

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

NOTE: THIS MEETING WILL BE HELD
VIRTUALLY ONLY VIA WEBINAR.
NO IN-PERSON ATTENDANCE HELD.

Wednesday
January 14, 2026
5:00 P.M.

Join Zoom Meeting

<https://us02web.zoom.us/j/83877661472>

Meeting ID: 838 7766 1472

Dial by your location: 312.626.6799

AGENDA

1. Roll call of board members and quorum confirmation.
2. Discussion, corrections, and approval of the minutes of the December 10, 2025 Building Board meeting.
3. 6918 N Belmont Ln, resubmittal of proposed addition.
4. 8600 N Manor Ln, proposed picture window.
5. 203 W Suburban Dr, proposed addition.
6. 1572 E Goodrich Ln, proposed alterations to house.
7. 7505 N Beach Dr, resubmittal of proposed single family house.
8. Adjourn.

Posted and Published: January 12, 2026

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, December 10, 2025, at 5:00 pm. Those present included:

Justin Racinowski
William Feldman
Lucille Sells
Pat Algiers
Scott Davis
Michael Rakow

Notice of the meeting was provided to the North Shore Now and to all others as required by State open meeting laws and posted on the official bulletin boards.

MINUTES

Motion was made by William Feldman to approve the minutes of November 12, 2025. Motion was seconded by Pat Algiers. Motion Caried.

AGENDA

1. **6801 N Yates Rd, resubmittal of driveway gate.** It was the consensus of the Building Board to approve as submitted.
2. **1572 E Goodrich Ln, proposed fence.** It was the consensus of the Building Board to approve as submitted.
3. **6918 N Belmont Ln, proposed addition.** It was the consensus of the Building Board to table, need more information.
4. **7230 N Longacre Rd, proposed window change.** It was the consensus of the Building Board to approve as submitted, subject to keep two office windows with raised sill.
5. **7520 N Links Way, proposed sunroom.** It was the consensus of the Building Board to approve as submitted
6. **7505 N Beach Dr, proposed single family house.** It was the consensus of the Building Board to table, update elevations.

ADJOURN

Motion to adjourn Building Board was made by William Feldman. Motion seconded by Lucille Sells. Motion Caried. Building Board adjourned at 7:23 pm.

Respectfully Submitted,



Michael Rakow
Building Inspector
Village of Fox Point



VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B-

| OFFICE USE ONLY | |
|-----------------|--------|
| Issued Date | |
| Zoning | B, 55' |

BUILDING PERMIT

Job Address 6918 BELMONT LN **Building Type:** Residential Commercial

Description of Work
 EXTENDING ROOM ABOVE THE GARAGE

Estimated Cost of Project \$ 10,000

Owner/Occupant

Business Name LAURA KODNER **Contact Name** LAURA KODNER
Address 6918 BELMONT LN **City/State/Zip** FOX POINT WI
Phone (404) 386-0231 **Email** CYPRESS908@GMAIL.COM

****Cautionary Statement required when homeowner is applying for permit****

Contractor

Company Name FRENTI CONTRACTORS **Contact Name** FLORIN CHEREZI
Address 12509 W COLD SPRING RD **City/State/Zip** NEW BERLIN, WI 53151
Phone 773-322-2774 **Email** CARVEDIPE@GMAIL.COM
Dwelling Contractor # 0819 00803 **Dwelling Contractor Qualifier #** 102 001162
 EXP 2026-08-20 EXP 2026-10-14

| Square Footage (Incl. Garage) | | Garage |
|-------------------------------|-----------------------|--------|
| 1 st Floor | 2 nd Floor | |
| | 188.5 | |

| Description | Rate | Amount |
|---|----------------------------------|-----------------------------|
| Project - Per \$1,000 of estimated cost | | |
| Building Board | \$10.00 | |
| Footing early start - \$230.00 one and two family; \$305.00 commercial | \$75.00 | 75.00 |
| Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial | | |
| State Seal | | |
| Razing, Interior Demolition \$925.00 max/bld | \$75.00 | |
| Moving buildings | \$95.00 minimum plus \$0.13/sqft | |
| Fuel tanks - Per 1,000 gallons | \$250.00 plus \$0.13/sqft | |
| Re-inspection | \$25.00 | |
| Work started without permit | \$100.00 | |
| | Double | |
| | Minimum Fee | \$70.00 |
| Payable to: Village of Fox Point | Total Permit Fee | \$ 100.00 175.00 |

