

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

NOTE: THIS MEETING WILL BE HELD
VIRTUALLY ONLY VIA WEBINAR.
NO IN-PERSON ATTENDANCE HELD.

Wednesday
October 8, 2025
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/83877661472>

Meeting ID: 838 7766 1472

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the September 10, 2025 Building Board meeting.
3. Mike Bork, 7457 N Mohawk Rd, proposed windows and siding.
4. Matthew Wuest, 8323 N Santa Monica Blvd, proposed accessory structure.
5. Annie Blair, 257 W Suburban Dr, proposed addition.
6. Adjourn.

Posted and Published: October 1, 2025

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, September 10, 2025, at 5:00 pm. Those present included:

Justin Racinowski
William Feldman
Sharon Celek-Absent
Lucille Sells
Pat Algiers
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by Pat Algiers to approve the minutes of August 13. Motion was seconded by William Feldman. Motion Caried.

AGENDA

1. **Pieter Lens, 340 E Daphne Rd, proposed office addition.** It was the consensus of the Building Board to approve as submitted.
2. **Chad Wenzel, 7539 N Bell Rd, proposed pergola.** It was the consensus of the Building Board to approve as submitted.

ADJOURN

Motion to adjourn Building Board was made by William Feldman. Motion seconded by Pat Algiers. Motion Caried. Building Board adjourned at 5:12 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- _____

OFFICE USE ONLY
Issued Date
Zoning

BUILDING PERMIT

Job Address 7457 N Mohawk Road	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work	
Replacement of windows and siding	
adding a new window opening on the front of the house see attached rendering	
Estimated Cost of Project \$60,000.00	

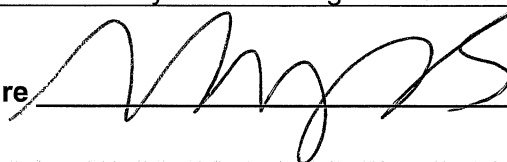
Owner/Occupant	
Business Name	Contact Name Mike Bork
Address 7457 N Mohawk Road	City/State/Zip Fox Point WI 53217
Phone 414-216-1310	Email MJ Bork mjbork7@gmail.com

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name Kindle Windows and Doors LLC	Contact Name Connor Chitko
Address N8701 State Road 55	City/State/Zip Menasha WI 54952
Phone 920-460-2412	Email connor@kindlewindows.com
Dwelling Contractor # 082200896-DC	Dwelling Contractor Qualifier # 022100166-DCQ

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	\$600
Building Board	\$75.00	\$75
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$

Applicant Signature  **Date** 9/22/25

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

Receipt No: 22000190 Sep 22, 2025

7457 N MOHAWK RD

Previous Balance: .00
LICENSES & PERMITS
BUILDING PERMIT 600.00

Total: 600.00
=====

LICENSES & PERMITS
BUILDING PLANS - FILING 75.00
FEE

Total: 75.00
=====

ONLINE - CREDIT CARD 675.00

Payor:
MIKE BORK

Total Applied: 675.00

Change Tendered: .00
=====

09/22/2025 3:11 PM

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217 414-351-8900

Side Elevation:



Rendered



Before



Pella® DesignWorks services are for illustrative purposes only. Actual home appearance may vary after remodeling and/or replacement project has been completed. Verify all building codes and design specifications with a licensed architect or contractor prior to any construction as Pella DesignWorks does not perform architectural, structural or engineering analysis. Pella DesignWorks services are not available in all markets. Other restrictions may apply. Contact your Pella Window & Door Showroom for details. © 2023 Pella Corporation









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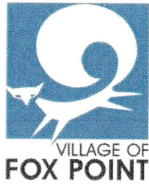
Tyvek
HomeWrap

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HomeWrap

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Tyvek
HomeWrap





VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B-_____

OFFICE USE ONLY	
Issued Date	
Zoning	C, 100

BUILDING PERMIT

Job Address 8323 N.SANTA MONICA BLVD.	Building Type: Residential <input type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work AUX. BUILDING	
Estimated Cost of Project \$ 200,000	


Owner/Occupant	
Business Name	Contact Name MATTHEW WUEST
Address	City/State/Zip
Phone	Email

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name	Contact Name
Address	City/State/Zip
Phone	Email
Dwelling Contractor #	Dwelling Contractor Qualifier #

Square Footage Under Construction				
1 st Floor	2 nd Floor	Basement	Addition	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	\$2,000
Building Board	\$75.00	\$75
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ 2,075

Applicant Signature  _____ **Date** 9-26-25 _____

Rev 01/22

ISSUED PERMITS are available on the Village website under PERMITS & LICENSES

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061948

Sep 26, 2025

8323 N SANTA MONICA BLVD

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE	75.00
24-44440 BUILDING BOARD - FEE	
LICENSES & PERMITS - BUILDING PERMIT	2,000.00
24-44460 BUILDING PERMIT	

Total:	2,075.00
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CHECK	Check No: 323	2,075.00
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Payor: TOLLEFSEN

Total Applied:	2,075.00
----------------	----------

Change Tendered:	.00
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Duplicate Copy

09/26/2025 10:20 AM

LOT 7 IN BLOCK 3 IN FOX POINT COURTS, BEING A SUBDIVISION OF A PART OF THE SOUTHWEST ¼ OF SECTION 9, TOWNSHIP 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN.

CONTAINING 14,506 SQUARE FEET, 0.3330 ACRES MORE OR LESS.

PLAT OF SURVEY FOR:

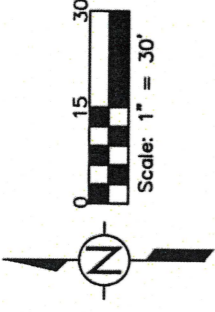
MATTHEW & STASHA WUEST
8323 N. SANTA MONICA BLVD.
MILWAUKEE, WI.

LEGEND

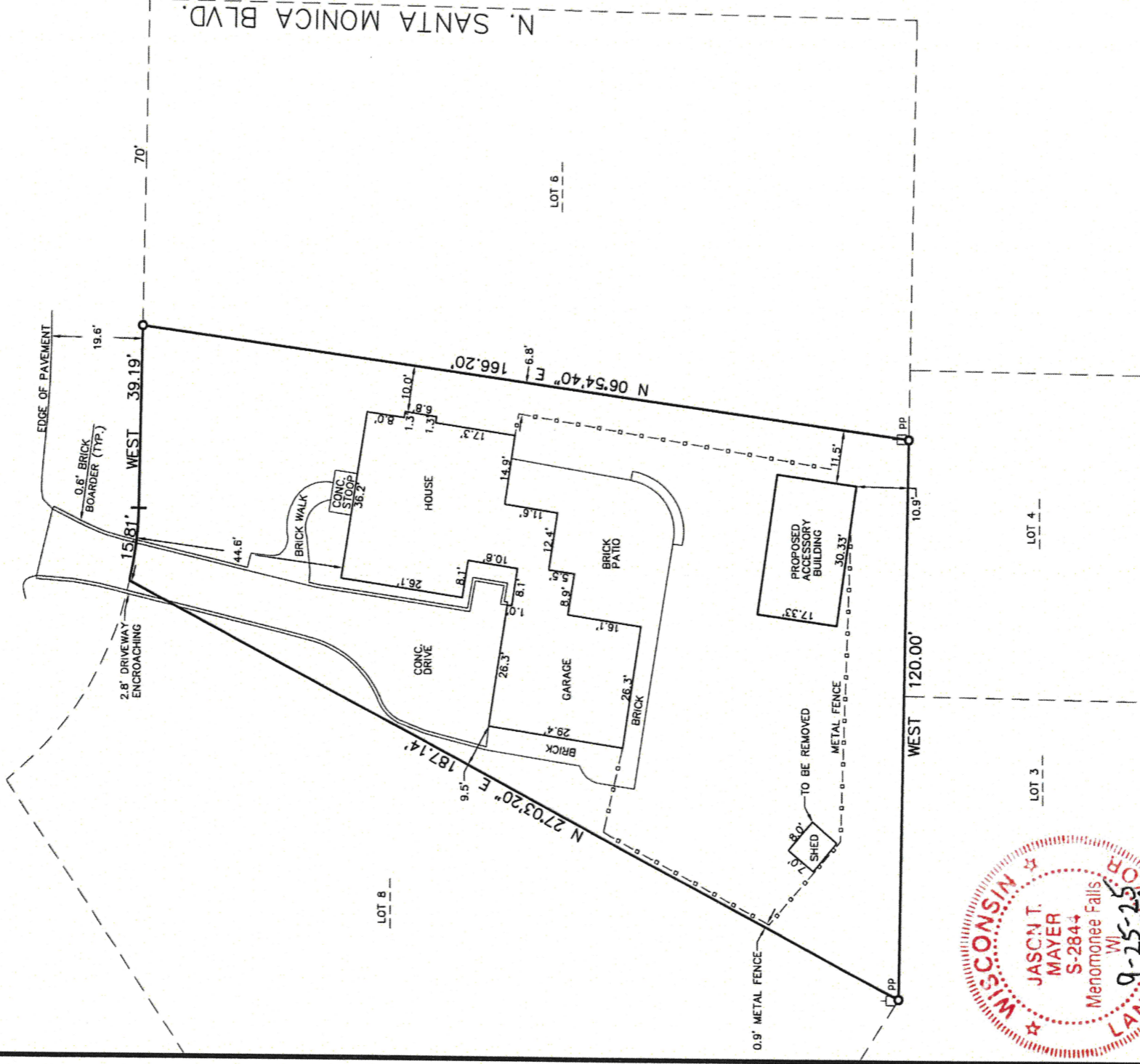
- 1" IRON PIPE FOUND
- POWER POLE

CURVE DATA

ARC LEN. = 15.81'
CH. LEN. = 15.78'
CH. BRC. = N 83°55'49" W
RADIUS = 75.00'



N. SANTA MONICA BLVD.



JASON T. MAYER
P.L.S. NO. 2844

AS OF THE DATE OF THIS SURVEY, NO TITLE POLICY WAS PROVIDED, THEREFORE THIS PLAT OF SURVEY DOES NOT GUARANTEE THE EXISTENCE, SIZE AND LOCATION OF ANY EASEMENTS, ENCUMBRANCES, RESTRICTIONS OR OTHER FACTS THAT COULD OTHERWISE BE DISCLOSED IN A TITLE SEARCH OR CURRENT TITLE POLICY.

THIS IS AN ORIGINAL PRINT ONLY IF SEAL IS IMPRINTED IN RED. "I have surveyed the above property, and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, apparent easements, roadways, and visible encroachments and is in compliance with Wisconsin Administrative Code AE-7 for property survey standards and is correct to the best of my knowledge and belief.

This survey is made for the exclusive use of the present owner of the property; also those who purchase, mortgage, or guarantee the title thereto, within one year from the date hereof."

THIS INSTRUMENT WAS DRAFTED ON 9-25-2025 BY JASON T. MAYER, P.L.S. W241 N7303 S. WOODSVIEW DR. SUSSEX, WI 53089 (262)424-7552

ACCESSORY BUILDING ADDITION

8323 N SANTA MONICA BLVD

FOX POINT, WI

C1

Notice:

These drawings and design there in are the exclusive property of CNChambliss Architecture, llc

Project:

Wuest Accessory Building
Fox Point, WI

Issue:

Review Set Sept. 26, 2025

Not for Construction

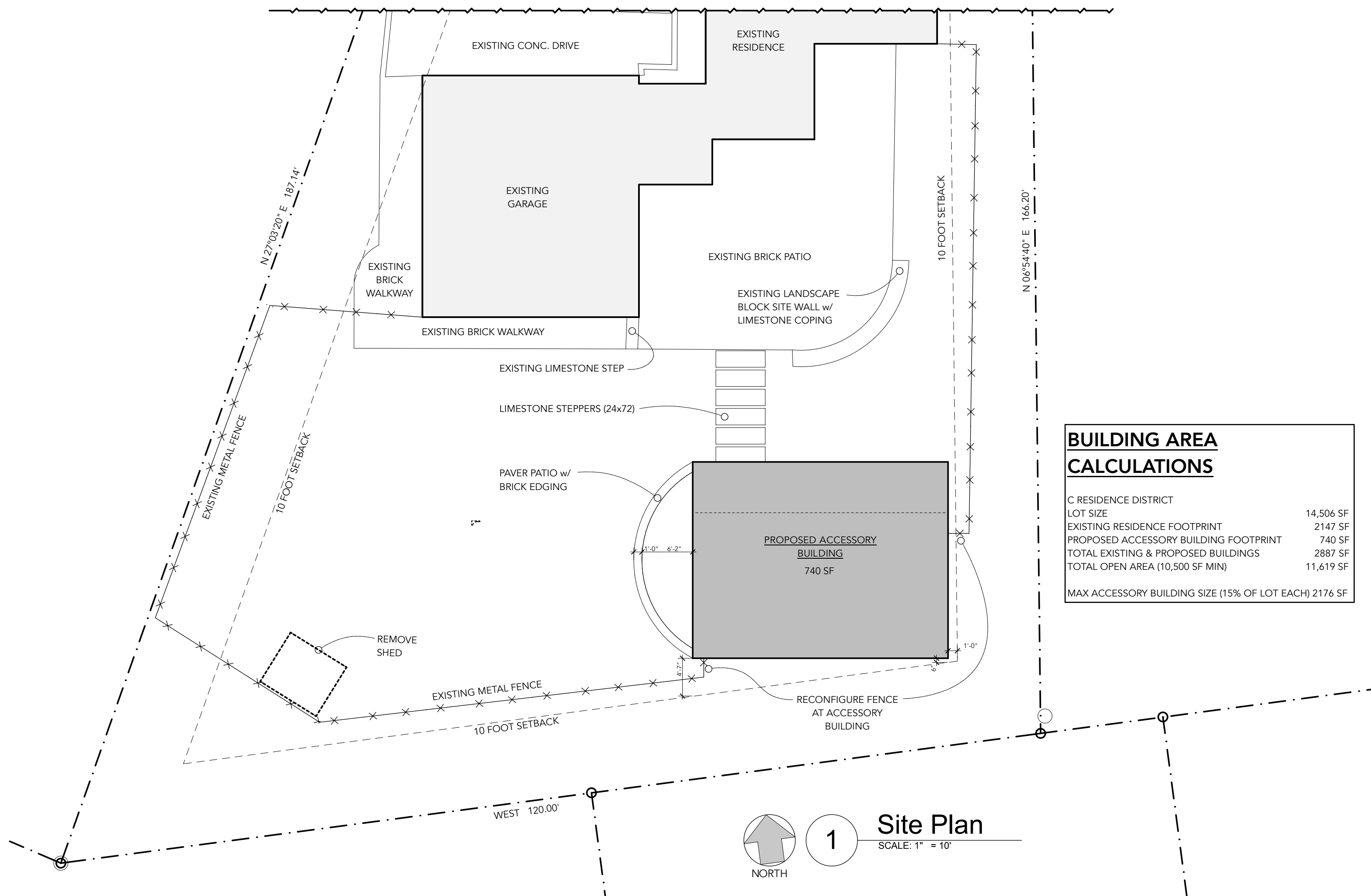
Drawing Title:

Title Page

Sheet:

Caution: Do not scale drawings. These are the property of the designer and may only be used in conjunction with this proect.

