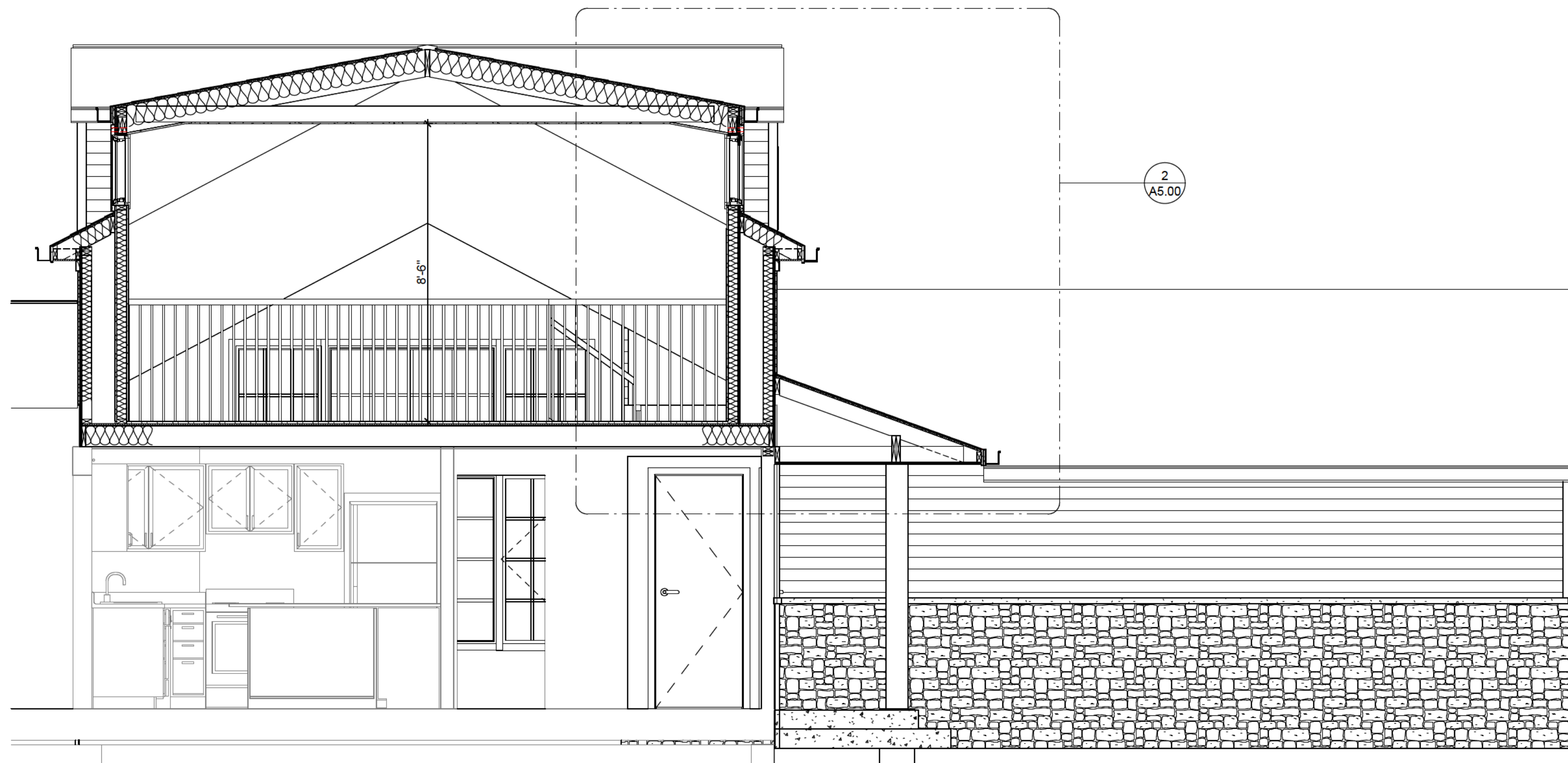
Drawn By: JCF

SHEET NO.