Applicant Signature Chuz **Date** 11/18/25

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.000062126

Nov 18, 2025

6918 BELMONT LN

| | |
|--|--------|
| Previous Balance: | .00 |
| LICENSES & PERMITS - BUILDING PERMIT 24-44460 BUILDING PERMIT | 100.00 |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE 24-44440 BUILDING BOARD - FEE | 75.00 |
| <hr/> | |
| Total: | 175.00 |
| <hr/> | |
| CHECK Check No: 1997 | 175.00 |
| Payor: FRENTI CONTRACTORS LLC | |
| Total Applied: | 175.00 |
| <hr/> | |
| Change Tendered: | .00 |
| <hr/> | |

11/18/2025 2:39 PM

Michael Rakow

From: florin chereji <carvedipe@gmail.com>
Sent: Friday, January 2, 2026 10:59 AM
To: Michael Rakow
Subject: board requirements 6918 Belmont Lane, Fox Point
Attachments: 20251014_133136.jpg; 20250924_115321.jpg; 20250924_115259.jpg; 20250924_115337.jpg

Good Morning Mr. Michael and Happy New Year to you

I am getting back to you with additional info for Laura Kodner Residence, at 6918 Belmont Lane required by the board.

The board requested info about the windows and also bigger pictures of the house. We will try to match the existing windows exactly. The windows will be White Exterior Vinyl New Construction double hung.

Please see attached pictures also for the house.

Please let me know if you have other questions

Will you please forward this email to the board . I know you mentioned something about a zoom meeting on January 14, will you please send me info about that . We will be out of the country and I want to make sure everything will work out.

Thanks,
Florin

Frenti Contractors LLC
262 749 2422

LAURA KODNER RESIDENCE
6918 BELMONT LN FOX POINT WI 53217
SCALE 1/4" = 1'

PROPOSED ROOM TO PROTECT GARAGE FROM LEAKS

EXISTING

9'8"

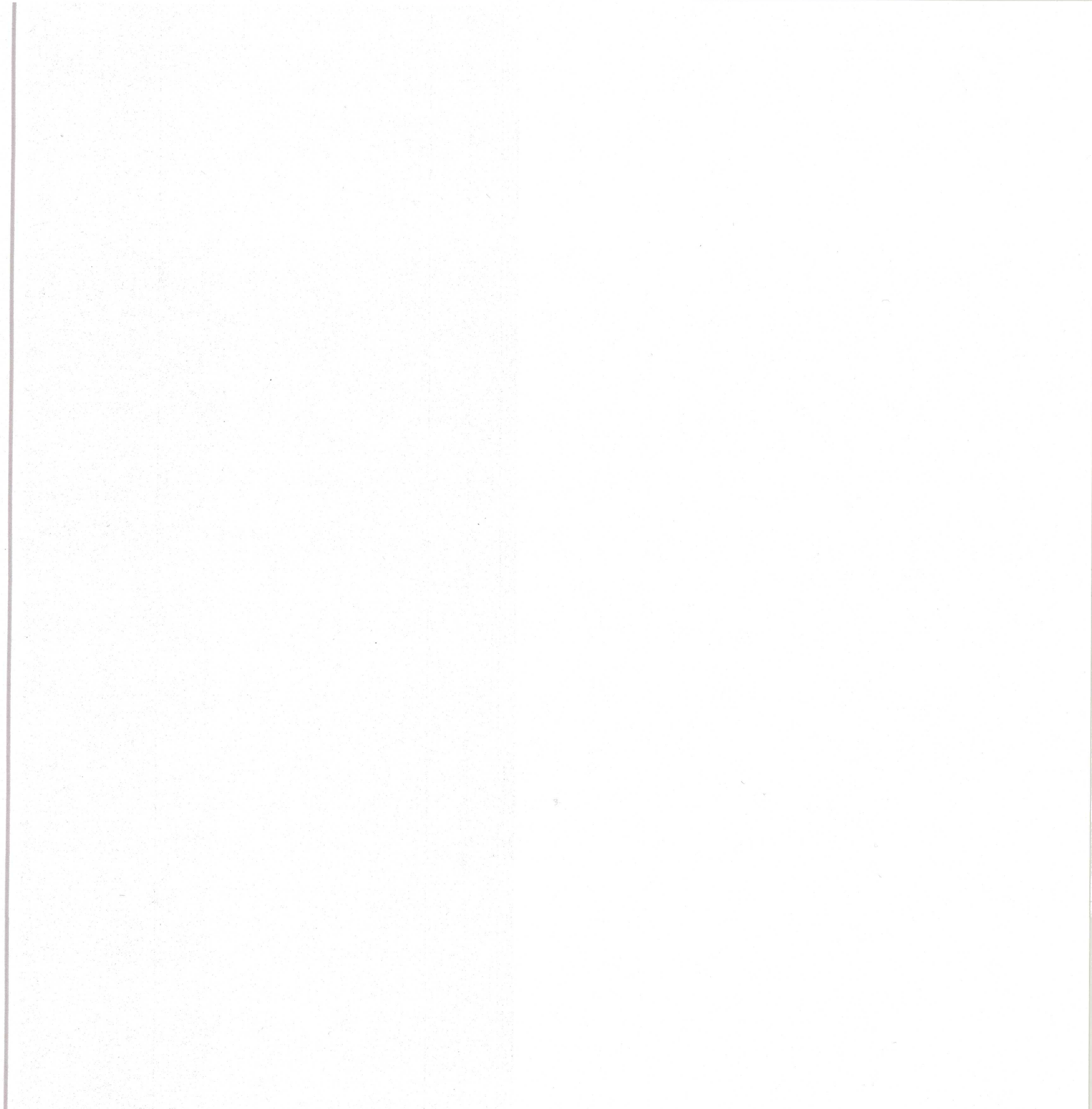
6'6"