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1 Front / North Elevation



2 Front / North Elevation



3 West Elevation



4 Southwest View



5 South Elevation



6 Southeast View

C2

Notice:

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Project:

Wuest Accessory Building
Fox Point, WI

Issue:

Review Set Sept. 26, 2025

Not for Construction

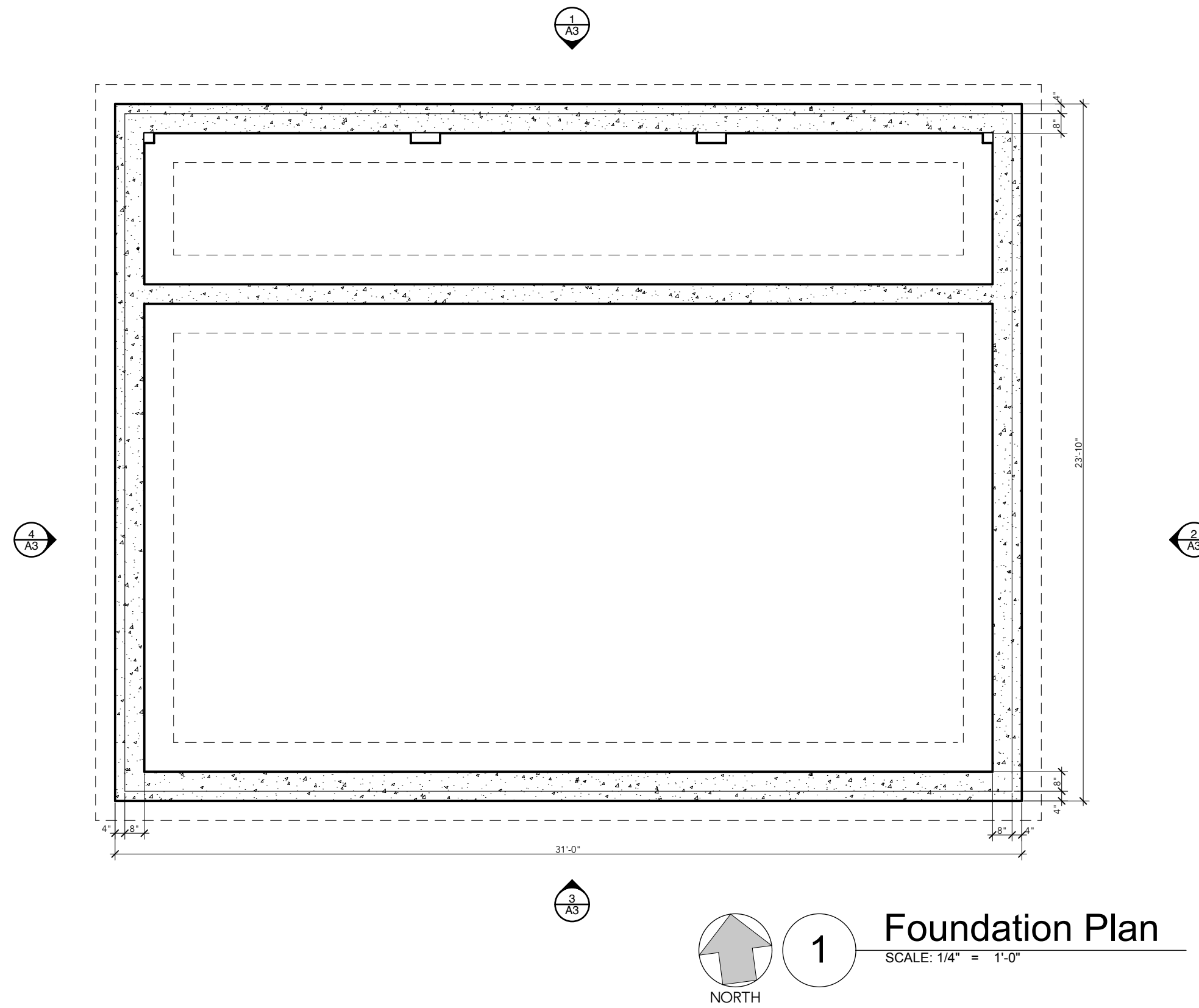
Drawing Title:

Existing Photos

Sheet:

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A0

Notice:

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Project:

Wuest Accessory Building
Fox Point, WI

Issue:

Review Set Sept. 26, 2025

Not for Construction

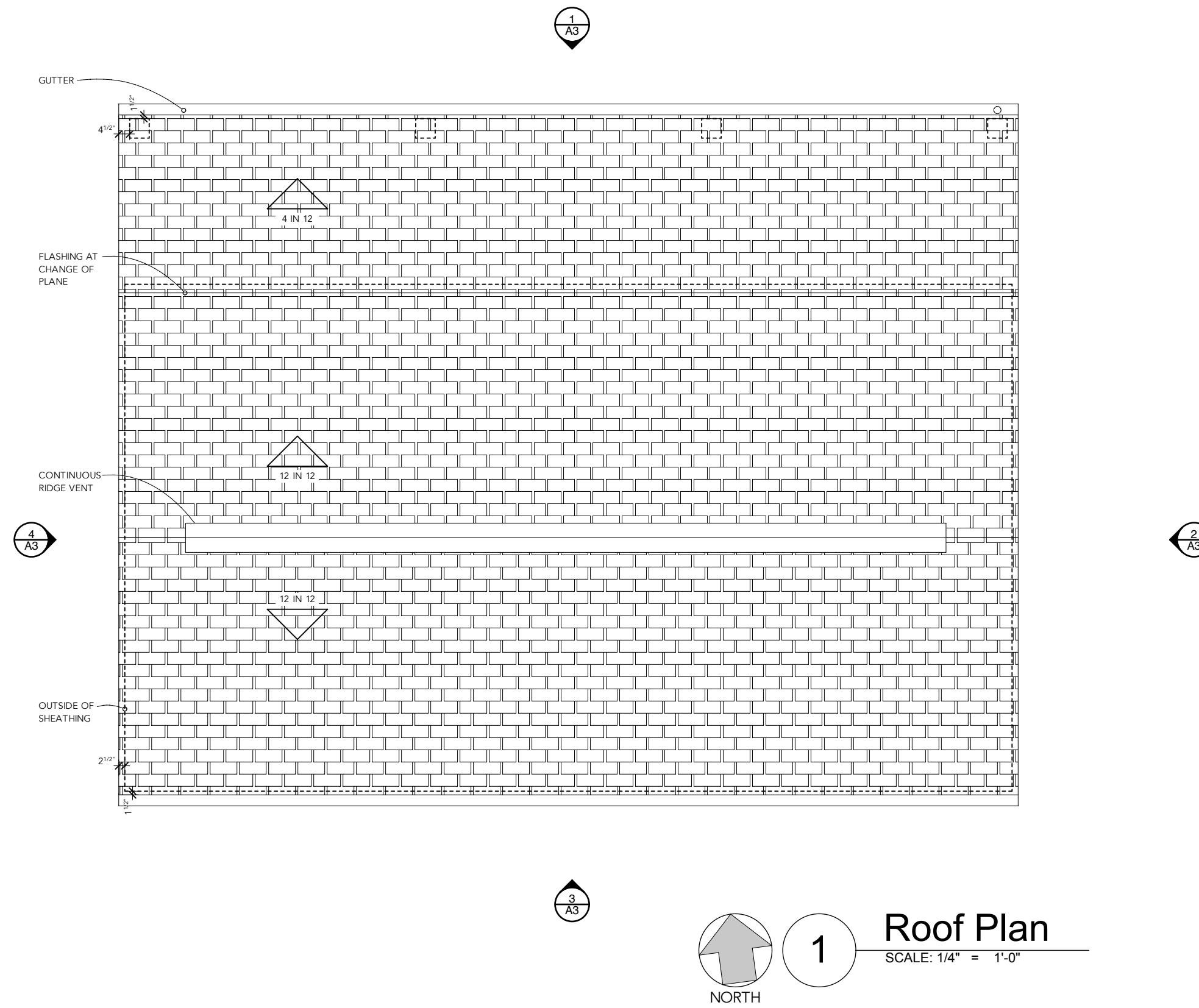
Drawing Title:

Foundation Plan

Sheet:

Caution: Do not scale drawings. These are the property of the designer and may only be used in conjunction with this proect.

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A2

Notice:

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Project:

Wuest Accessory Building
Fox Point, WI

Issue:

Review Set Sept. 26, 2025

Not for Construction

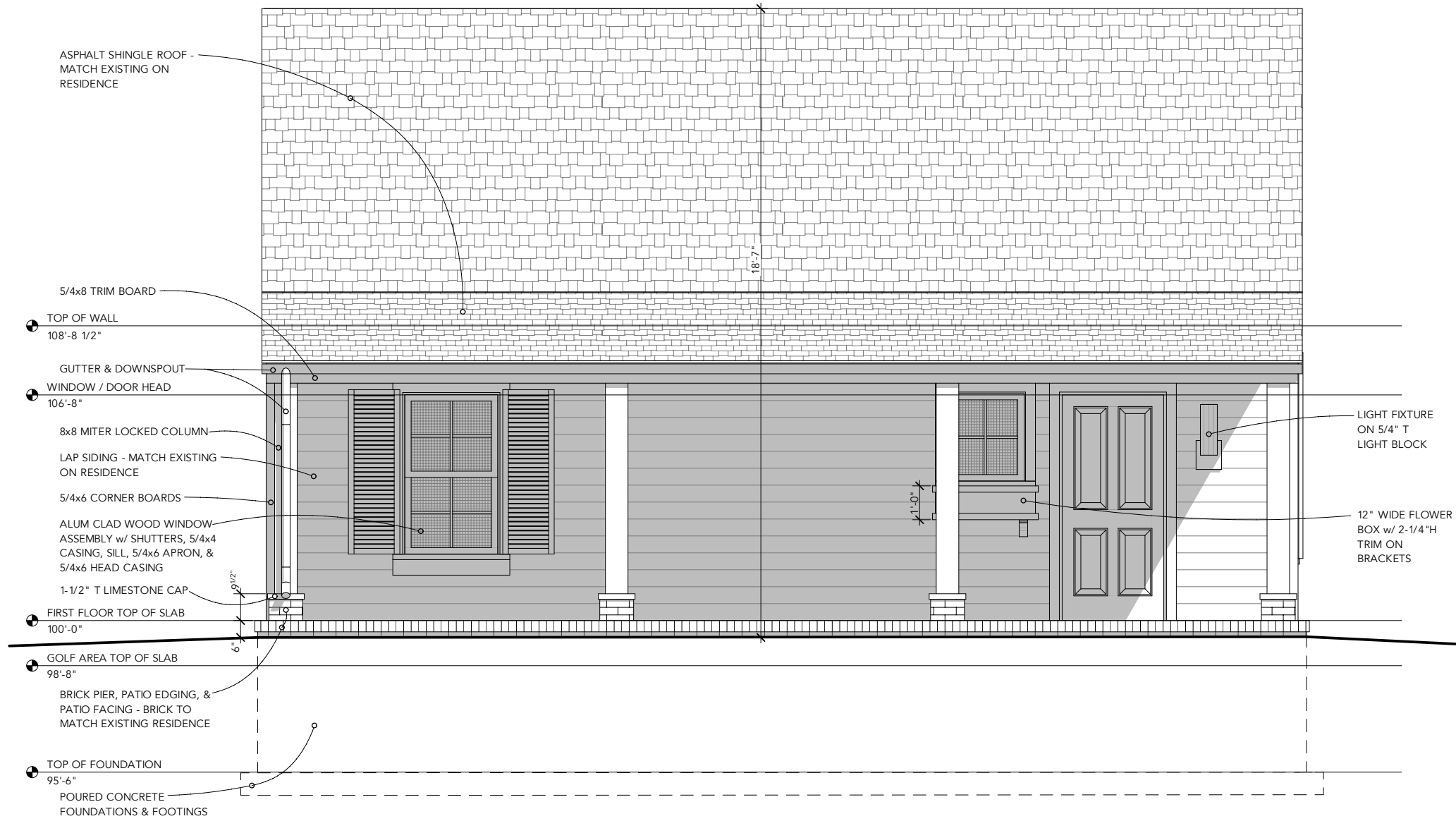
Drawing Title:

Roof Plan

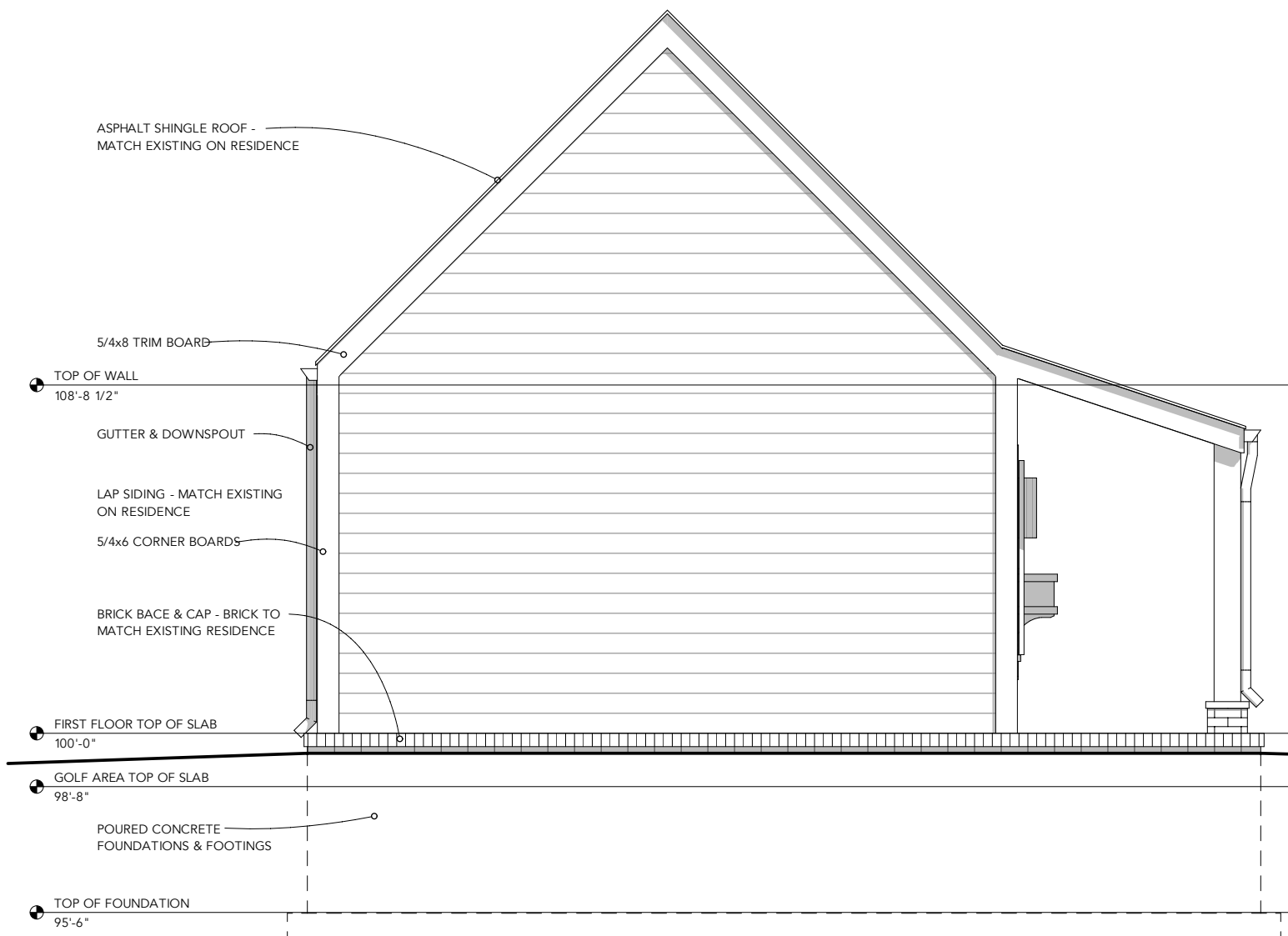
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Caution: Do not scale drawings. These are the property of the designer and may only be used in conjunction with this proect.