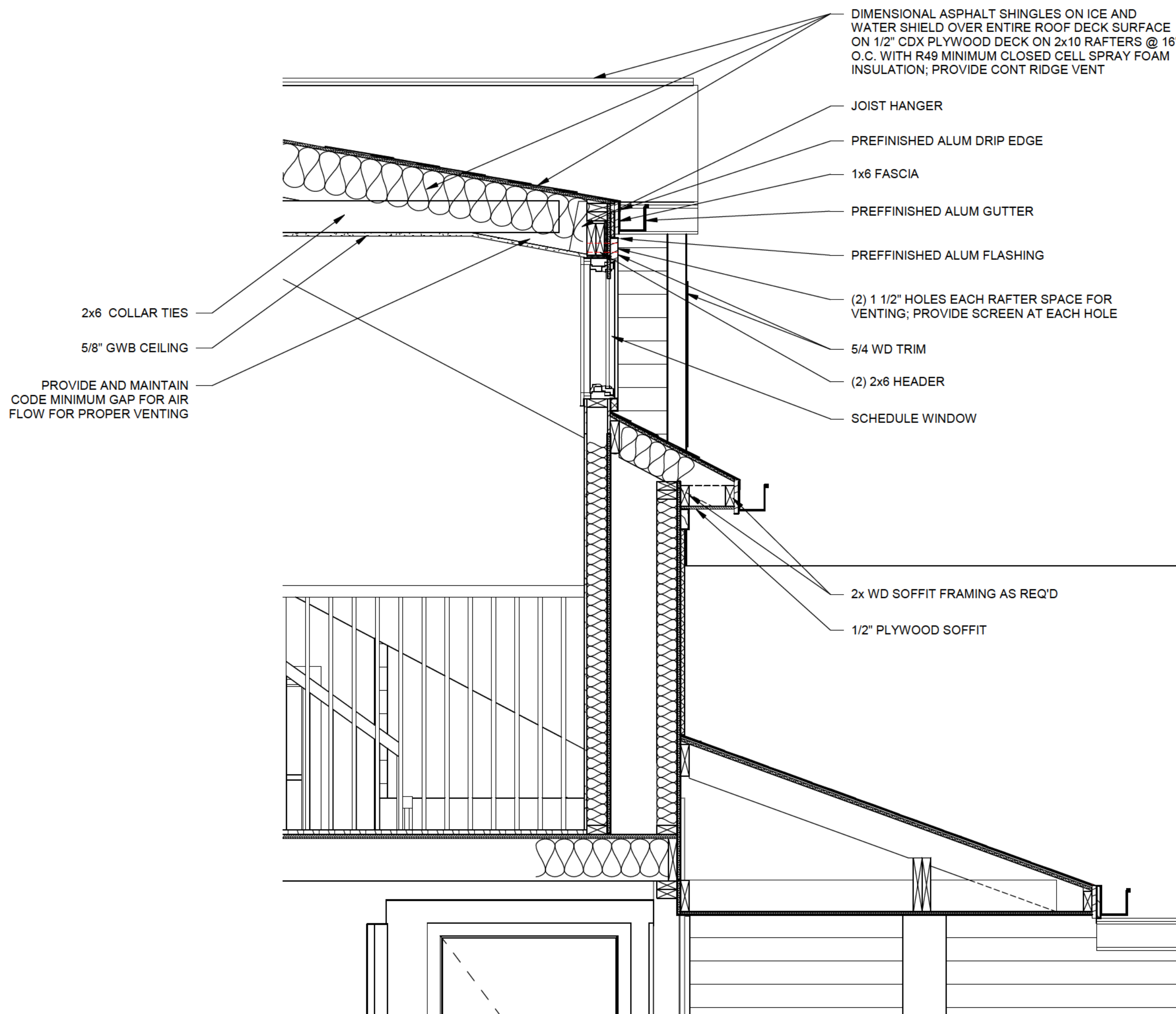
A5.00

BUILDING BOARD REVIEW

- HIGH RIDGE - HOUSE 118'-10 5/8"
- OLD HIGH RIDGE - HOUSE 117'-10 5/8"
- CEILING 116'-8 1/2"
- LOW RIDGE - HOUSE 116'-0 3/8"
- EXIST RIDGE - GARAGE 113'-8 1/2"
- EXIST RIDGE - LOW 113'-1 7/8"
- RIDGE - GARAGE 111'-11 7/8"
- 2nd FLOOR 108'-2 1/2"
- 1st FLOOR 100'-0"
- GRADE 98'-10 1/2"



**1 CROSS SECTION**  
A5.00 SCALE: 3/8" = 1'-0"



- HIGH RIDGE - HOUSE 118'-10 5/8"
- CEILING 116'-8 1/2"
- RIDGE - GARAGE 111'-11 7/8"
- 2nd FLOOR 108'-2 1/2"

**2 WALL SECTION**  
A5.00 SCALE: 3/4" = 1'-0"

NEX  
FOR ARCHITECTURAL  
SHINGLE TECHNOLOGIES

Highlander™ Vista™ Legacy™  
Architectural Shingle Lines

 **Malarkey**  
Roofing Products®

Improving Our Climate  
3M™ Smog-Reducing Granules

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MADE IN USA

TRIM  
WHITE

Because  
**life**  
happens

SIDING IS IDENTICAL  
TO EXISTING SIDING  
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DOUBLE PANEL  
4.5" CLAPBOARD  
DUTCH LAP



VORTEX  
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Highlander® Vista® Legacy®  
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Roofing Products®

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★   
MADE IN USA

TRIM  
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Because  
**life**  
happens



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TRIM  
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VORTEX  
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