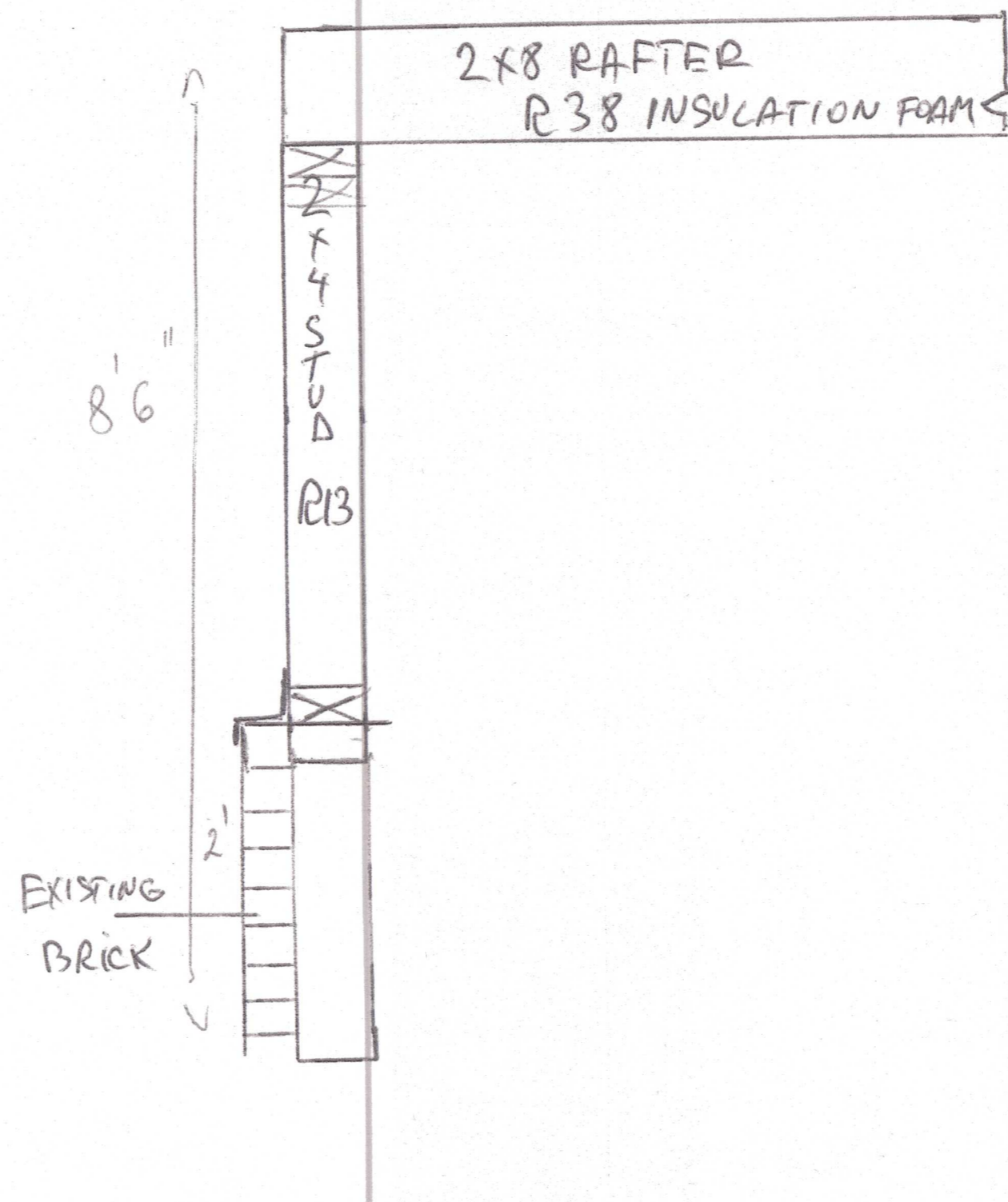