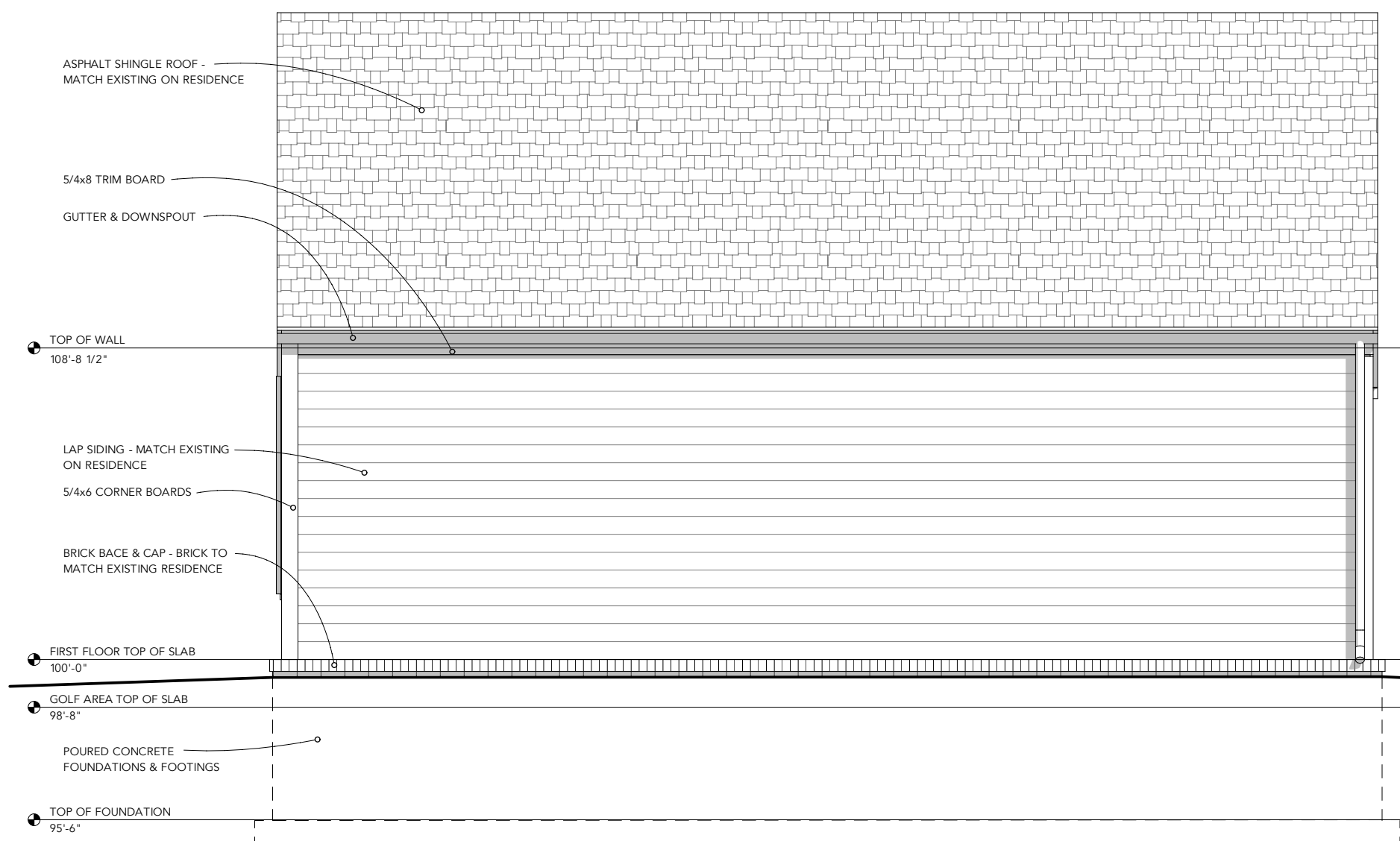
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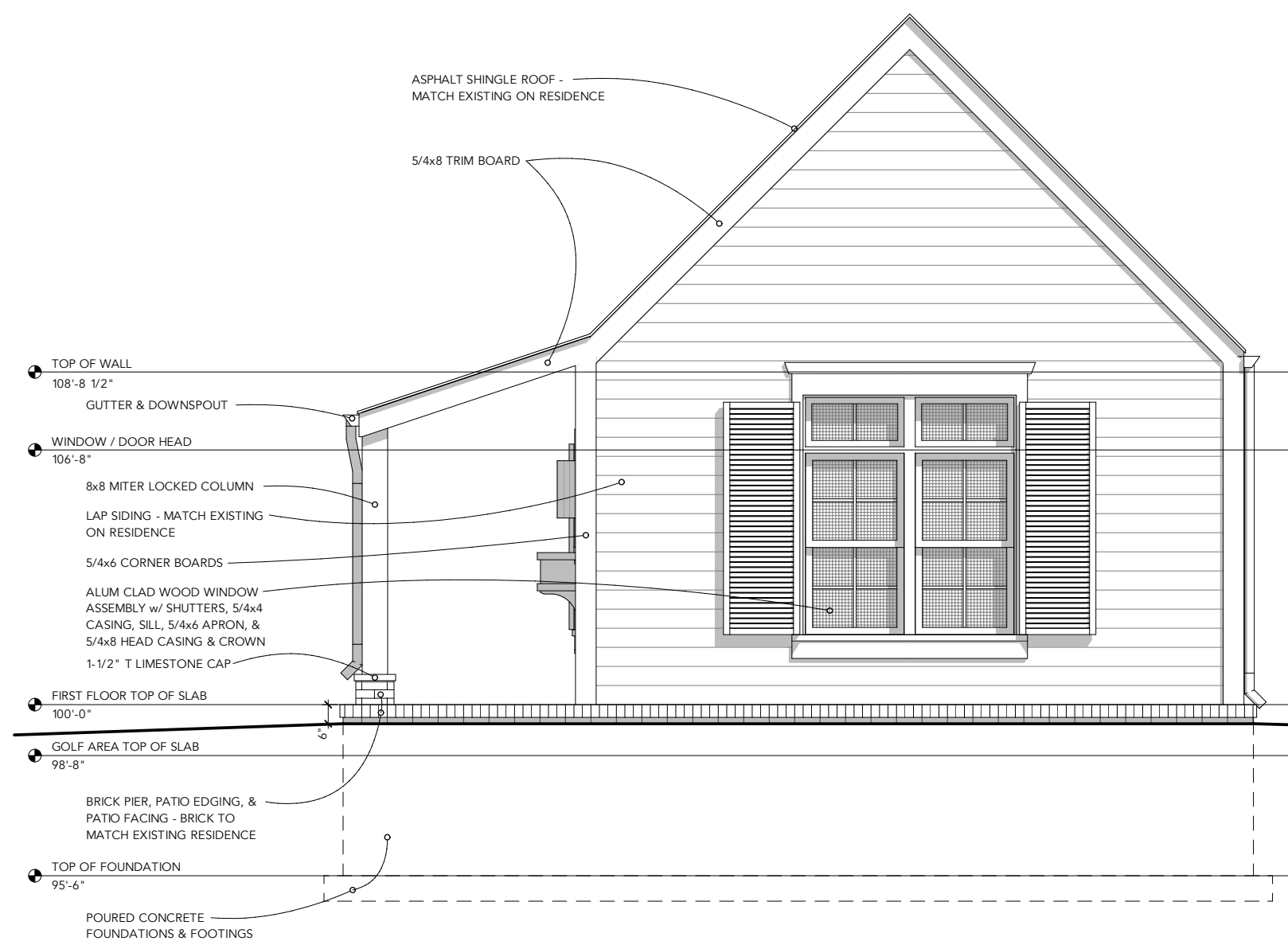
1 North Elevation
 SCALE: 1/4" = 1'-0"



2 East Elevation
 SCALE: 1/4" = 1'-0"



3 South Elevation
 SCALE: 1/4" = 1'-0"



4 West Elevation
 SCALE: 1/4" = 1'-0"

A3

Notice:

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Project:

Wuest Accessory Building
Fox Point, WI

Issue:

Review Set Sept. 26, 2025

Not for Construction

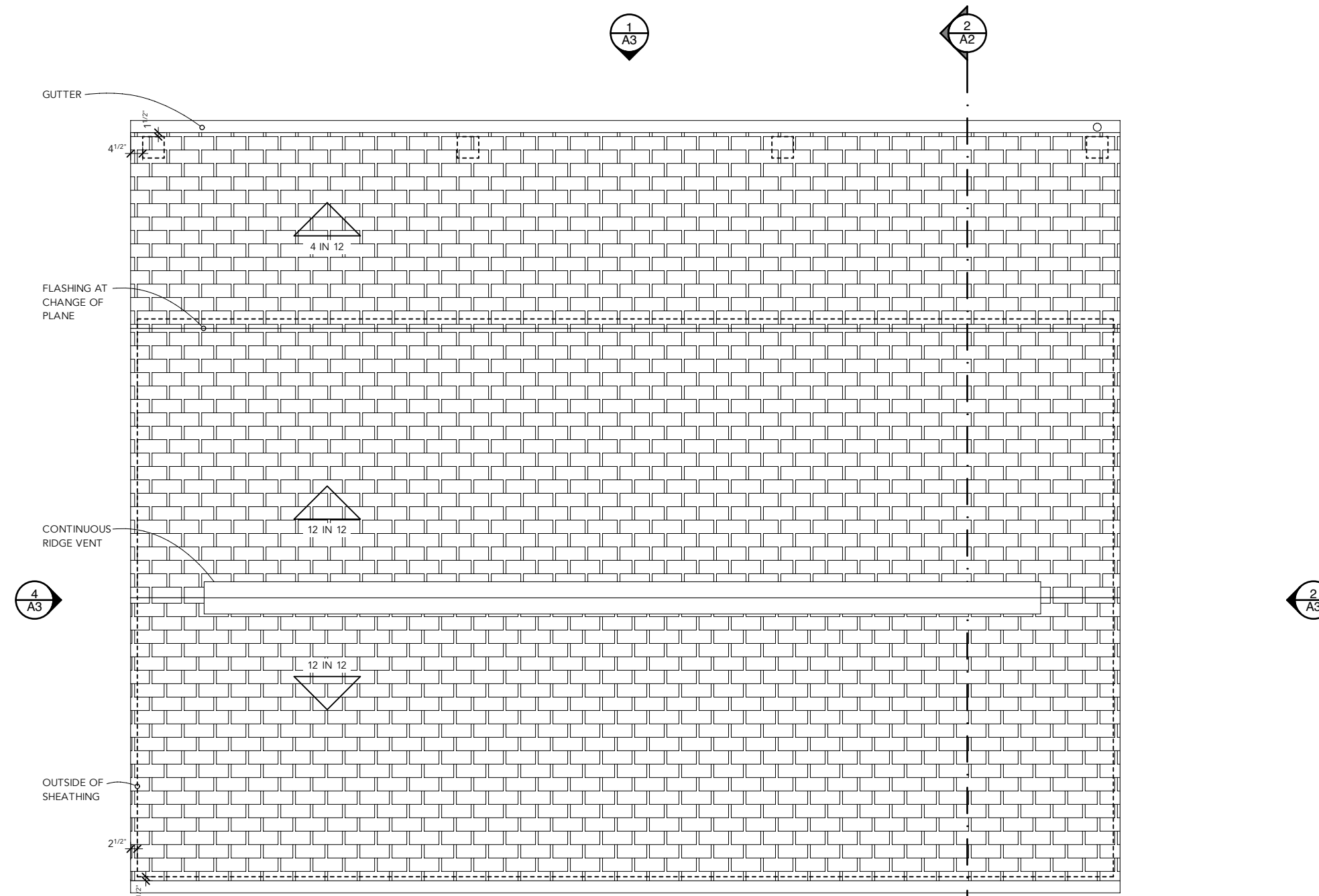
Drawing Title:

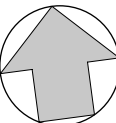
Exterior Elevations

Sheet:

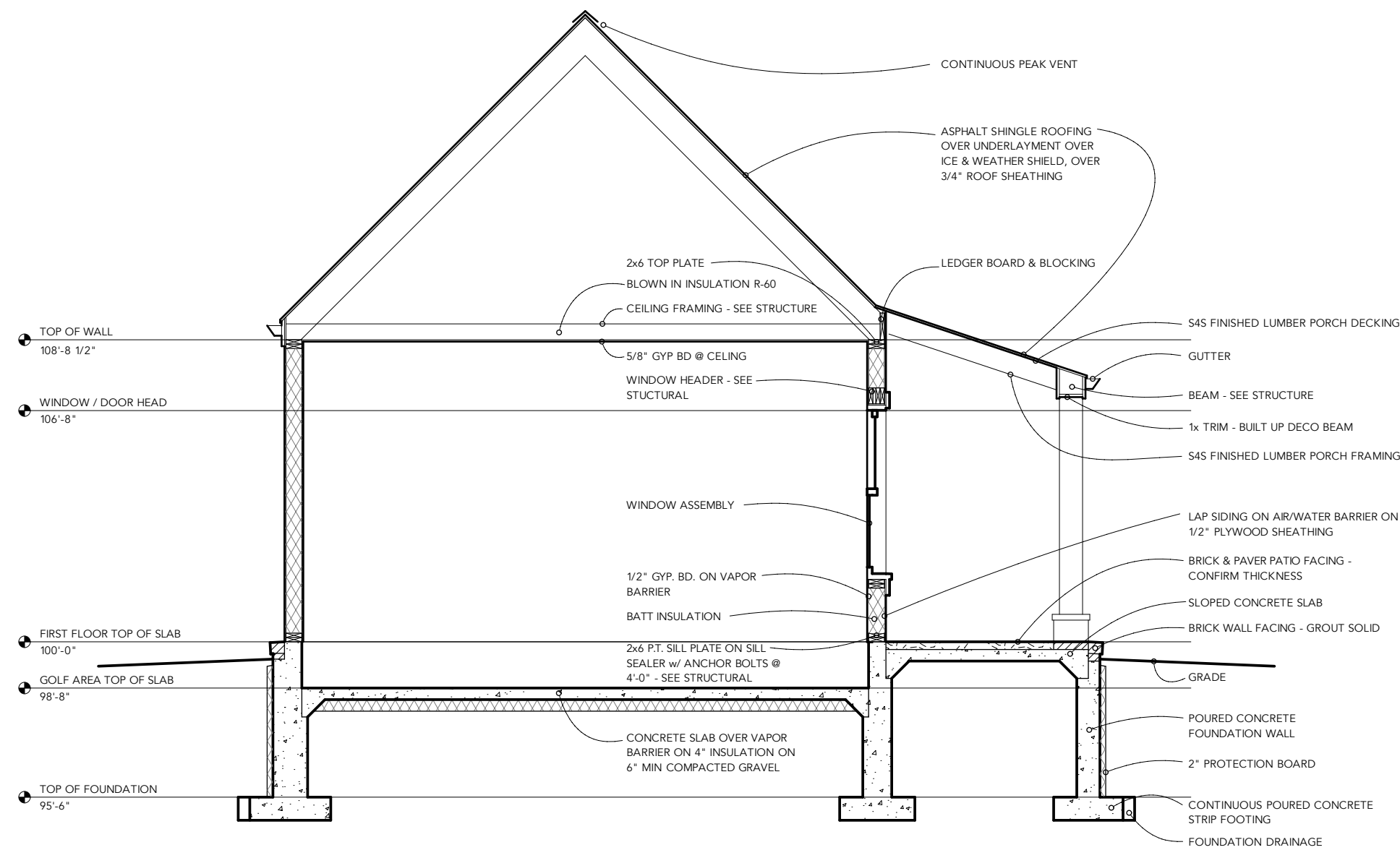
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 1 **Roof Plan**

 SCALE: 1/4" = 1'-0"



2 **Building Section**

 SCALE: 1/4" = 1'-0"

A2

Notice:

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Project:

Wuest Accessory Building
Fox Point, WI

Issue:

Review Set Sept. 29, 2025

Not for Construction

Drawing Title:

Roof Plan & Section

Sheet:

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VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B-_____

OFFICE USE ONLY
Issued Date
Zoning

We are closing on the 257 property on 10/1/25.