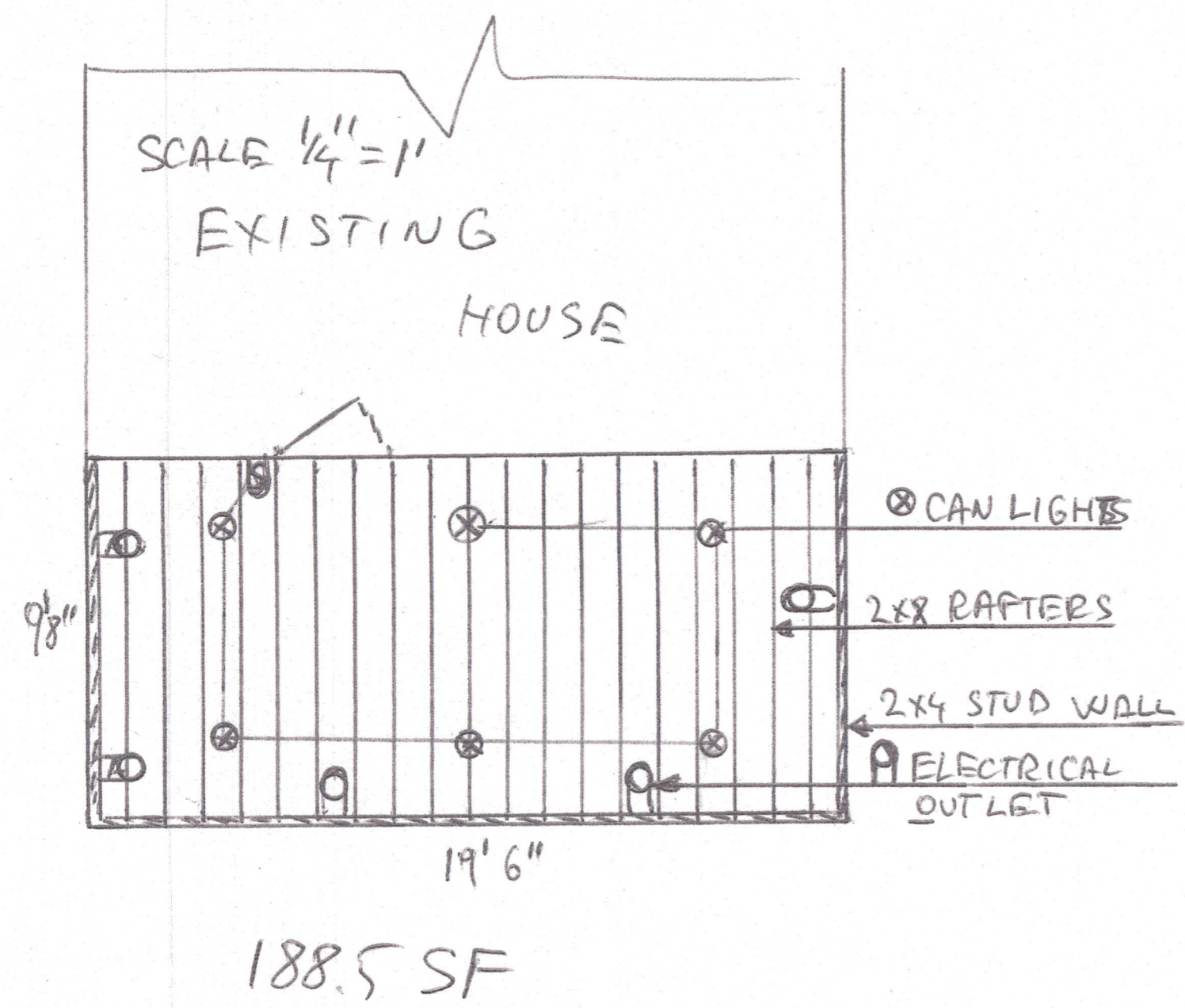
EXISTING





← 20'2" →















VILLAGE OF FOX POINT
 7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- _____

| OFFICE USE ONLY |
|-----------------|
| Issued Date |
| Zoning |

BUILDING PERMIT

| | |
|--|---|
| Job Address 8600 N Manor Lane Fox Point, WI 53217 | Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> |
| Description of Work | |
| Creating opening to insert picture window. | |
| Estimated Cost of Project \$ 5,000.00 | |

| | |
|---|----------------|
| Owner/Occupant Veseth, Danny Clayton & Suzanne | |
| Business Name | Contact Name |
| Address | City/State/Zip |
| Phone | Email |

****Cautionary Statement required when homeowner is applying for permit****

| | |
|------------------------------------|---|
| Contractor | |
| Company Name Siding Unlimited LLC | Contact Name Taylor Traczyk |
| Address 665 Larry Ct | City/State/Zip Waukesha, WI 53186 |
| Phone 262-567-4513 | Email taylor@sidingsunlimited.com |
| Dwelling Contractor # 100400095-DC | Dwelling Contractor Qualifier # 110700494-DCQ |

| Square Footage Under Construction | | | | |
|-----------------------------------|-----------------------|----------|----------|--------|
| 1 st Floor | 2 nd Floor | Basement | Addition | Garage |
| | | | | |

| Description | Rate | Amount |
|--|-------------------------|----------------|
| Project - Per \$1,000 of estimated cost | \$10.00 | 70.00 |
| Building Board | \$75.00 | \$ 75.00 |
| Footing early start - \$230.00 one and two family; \$305.00 commercial | | |
| Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial | | |
| State Seal | \$75.00 | |
| Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus | \$0.13/sqft | |
| Moving buildings \$250.00 plus | \$0.13/sqft | |
| Fuel tanks - Per 1,000 gallons | \$25.00 | |
| Re-inspection | \$100.00 | |
| Work started without permit | Double | |
| | Minimum Fee | \$70.00 |
| | | 70.00 |
| Payable to: Village of Fox Point | Total Permit Fee | \$ |

Applicant Signature _____ **Date** _____

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.000062205

Dec 18, 2025

8600 N MANOR LN

| | |
|--------------------------------------|-------|
| Previous Balance: | .00 |
| LICENSES & PERMITS - BUILDING PERMIT | 70.00 |
| 24-44460 BUILDING PERMIT | |

| | |
|--------|-------|
| Total: | 70.00 |
|--------|-------|

| | | |
|-------|-------------------------|-------|
| CHECK | Check No: 18795 | 70.00 |
| | Payor: SIDING UNLIMITED | |

| | |
|----------------|-------|
| Total Applied: | 70.00 |
|----------------|-------|

| | |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

12/18/2025 11:22 AM

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.000062246

Jan 2, 2026

8600 N MANOR LN

| | |
|--|-------|
| Previous Balance: | .00 |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00 |
| 24-44440 BUILDING BOARD - FEE | |

| | |
|--------|-------|
| Total: | 75.00 |
|--------|-------|

| | | |
|-------|-----------------------------|-------|
| CHECK | Check No: 18822 | 75.00 |
| | Payor: SIDING UNLIMITED LLC | |

| | |
|----------------|-------|
| Total Applied: | 75.00 |
|----------------|-------|

| | |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

01/02/2026 7:53 AM



Siding Unlimited, LLC

665 Larry Court, Waukesha, WI 53186 • 262-567-4513
2018 S Stoughton Rd Madison, WI 53716 • 608-220-0005

Owner's Name: Daniel Clayton Veseth & Suzanne Stack-Veseth Date: 08-19-2025
Job Address: 8600 N Manor Lane Home Phone: _____
City, Zip: Fox Point, WI 53217 Cell Phone: (414) 801-9494
Email: smveseth@gmail.com Work Phone: _____

This Remodeling Contract ("Contract" is between the Owner identified above (Owner," whether one or more) and Siding Unlimited LLC (Contractor" together with Owner, the "Parties")> The Parties agree that all Work (as defined herein) shall be performed by Contractor in Accordance with the provisions of this Contract, consisting of the following "Contract Documents", which are incorporated herein:

EXHIBIT A. Contractor does not provide engineering, investigative, consulting or architectural services. If drawings, specifications, or other documents have been furnished to Contractor, Owner warrants that they are sufficient and conform to applicable law and all building codes, and agrees to indemnify Contractor from and against any liability, damages, loss, claims, demands or citations due to deficits in any such drawings, specifications, or other documents, or any building code violations unless such liability, damages, loss, claims, demands or citations result from a deviation by Contractor from the Contract Documents

We hereby submit specifications, terms, and conditions for:

SIDING

- Install Siding on: House - Garage
- Install: Vinyl - Steel - LP Smartside
- Brand Name: _____
- Style: _____
- Color: _____
- Tear off: Aluminum - Wood - Vinyl - Fibercement
- Insulation: 1/2" - 3/8"
- Install flashing at base, above windows and doors, brick ledges, and at rooflines
- Corner Posts: Vinyl - LP Smartside 4" - 6"
- Count: _____ Color: _____
- Gable Vents: _____
- Shutters: Raised Profile-Louvered - Board & Batten;
- Color: _____
- J-Block Color: _____
- Faucet Block: _____ Dryer Vents: _____

TRIM

- Install Soffit - Fascia on House - Garage
- Soffit: Aluminum - LP Smartside - Color _____
- Fascia: Aluminum - LP Smartside - Color _____
- Window Trim: Aluminum - LP Smartside
- Count: _____ Color: _____
- Door Trim: Aluminum - LP Smartside
- Count: _____ Color: _____
- Garage Door Trim: Aluminum - LP Smartside
- Count: _____ Color: _____

MISC.