BUILDING PERMIT

Job Address <u>257 W. Suburban Dr</u>	Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/>
Description of Work <u>addition above garage, replace roof + windows, renovate kitchen and bathroom, add a bathroom, put egress window in basement finish part of the basement</u>	
Estimated Cost of Project \$ <u>200,000</u>	

Owner/Occupant <u>Annie Blair</u>	
Business Name	Contact Name <u>Annie Blair</u>
Address <u>1310 W. Suburban Dr</u>	City/State/Zip <u>Fox Point, WI 53217</u>
Phone <u>773-660-9719</u>	Email <u>annie.berman.willer@gmail.com</u>

****Cautionary Statement required when homeowner is applying for permit****

Contractor	
Company Name	Contact Name
Address	City/State/Zip
Phone	Email
Dwelling Contractor #	Dwelling Contractor Qualifier #

Square Footage Under Construction				
1 st Floor <u>500</u>	2 nd Floor <u>200</u>	Basement <u>800</u>	Addition <u>500</u>	Garage

Description	Rate	Amount
Project - Per \$1,000 of estimated cost	\$10.00	<u>2,000.00</u>
Building Board	\$75.00	<u>75.00</u>
Footing early start - \$230.00 one and two family; \$305.00 commercial		
Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial		
State Seal	\$75.00	
Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus	\$0.13/sqft	
Moving buildings \$250.00 plus	\$0.13/sqft	
Fuel tanks - Per 1,000 gallons	\$25.00	
Re-inspection	\$100.00	
Work started without permit	Double	
	Minimum Fee	\$70.00
Payable to: Village of Fox Point	Total Permit Fee	\$ <u>2075.00</u>

Applicant Signature Annie Blair Date 9/25/25

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.061949

Sep 26, 2025

257 W SUBURBAN DR

Previous Balance:	.00
LICENSES & PERMITS - BUILDING PERMIT 24-44460 BUILDING PERMIT	2,000.00
LICENSES & PERMITS - BUILDING PLANS - FILING FEE 24-44440 BUILDING BOARD - FEE	75.00
<hr/>	
Total:	2,075.00
<hr/>	
CHECK Check No: 1029	2,075.00
Payor: BLAIR HOUSE 1890 LLC	
Total Applied:	2,075.00
<hr/>	
Change Tendered:	.00
<hr/>	

09/26/2025 10:28 AM

SURVEY No. 100/98 Ernst H. Kirchman, Inc. PLAT No.

REGISTERED PROFESSIONAL ENGINEERS

HI 11top 2-2487

SURVEYORS

2673 North 28th Street
MILWAUKEE 10, WIS.

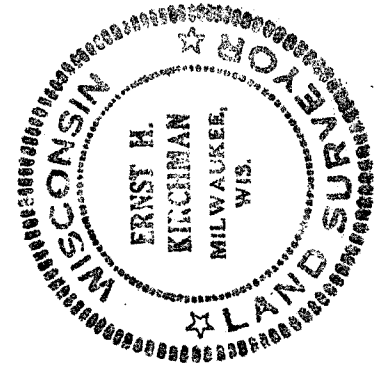
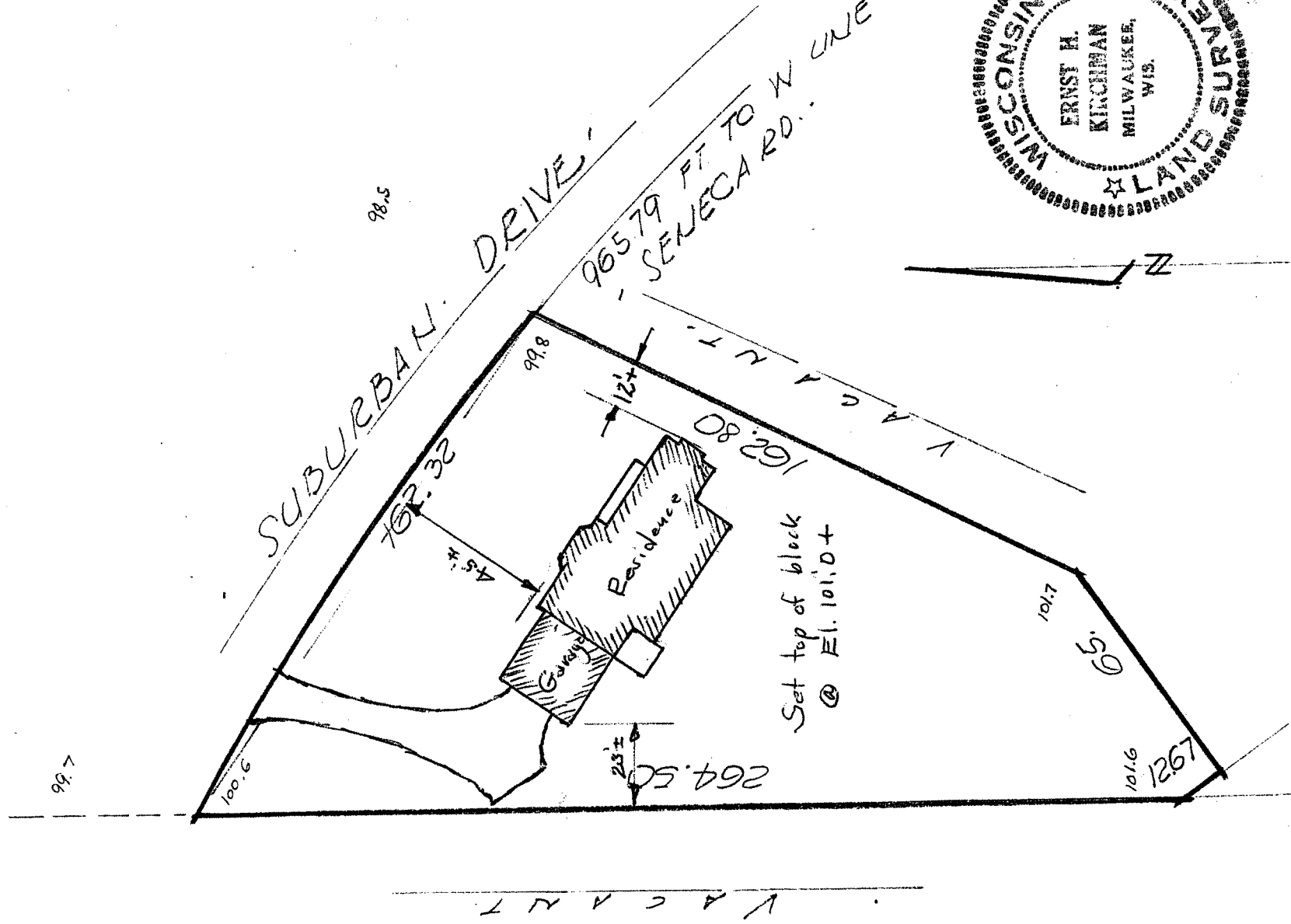
Lots and Farms Surveyed in any Locality.
Municipal Improvements.

Legal Descriptions

Surveys for Mortgage Loans,
Subdivisions, Grading Estimates.

Description Lot 1, Block 6, "FOX POINT SUBURBAN ACRES", NE 8-8-22

Fox Point and Bay Side, Milwaukee County, Wis.



Survey Made for Walter C. Schroeder Co., Inc.,

Owner

State of Wisconsin }
County of Milwaukee } S. S.

We hereby certify that we have made the above Survey.

Dated this 3rd day of September 19 57.
By Ernst H. Kirchman
Ernst H. Kirchman, Inc.

Scale 1" : 40'

BLAIR RESIDENCE

257 W SUBURBAN DR. | FOX POINT, WI 53217

ARCHITECTURAL REVIEW BOARD SEPTEMBER 26, 2025

STUDIO
EHR

2018 S 1st Street #311
Milwaukee, WI 53207
414.495.3520
josh@studio-ehr.com

ADDITION & REMODEL FOR

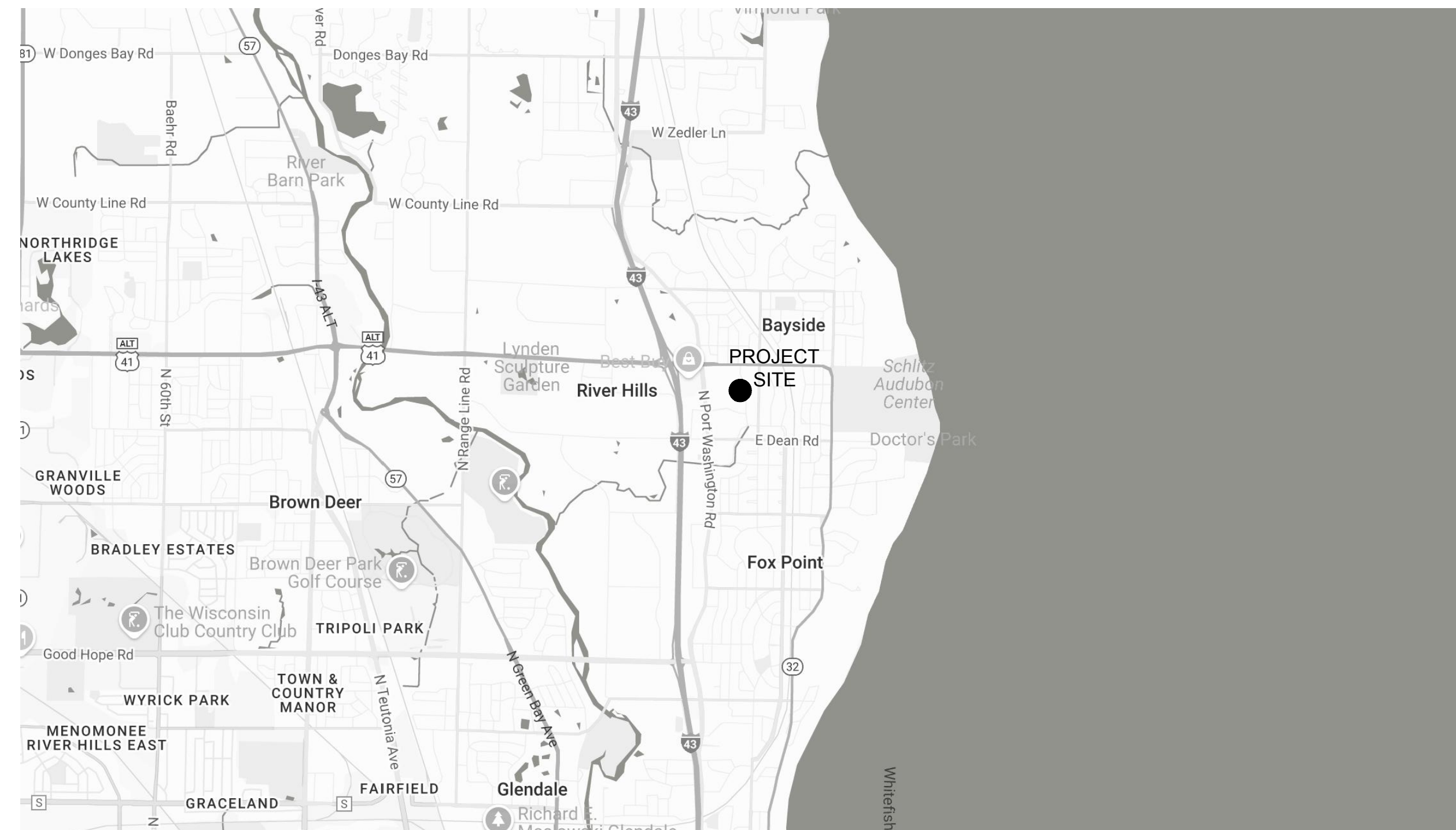
BLAIR

257 W Suburban Dr.
Fox Point, WI 53217

STRUCTURAL ENGINEER

GEN 2 ENGINEERING

262.332.5243
adam@gen2eng.com



PROJECT SITE

PROJECT INFORMATION:

BUILDING CODE:	WISCONSIN UDC
ZONING:	FOX POINT - SINGLE FAMILY
<u>SF OF RESIDENCE FINISHED (LEVEL 1 & 2 + ADDITION, NOT INCLUDING GARAGE OR UNFINISHED BASEMENT)</u>	2,970 SF (GROSS)
<u>SF OF REMODEL WORK</u>	
EXISTING MAIN:	1,486 SF
EXISTING SECOND LEVEL:	1,012 SF
SECOND LEVEL PRIMARY SUITE ADDITION:	472 SF
GARAGE:	484 SF
NO. OF STORIES:	2

SHEET INDEX:

- T 1.0 TITLE SHEET
- T 1.1 EXISTING EXTERIOR IMAGES
- T 1.2 EXTERIOR ROOF & PAINT COLOR DESIGN DIRECTION
- D 1.0 DEMO & NEW FLOOR PLAN - MAIN & SECOND LEVEL
- A 1.1 DEMO & NEW FLOOR PLAN - GARAGE
- D 2.0 DEMO - EXTERIOR ELEVATIONS
- D 2.1 DEMO - EXTERIOR ELEVATIONS
- A 2.0 EXTERIOR ELEVATIONS
- A 2.1 EXTERIOR ELEVATIONS
- A 3.0 BUILDING SECTION, DETAILS