- Install Gutters - Location: _____
- Gutter Color: _____ Size: _____
- Downspouts - Location: _____
- Downspout Color: _____ Size: _____
- Gutter Protection: _____
- Dumpster Location: _____
- Clean up and haul away all debris
- Columns: _____
- Fypons, Dentils, Window Mantels, Door Surrounds
- Wood Replacement: Time/materials (not included)
- Homeowner: Please remove items that may fall due to pounding.

WINDOWS

- Install: Vinyl - ~~Wood~~ - Fiberglass
- Brand Name: Pella
- Style: Lifestyle 2 Picture Window
- Install: Pocket - ~~Full Replacement~~
- Cut back Siding and J Channel Color: _____
- Color: Inside: Unfinished Outside: White
- Hardware: NONE
- Inside Trim: Leave Alone - ~~Retrim~~
- Casing Style and Size: 2 1/4 Ranch Stool & Apron
- Casing Species: Pine
- Exterior Trim: IBD at final measure
- Glass Type: Qual Pane - Triple Pane
- Screen: 1/2 - Full
- Blinds or Shades: Color _____
- Grid Pattern: _____

ENTRY DOORS

- Install: Wood - Fiberglass - Steel
- Brand & Model Name: _____
- Entry Door Hinge (From inside): R L
- Hardware: _____
- Color: Inside: _____ Outside: _____
- Inside Casing Style and Size: _____
- Outside Trim Style and Color: _____
- Grid Pattern: _____

PATIO DOORS

- Install: Vinyl - Wood - Fiberglass
- Brand & Model Name: _____
- Patio Door Operation (From outside): _____
- Hardware: _____
- Color: Inside: _____ Outside: _____
- Inside Casing Style and Size: _____
- Outside Trim Style and Color: _____
- Blinds - Shades: _____
- Grid Pattern: _____

STORM DOORS

- Brand & Model Name: _____
- Color: _____
- Hinge: _____
- Glass Options: _____
- Hardware: _____

**Siding Unlimited does not paint or stain Initial _____

Initial
DCV MSSV

We are building in a new window opening with header. Mason will be cutting the opening in the brick exterior. We will be installing all interior batted insulation and rough drywall. Finish drywall work will be done by a third party. We do need to position the king studs for the header based on the heating duct on the wall as that will not move. As long as electricity doesn't run horizontally through the wall we will not need move the electric.

Please let me know when we have the ETA on the window as the customer will need to coordinate with the mason.

• WORK TO BE PERFORMED: Except as specified elsewhere in the Contract, Contractor shall furnish all labor, materials, tools, supplies, equipment, transportation, supervision, and other services as described on EXHIBIT A, which shall be known as "Work".

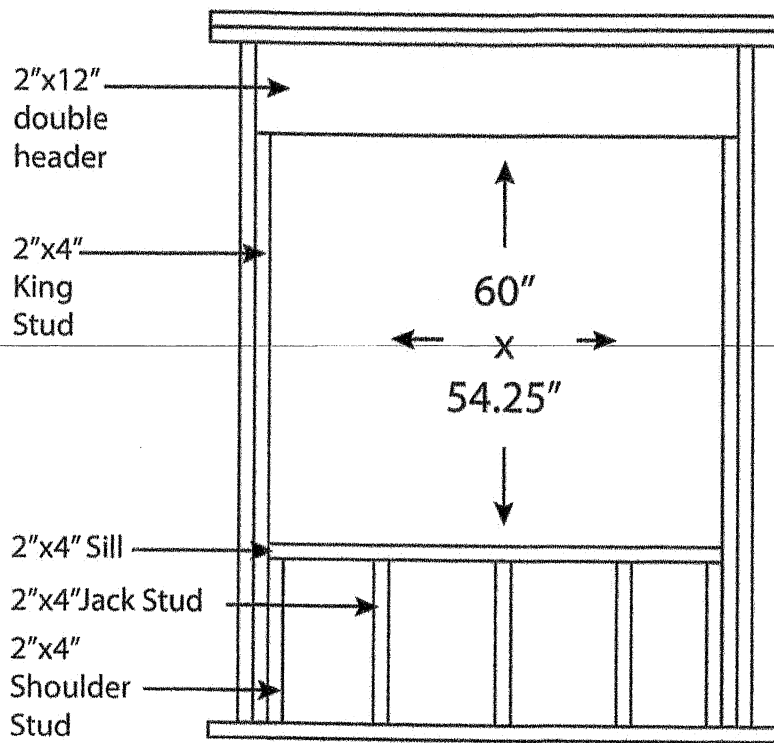
OWNER:
Signature: Danny Clayton Veseth, Mary Suzanne Stack-Veseth
Print Name: Daniel Clayton Veseth & Suzanne Stack-Veseth
Signature: _____
Print Name: Daniel Clayton Veseth & Suzanne Stack-Veseth

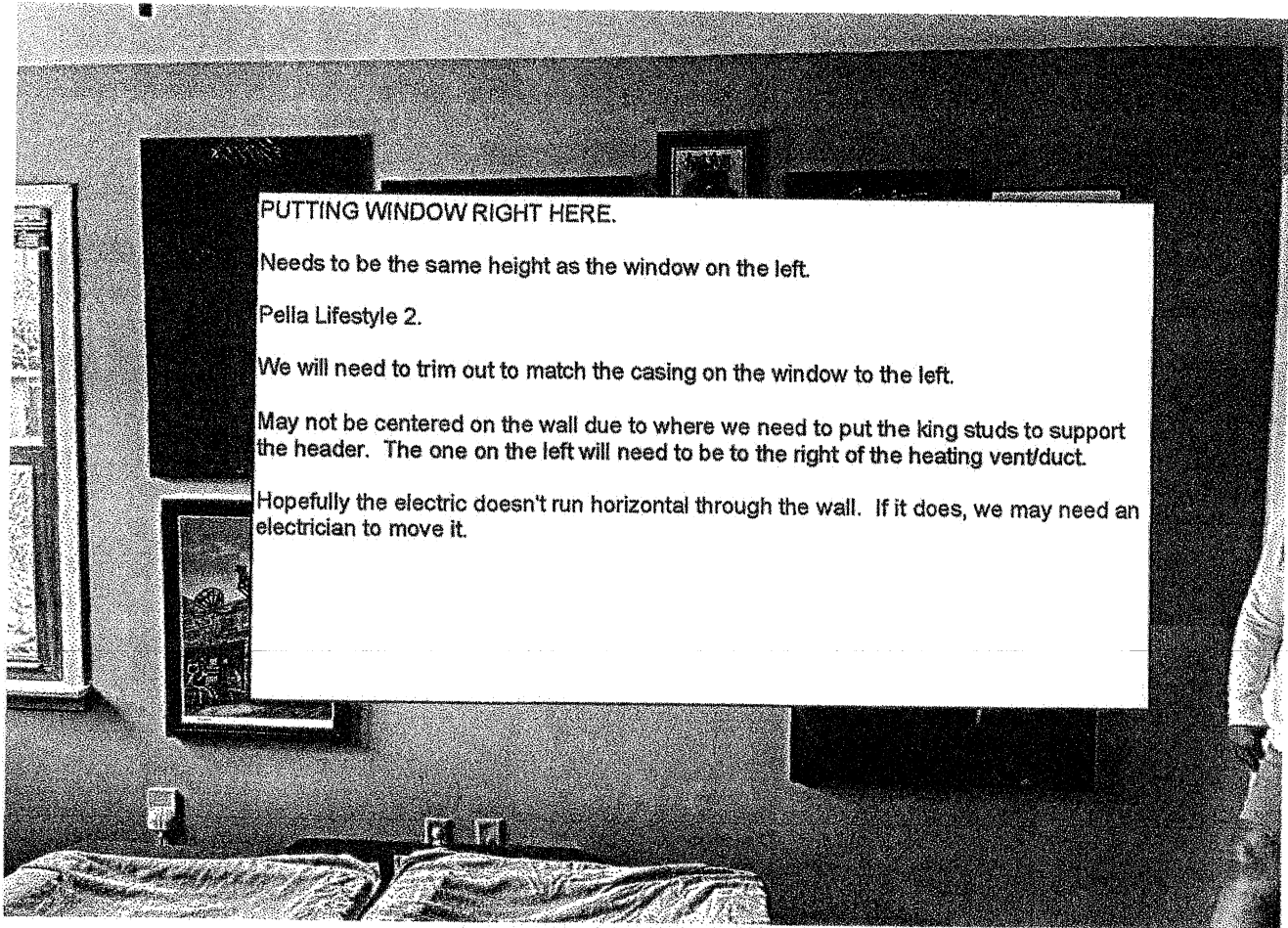
CONTRACTOR: SIDING UNLIMITED LLC
Authorized Signature: [Signature]
Print Name: Dayton Kane
Print Title: Retail Sales Rep

Veseth, Danny Clayton & Suzanne
8600 N Manor Lane
Fox Point, WI 53217

Creating new opening for window with a new header

60 W x 54.25 H





PUTTING WINDOW RIGHT HERE.