ARCHITECTURAL REVIEW BOARD SET

REVISIONS

BUILDING BOARD
REVIEW SET
SEPTEMBER 26, 2025

TITLE PAGE
T1.0

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ADDITION & REMODEL FOR

BLAIR

287 W Suburban Dr.
Fox Point, WI 53217

STRUCTURAL ENGINEER

GEN 2 ENGINEERING

262.332.9243
adam@gen2eng.com



1 | EXISTING EXTERIOR - EAST



2 | EXISTING EXTERIOR - SOUTH



3 | EXISTING EXTERIOR - WEST



4 | EXISTING EXTERIOR - EAST



5 | EXISTING EXTERIOR - WEST



6 | EXISTING EXTERIOR - NORTH

ARCHITECTURAL REVIEW BOARD SET

REVISIONS

BUILDING BOARD
REVIEW SET
SEPTEMBER 26, 2025
EXISTING EXTERIOR
IMAGES

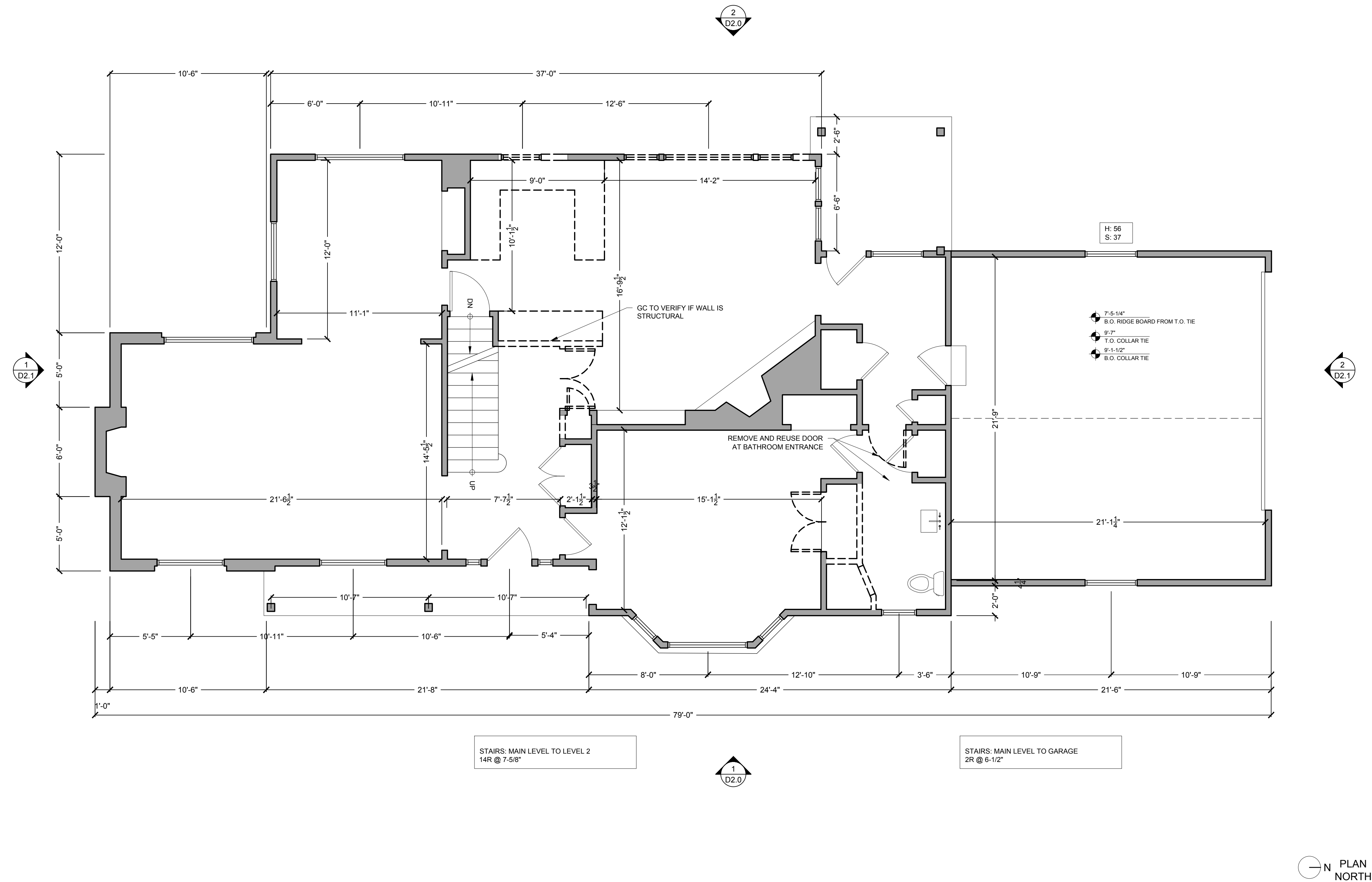
T1.1

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Keep existing cedar shake shingles for siding and paint a slate or light grey color. Keep trim white.

Replace roof with brown or grey shingles





DEMO PLAN GENERAL NOTES

- A. VERIFY ALL EXISTING STRUCTURAL CONDITIONS TO VERIFY WITH STRUCTURAL DRAWINGS.
- B. EVALUATE THE CONDITION OF EXTERIOR COMPONENTS, SUCH AS ROOF, TIMBERING, WINDOWS, GUTTERS AND MASONRY. SUGGEST REPAIRS, REFINISHING OR REPLACEMENT AS NEEDED.
- C. SALVAGE ALL EXTERIOR BRICK VENEER IN DEMOLISHED AREAS FOR REUSE ON PROJECT.
- F. PREP FOR NEW FLOORING IN CONSTRUCTION AREA.
- G. REMOVE EXISTING DOORS IN CONSTRUCTION AREA.
- H. PRESERVE WOOD FLOORING WHERE POSSIBLE IN CONSTRUCTION AREA. PREP FOR SANDING & FINISHING. VERIFY WITH ARCHITECT ON CEILING AND WALLS IN CONSTRUCTION AREA.
- I. DEMO OR CONSOLIDATE ALL LIGHTING AND ELECTRIC CONDUIT ON CEILING AND WALLS IN CONSTRUCTION AREA.
- J. EVALUATE ALL FLOOR DRAINS FOR PROPER DRAINAGE.
- K. REVIEW AND DEMO EXISTING HVAC DUCTS AS NEEDED IN CONSTRUCTION AREA. COORDINATE WITH HVAC CONTRACTOR. EVALUATE EXISTING FURNACE & WATER HEATER FOR APPROPRIATE SIZING. PROVIDE ARCHITECT WITH PROPOSED NEW DUCT LAYOUT TO COORDINATE WITH NEW DESIGN INTENT.
- L. EVALUATE INSULATION CONDITIONS IN EXISTING EXTERIOR WALLS AND ROOF IN CONSTRUCTION AREA. BRING CONDITIONS TO CURRENT ENERGY CODE IF NOT COMPLIANT.
- M. SALVAGE ALL REMOVED CABINETS, DOORS AND OTHER INTERIOR ITEMS THAT CAN BE REPURPOSED AT A SECOND HAND BUILDING STORE. VERIFY IF ANY OF THESE ITEMS WILL BE REUSED ON THE PROJECT.

KEYED NOTES

- 1 PREP FOR NEW FLOORING, DEMO EXISTING
- 2 REMOVE CEILING FINISH. EVALUATE CEILING HEIGHT.
- 3 VERIFY ALL EXISTING STRUCTURE

DRAWING KEY

- DEMO
- EXISTING WALL / NO WORK
- NEW DOOR, REMOVE EXISTING
- EXISTING DOOR TO REMAIN
- C.L. CENTER LINE
- EXTERIOR ELEVATION & SECTION TAG

1 FLOOR PLAN - MAIN LEVEL
1/4" = 1'



REVISIONS

BUILDING BOARD REVIEW SET
SEPTEMBER 26, 2025

EXISTING / DEMO FLOOR PLANS

D1.0

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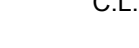
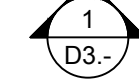
DEMO PLAN GENERAL NOTES

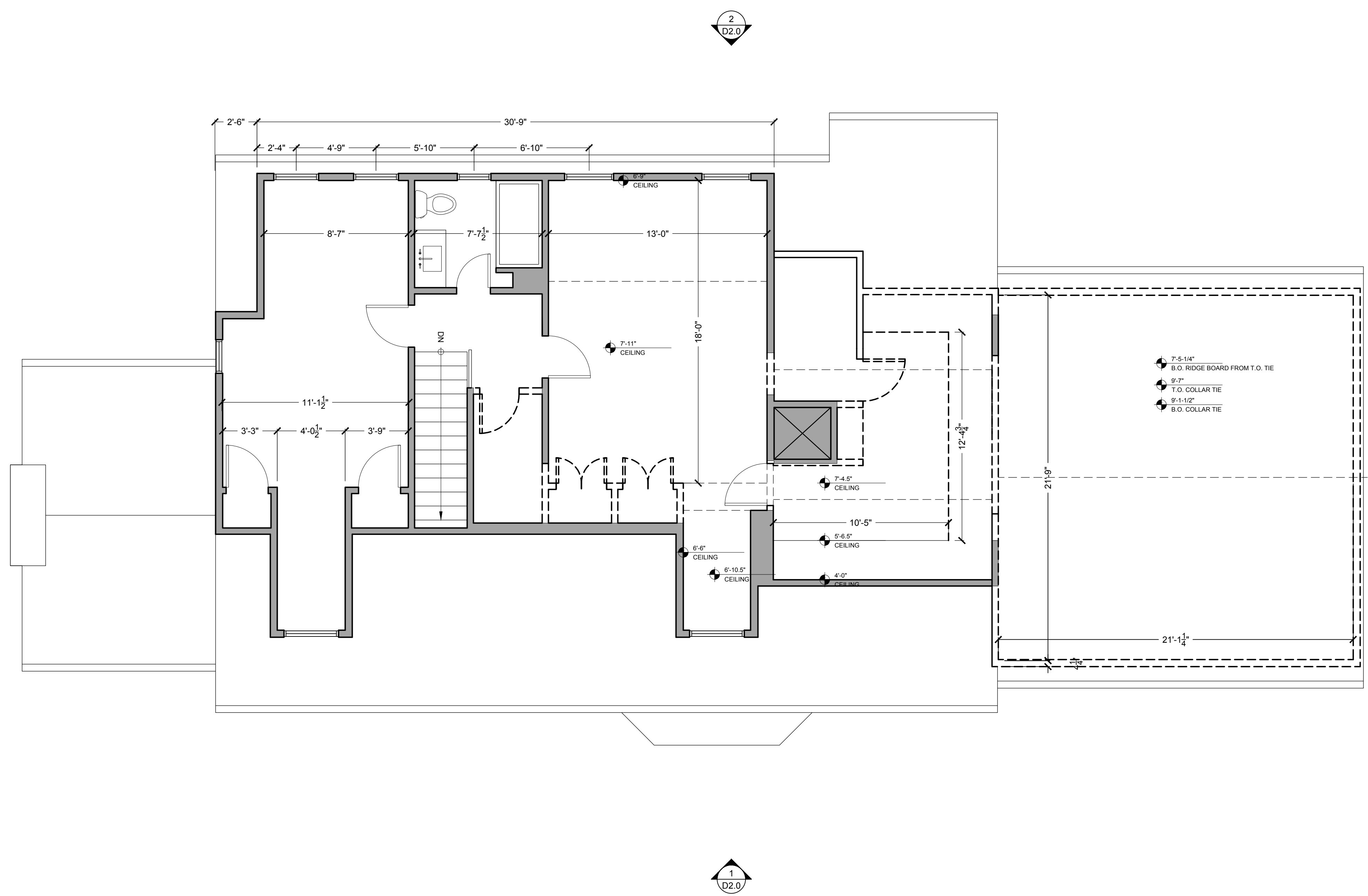
- A. VERIFY ALL EXISTING STRUCTURAL CONDITIONS TO VERIFY WITH STRUCTURAL DRAWINGS.
- B. EVALUATE THE CONDITION OF EXTERIOR COMPONENTS, SUCH AS ROOF, TIMBERING, WINDOWS, GUTTERS AND MASONRY. SUGGEST REPAIRS, REFINISHING OR REPLACEMENT AS NEEDED.
- C. SALVAGE ALL EXTERIOR BRICK VENEER IN DEMOLISHED AREAS FOR REUSE ON PROJECT.
- F. PREP FOR NEW FLOORING IN CONSTRUCTION AREA.
- G. REMOVE EXISTING DOORS IN CONSTRUCTION AREA.
- H. PRESERVE WOOD FLOORING WHERE POSSIBLE IN CONSTRUCTION AREA. PREP FOR SANDING & FINISHING. VERIFY WITH ARCHITECT.
- I. DEMO OR CONSOLIDATE ALL LIGHTING AND ELECTRIC CONDUIT ON CEILING AND WALLS IN CONSTRUCTION AREA.
- J. EVALUATE ALL FLOOR DRAINS FOR PROPER DRAINAGE.
- K. REVIEW AND DEMO EXISTING HVAC DUCTS AS NEEDED IN CONSTRUCTION AREA. COORDINATE WITH HVAC CONTRACTOR. EVALUATE EXISTING FURNACE & WATER HEATER FOR APPROPRIATE SIZING. PROVIDE ARCHITECT WITH PROPOSED NEW DUCT LAYOUT TO COORDINATE WITH NEW DESIGN INTENT.
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-  EXTERIOR ELEVATION & SECTION TAG



1 | FLOOR PLAN - SECOND LEVEL
1/4" = 1'



ARCHITECTURAL REVIEW BOARD SET

REVISIONS

**BUILDING BOARD
REVIEW SET**

SEPTEMBER 26, 2025

EXISTING / DEMO
FLOOR PLANS

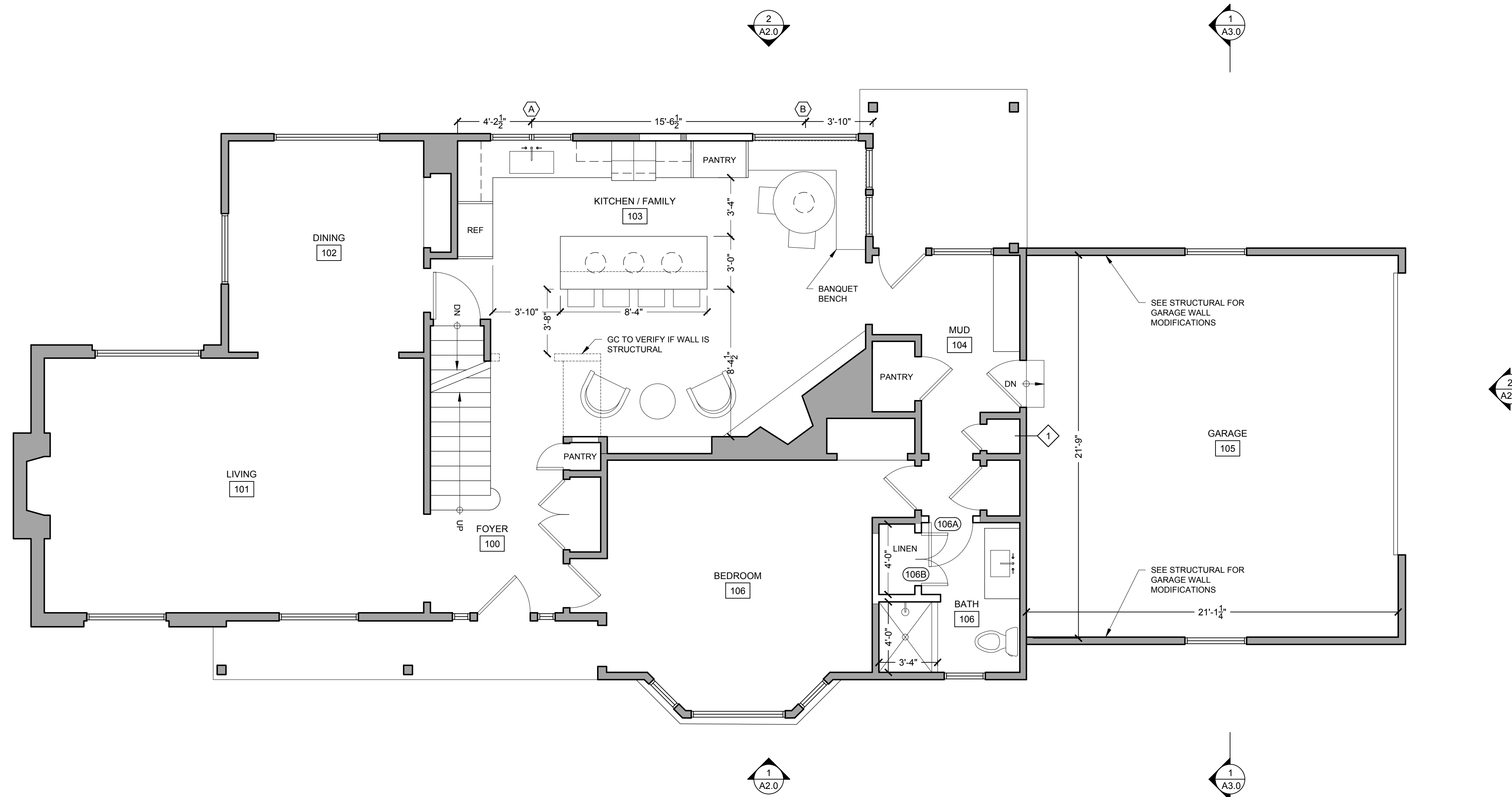
D1.1

PROJECT GENERAL NOTES

- A. THESE GENERAL NOTES APPLY TO THE CONSTRUCTION DOCUMENTS AND SHALL GOVERN UNLESS NOTED OTHERWISE BY GENERAL NOTES OR KEYNOTES ON SPECIFIC SHEETS.
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- C. NOTIFY DESIGNER PROMPTLY IF CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH THE CURRENT APPLICABLE CODES AND REGULATIONS.
- D. COORDINATE EXACT LOCATIONS OF LIGHT FIXTURES, SPEAKERS, SMOKE DETECTORS, ACCESS PANELS, HVAC DUCTS, DIFFUSERS, REGISTERS, FIRE ALARMS, AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL AND OTHER TRADES. NOTIFY ARCHITECT PROMPTLY IF ANY LOCATIONS CONFLICT WITH ARCHITECTURAL REFLECTED CEILING PLANS.
- E. HVAC: COORDINATE POSITION OF GRILLES, DUCTS AND/OR CASSETTES WITH DESIGNER FOR PLACEMENT IN RELATION TO LIGHTING, WALL CLADDING, FURNITURE ARRANGEMENTS, CABINETS, ETC.
- F. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE FINISH FACE OF WALLS, CABINETS AND TRIM UNLESS NOTED OTHERWISE. WHERE A CLEAR DIMENSION OR OPENING IS REQUIRED OR NOTED, MEASURE DIMENSION TO FACE OF PARTITION FINISH.
- G. REFER TO PLANS, SECTIONS AND ELEVATIONS FOR PLACEMENT AND ALIGNMENTS WITH EXISTING AND NEW DESIGN ELEMENTS.
- H. PROVIDE WATER RESISTANT TYPE GYPSUM BOARD AT AREAS THAT ARE SCHEDULED TO RECEIVE CERAMIC TILE FINISH AND AT AREAS REQUIRED BY CODE TO RECEIVE IT.
- I. PROVIDE TILE BACKER BOARD AT WET AREAS THAT ARE SCHEDULED IN ROOM FINISH SCHEDULE TO RECEIVE CERAMIC TILE FINISH.
- J. INSTALL BLOCKING OR BACKER MATERIAL FOR ATTACHMENT/MOUNTING OF WALL HUNG ITEMS OR EQUIPMENT DESCRIBED IN THE DOCUMENTS.
- K. PROVIDE ACOUSTIC INSULATION BETWEEN ALL BEDROOMS, BATHROOMS, LAUNDRY, MECHANICAL ROOMS AND BETWEEN FLOOR LEVELS OF THE HOME. ALL ELEMENTS OF ACOUSTIC RATED PARTITIONS SHALL EXTEND TO ROOF OR FLOOR DECK ABOVE AND ALL JOINTS AND PENETRATIONS OF ACOUSTIC RATED PARTITIONS SHALL BE FILLED AND SEALED.
- L. ALL ROOF & WALL PENETRATIONS & VENTS, SUCH AS STACK VENT PIPES, DRYER VENT TO MATCH THE FINISH COLOR OF ADJACENT SURFACE. VERIFY COLOR WITH ARCHITECT. WHERE POSSIBLE COORDINATE NEW ROOF PENETRATIONS TO EXIT THROUGH NEW CHIMNEY.
- M. PENETRATIONS IN RATED PARTITIONS AND CONNECTIONS OF THE PARTITIONS TO OTHER PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED DETAILS AND IN COMPLIANCE WITH APPLICABLE TESTING AGENCY REQUIREMENTS.

DRAWING KEY

- NEW WALL
- EXISTING WALL
- NEW DOOR
- EXISTING DOOR
- C.L. CENTER LINE
- TYP TYPICAL
- DOOR TAG
- WALL ASSEMBLY
- INTERIOR ELEVATION SEE A.5 SHEETS
- EXTERIOR ELEVATION & SECTION TAG
- WINDOW TAG

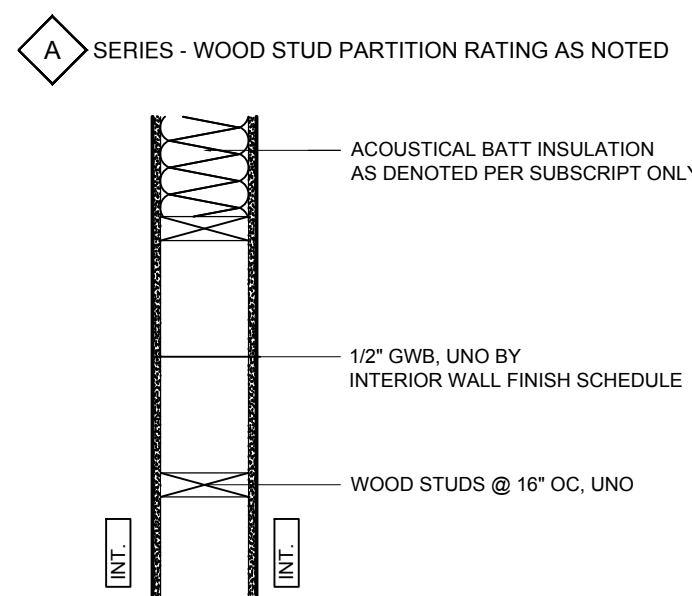


1 FLOOR PLAN - MAIN LEVEL
1/4" = 1'

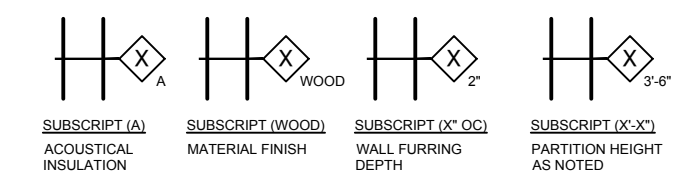


ARCHITECTURAL REVIEW BOARD SET

INTERIOR WALL TYPES



INTERIOR PARTITION SUBSCRIPT KEY

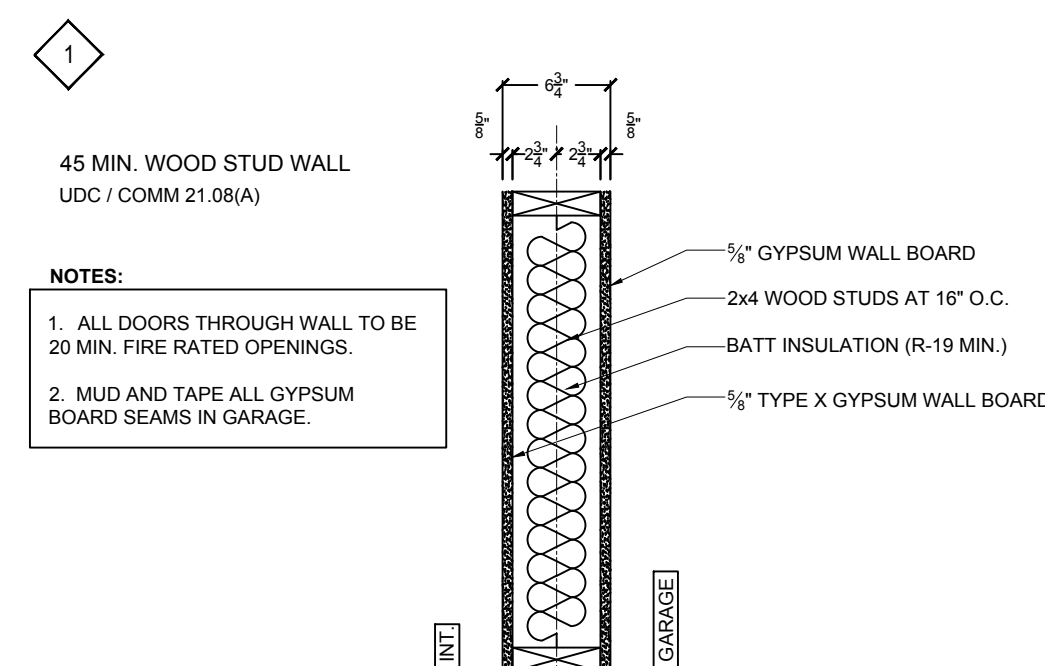


INTERIOR PARTITION NOTES

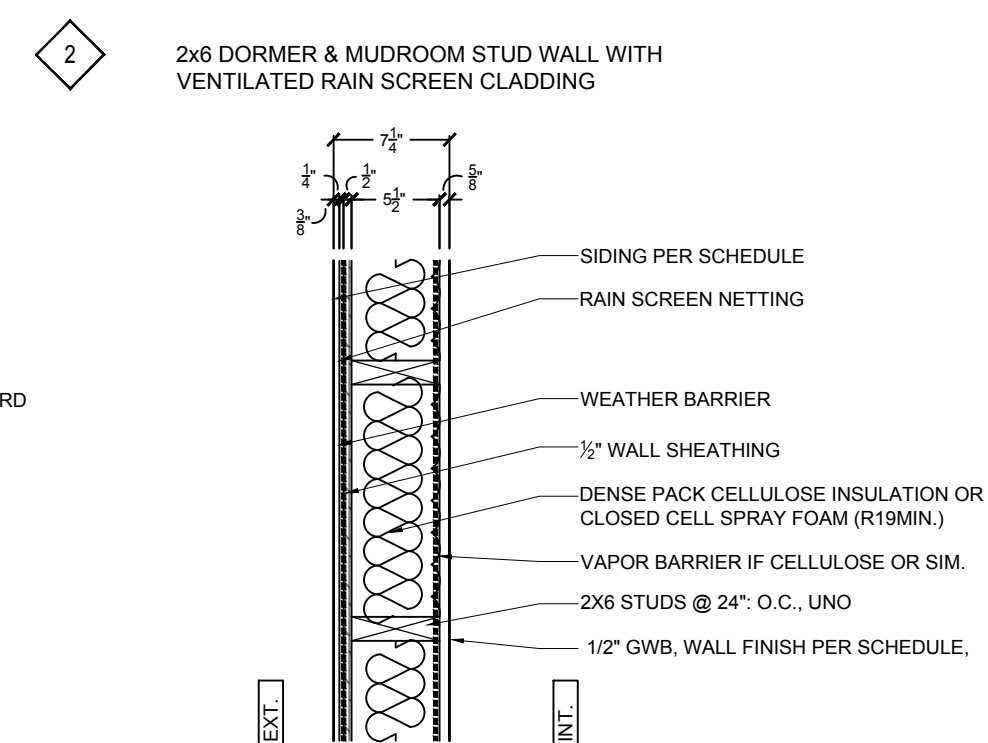
- A. ALL INTERIOR PARTITIONS SHALL BE TYPE "A1" UNLESS NOTED OTHERWISE.
- B. ALL ELEMENTS OF ACOUSTIC RATED PARTITIONS SHALL EXTEND TO ROOF OR FLOOR DECK ABOVE AND ALL JOINTS AND PENETRATIONS OF ACOUSTIC RATED PARTITIONS SHALL BE FILLED AND SEALED.
- C. REFER TO "INTERIOR PARTITION TYPE SUBSCRIPT KEY" FOR SYMBOLS USED TO IDENTIFY ADDITIONAL REQUIREMENTS OR MODIFICATIONS TO BASIC PARTITION TYPES.
- D. PARTITION REQUIREMENTS SHOWN ARE CONSIDERED MINIMUM STANDARDS. WHERE CONDITIONS OF THE WORK CAUSE PARTITION(S) TO EXCEED LIMITS RECOMMENDED BY MANUFACTURER, REINFORCE PARTITION(S).
- E. INSTALLATION OF GYPSUM BOARD, BACKER BOARD AND BASE BOARD SHALL CONFORM TO REQUIREMENTS FOR FIRE RATINGS AND ACOUSTICAL RATINGS.
- F. WHERE PARTITIONS AND/OR FURRING MEET, MAINTAIN A FLUSH SURFACE ON THE SIDE WHERE THE FINISH IS STRAIGHT OR CONTINUOUS UNLESS NOTED OTHERWISE.
- F. SEE GENERAL PROJECT NOTES FOR ADDITIONAL INFORMATION

PARTITION TYPE	PARTITION WIDTH	NOTES
A1	4-1/2"	STANDARD 2x4 WOOD STUD INTERIOR PARTITION
A2	6-1/2"	STANDARD 2x6 WOOD STUD INTERIOR PARTITION
A3	EXISTING WALL ±2' - 4"	EXISTING EXT./INT. WALL WITH INTERIOR FURRING (SEE PLAN FOR DETAILS)

EXTERIOR WALL TYPES



- NOTES:**
- 1. ALL DOORS THROUGH WALL TO BE 20 MIN. FIRE RATED OPENINGS.
 - 2. MUD AND TAPE ALL GYPSUM BOARD SEAMS IN GARAGE.



REVISIONS

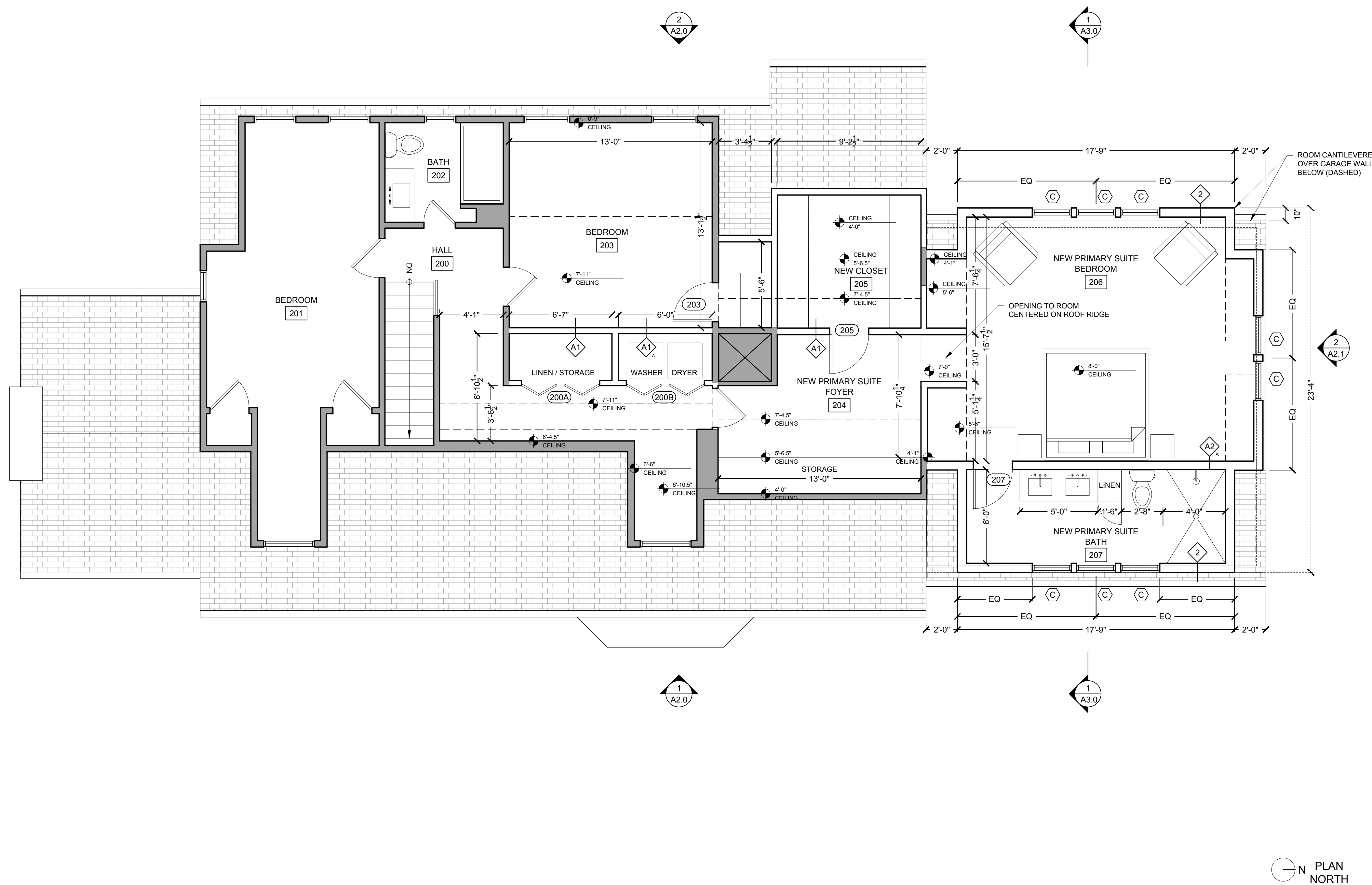
**BUILDING BOARD
REVIEW SET**
SEPTEMBER 26, 2025

NEW FLOOR PLANS

A1.0

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 - TYP TYPICAL
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 - WALL ASSEMBLY
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 - EXTERIOR ELEVATION & SECTION TAG
 - WINDOW TAG



1 FLOOR PLAN - MAIN LEVEL
1/4" = 1'

ARCHITECTURAL REVIEW BOARD SET

INTERIOR WALL TYPES

INTERIOR PARTITION SUBSCRIPT KEY

SUBSCRIPT (A)	SUBSCRIPT (WOOD)	SUBSCRIPT (OC)	SUBSCRIPT (OC)
ACOUSTICAL INSULATION	MATERIAL FINISH	WALL FURRING DEPTH	PARTITION HEIGHT AS NOTED

INTERIOR PARTITION NOTES

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A3	EXISTING WALL +2' - 4"	EXISTING EXT./INT. WALL WITH INTERIOR FURRING (SEE PLAN FOR DETAILS)

EXTERIOR WALL TYPES

1 45 MIN. WOOD STUD WALL
UDC / COMM 21.08(A)

2 2x6 DORMER & MIDROOM STUD WALL WITH VENTILATED RAIN SCREEN CLADDING

NOTES:

- ALL DOORS THROUGH WALL TO BE 20 MIN. FIRE RATED OPENINGS.
- MUD AND TAPE ALL GYPSUM BOARD SEAMS IN GARAGE.

REVISIONS

BUILDING BOARD
REVIEW SET
SEPTEMBER 26, 2025

NEW FLOOR PLANS

A1.1

ADDITION & REMODEL FOR

BLAIR

257 W Suburban Dr.
Fox Point, WI 53217

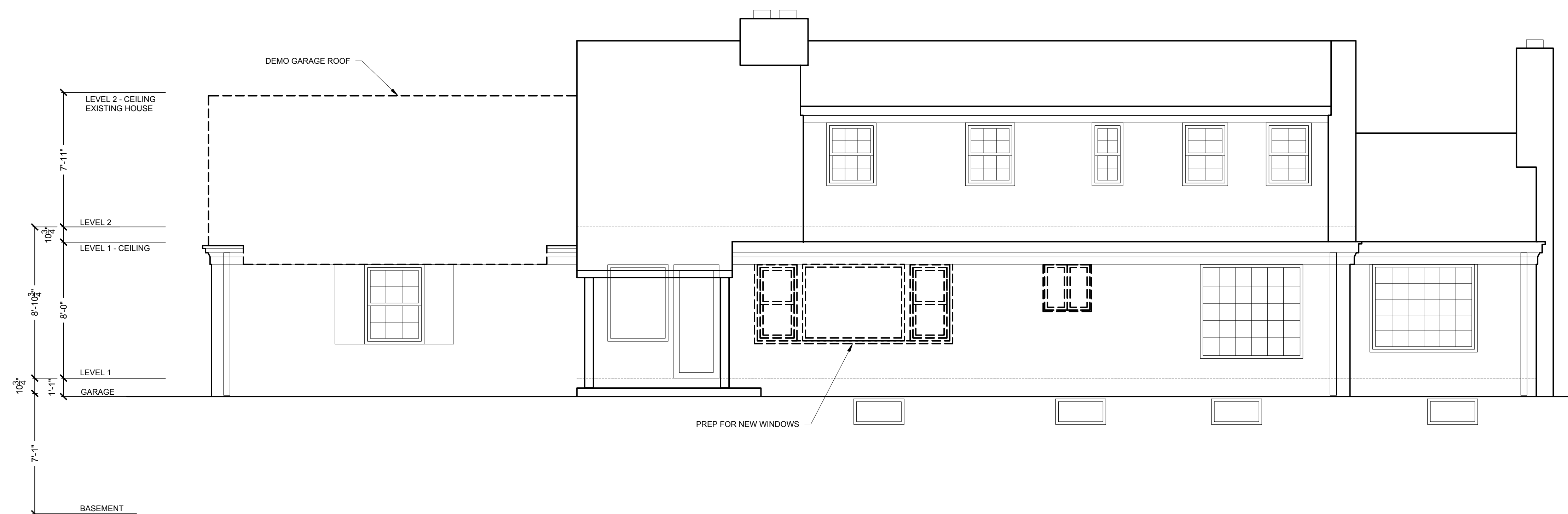
STRUCTURAL ENGINEER

GEN 2 ENGINEERING

262.332.9243
adam@gen2eng.com



1 | EXISTING / DEMO EXTERIOR ELEVATION - EAST
1/4" = 1'



2 | EXISTING / DEMO EXTERIOR ELEVATION - WEST
1/4" = 1'

ARCHITECTURAL REVIEW BOARD SET

REVISIONS

BUILDING BOARD
REVIEW SET
SEPTEMBER 26, 2025
EXISTING / DEMO
EXTERIOR ELEVATIONS

D2.0

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ADDITION & REMODEL FOR

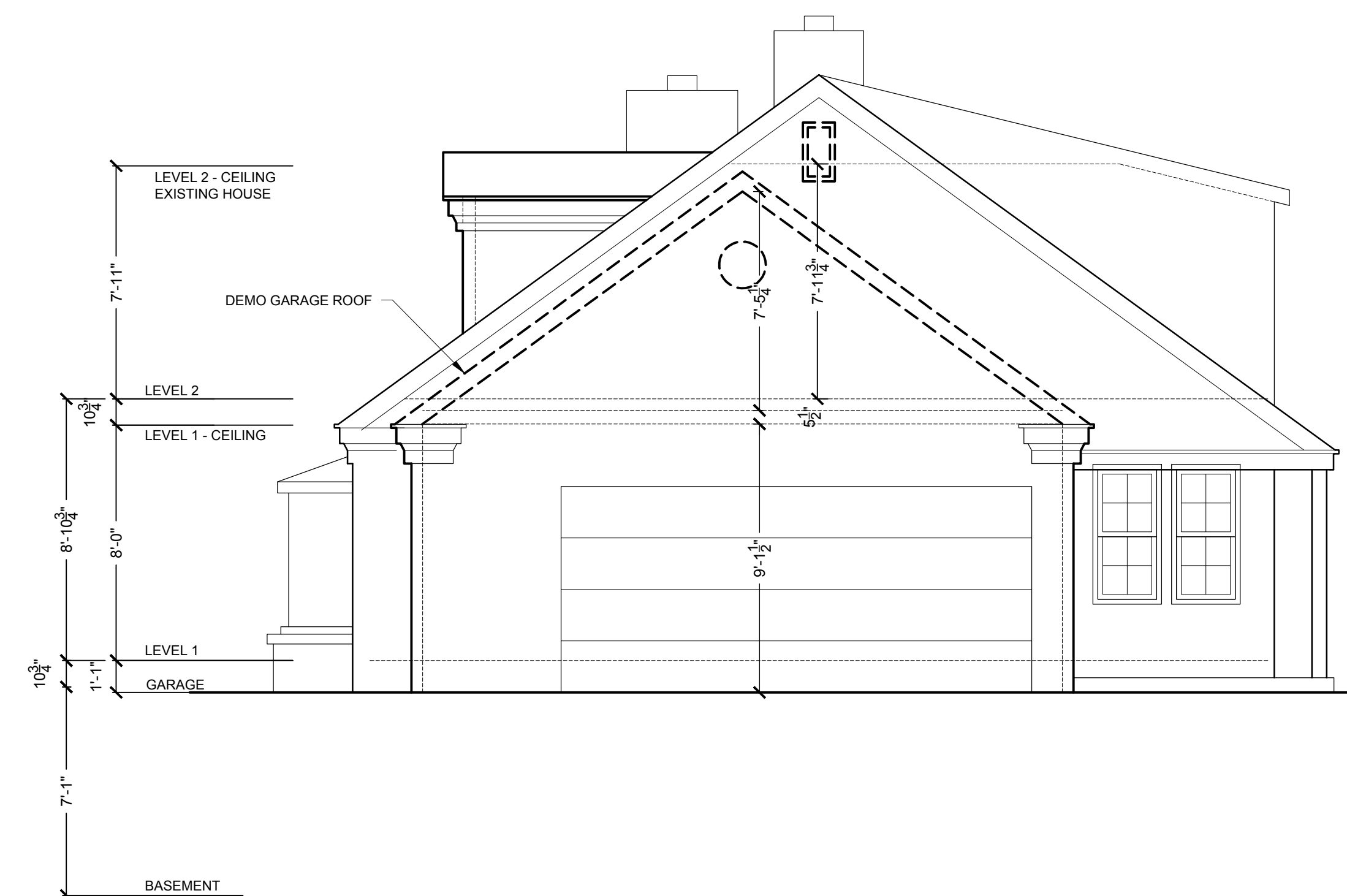
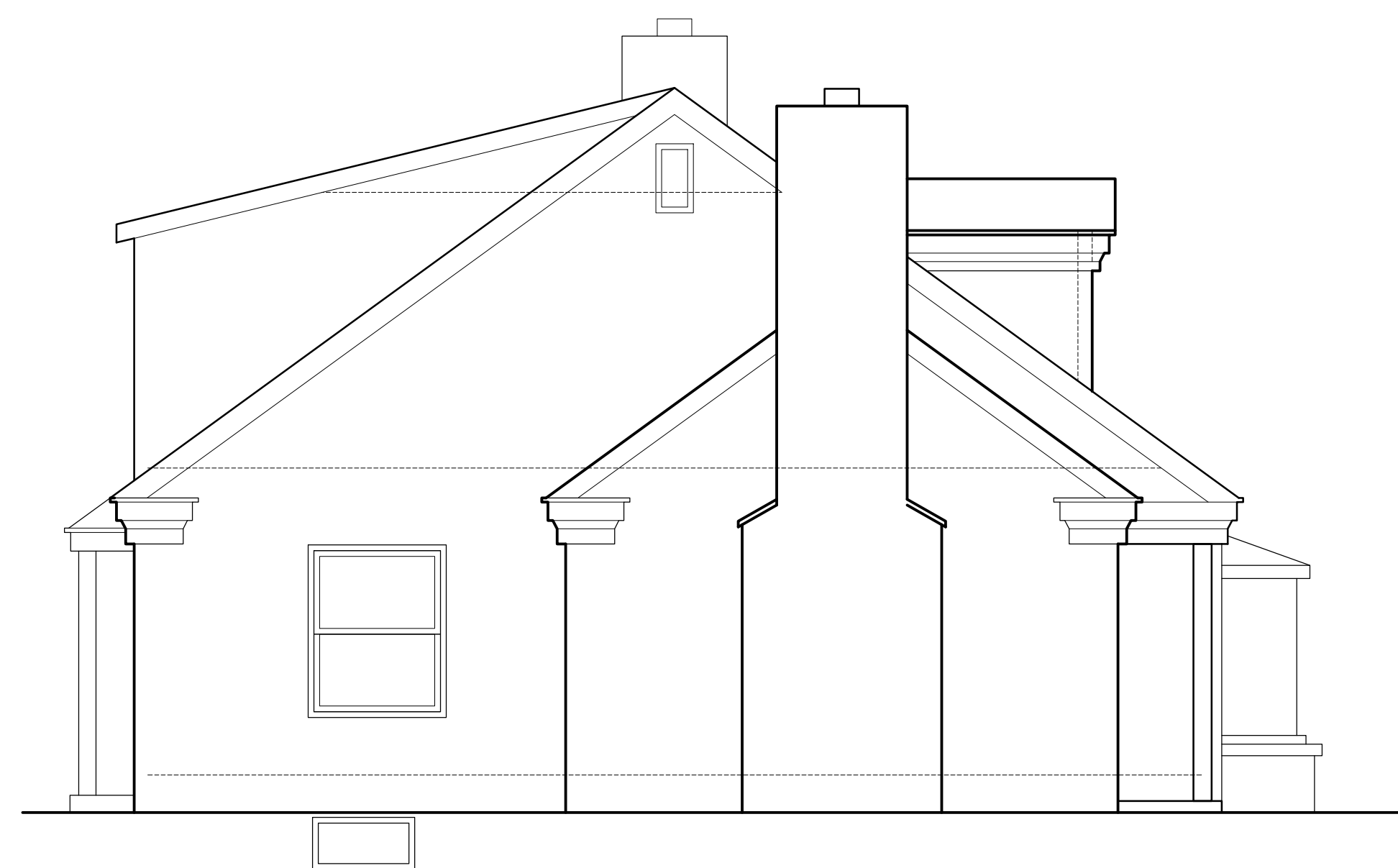
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Fox Point, WI 53217

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1 | EXISTING / DEMO EXTERIOR ELEVATION - NORTH - NO CHANGE
1/4" = 1'

2 | EXISTING / DEMO EXTERIOR ELEVATION - SOUTH
1/4" = 1'

ARCHITECTURAL REVIEW BOARD SET

REVISIONS

BUILDING BOARD
REVIEW SET
SEPTEMBER 26, 2025
EXISTING / DEMO
EXTERIOR ELEVATIONS

D2.1

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ADDITION & REMODEL FOR

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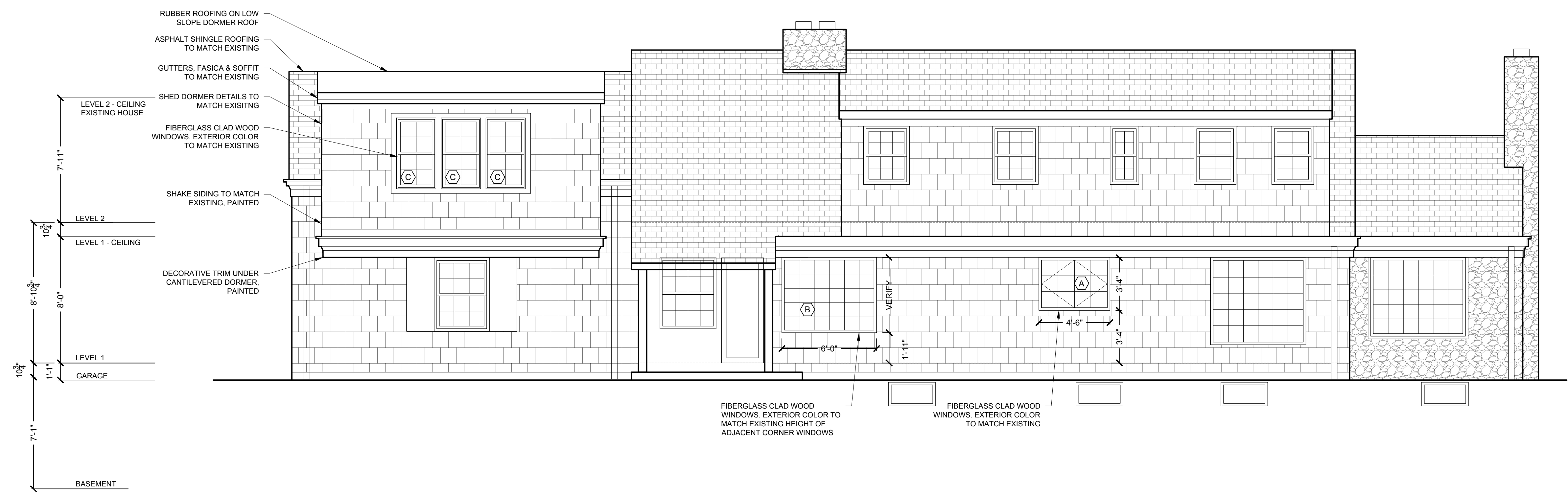
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ADDITION & REMODEL FOR

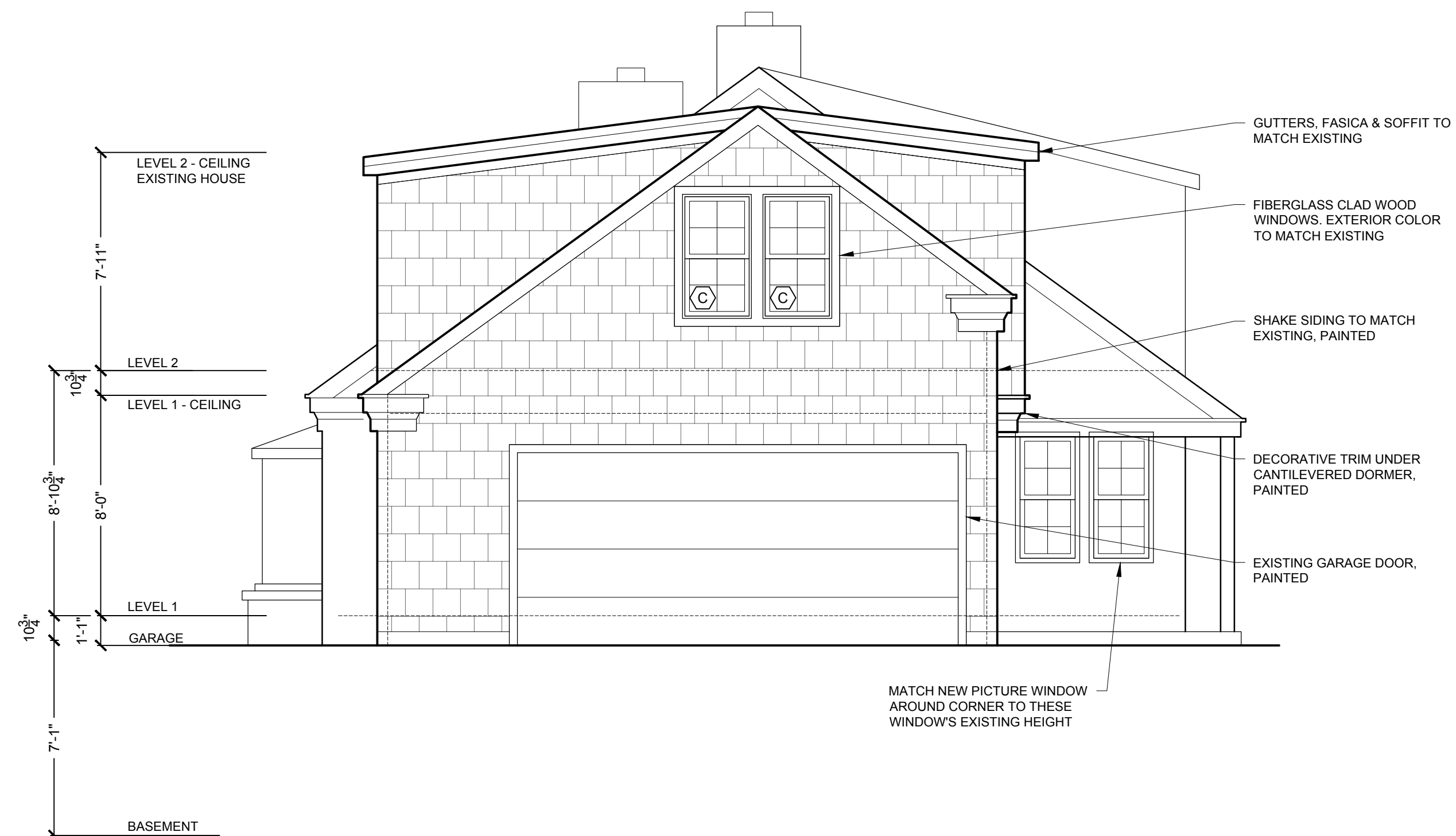
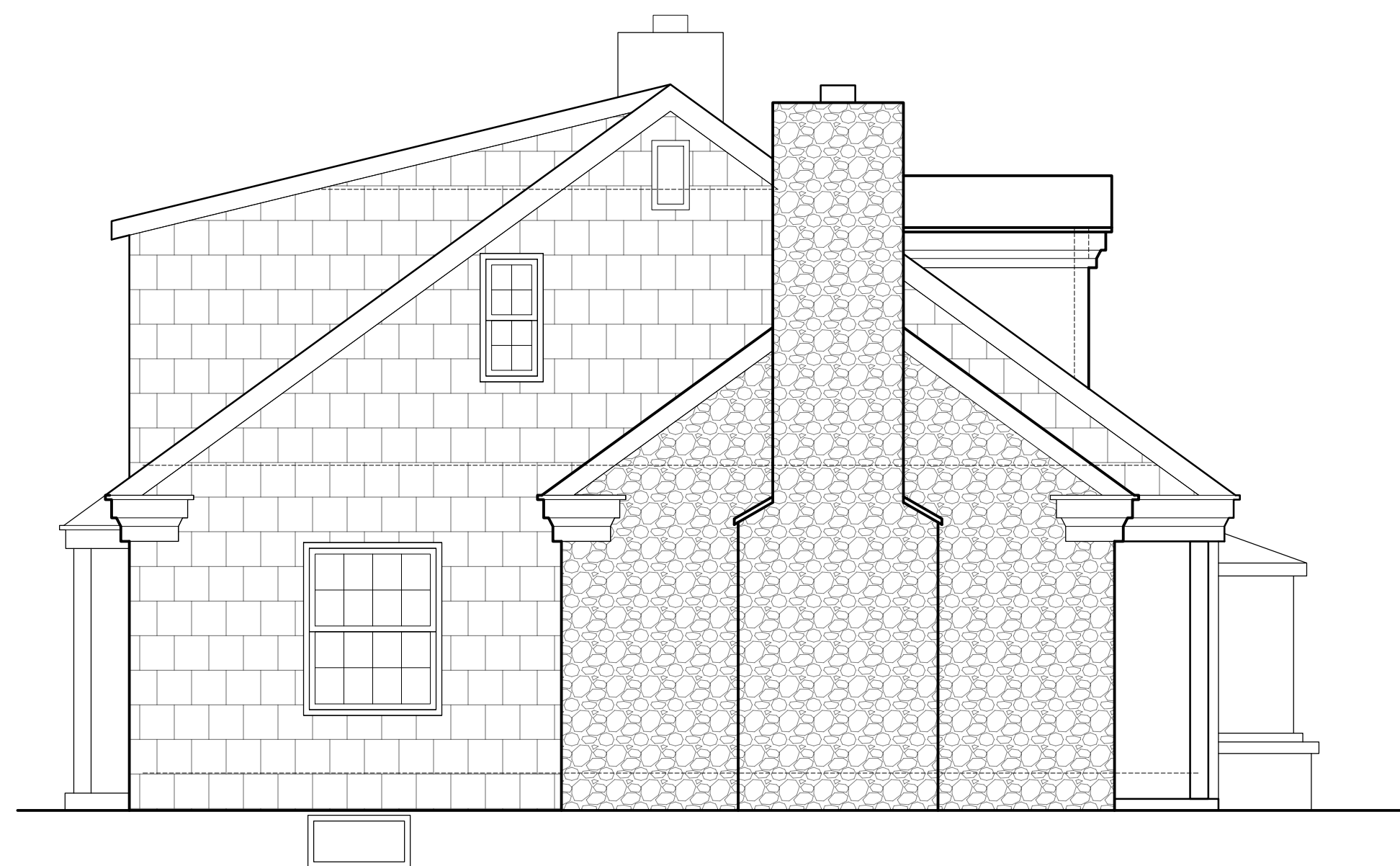
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REVISIONS

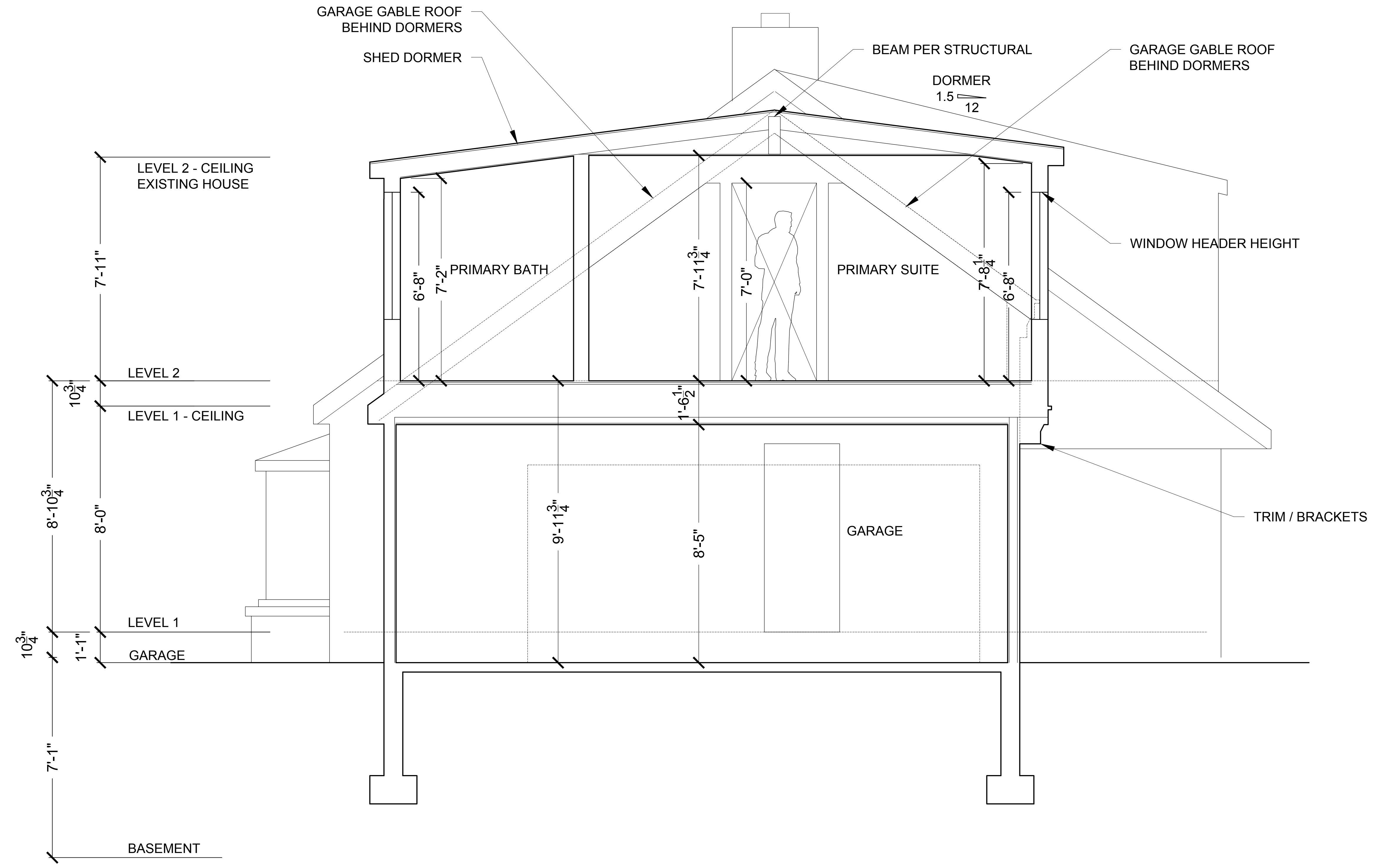
BUILDING BOARD
REVIEW SET

SEPTEMBER 26, 2025

NEW EXTERIOR
ELEVATIONS

A2.1

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ARCHITECTURAL REVIEW BOARD SET