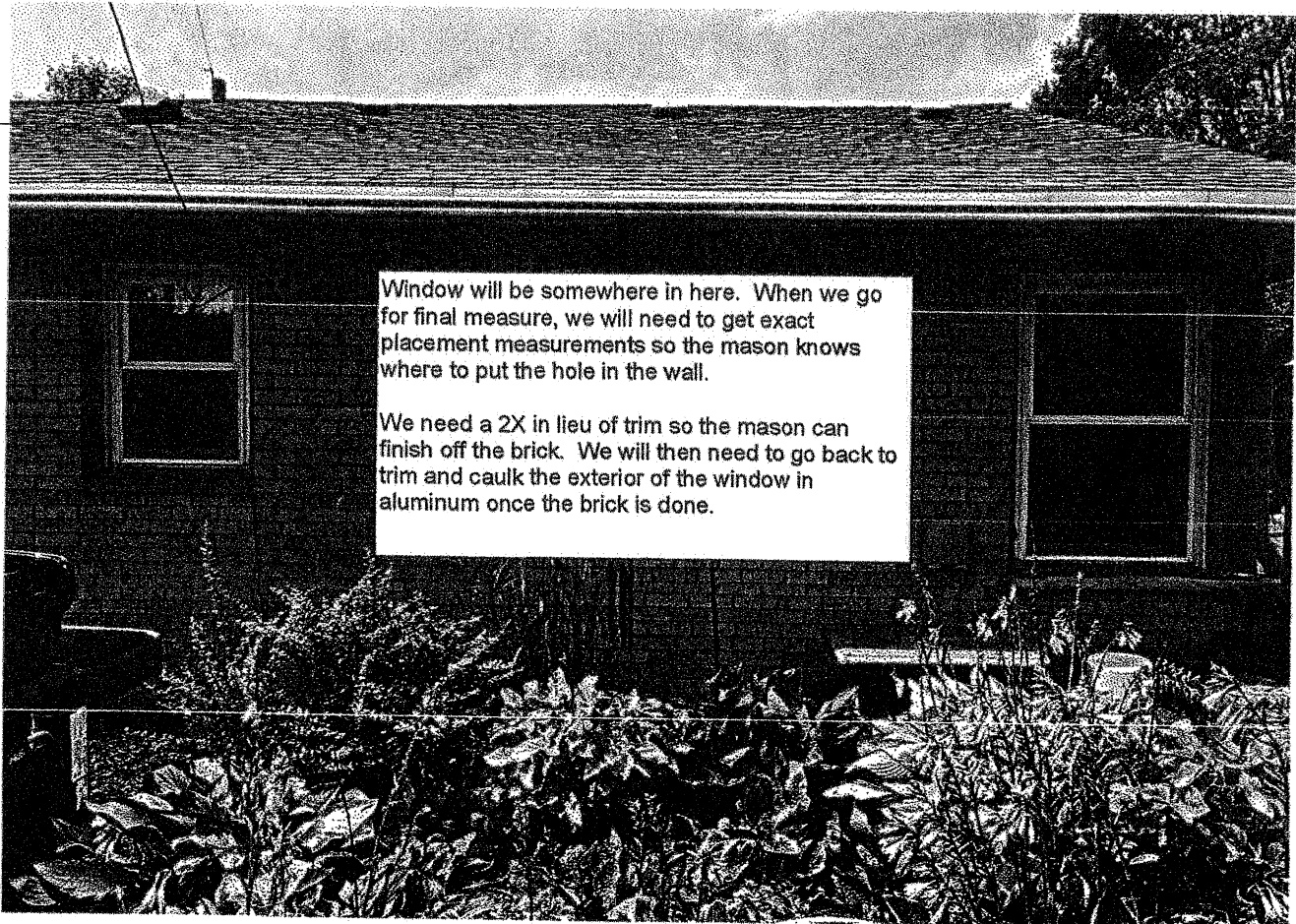
Needs to be the same height as the window on the left.

Pella Lifestyle 2.

We will need to trim out to match the casing on the window to the left.

May not be centered on the wall due to where we need to put the king studs to support the header. The one on the left will need to be to the right of the heating vent/duct.

Hopefully the electric doesn't run horizontal through the wall. If it does, we may need an electrician to move it.



Window will be somewhere in here. When we go for final measure, we will need to get exact placement measurements so the mason knows where to put the hole in the wall.

We need a 2X in lieu of trim so the mason can finish off the brick. We will then need to go back to trim and caulk the exterior of the window in aluminum once the brick is done.



new window will be going

-- this is where the



BARNETT RESIDENCE

203 W SUBURBAN DR | VILLAGE OF FOX POINT | COUNTY OF MILWAUKEE, WI 53217

ARCHITECTURAL REVIEW BOARD SET DECEMBER 31, 2025

STUDIO
EHR

2018 S 1st Street #311
Milwaukee, WI 53207
414.405.3520
josh@studio-ehr.com

CLIENT PROJECT

BARNETT

203 W Suburban Dr
Fox Point, WI 53217

GENERAL CONTRACTOR

QRS GROUP

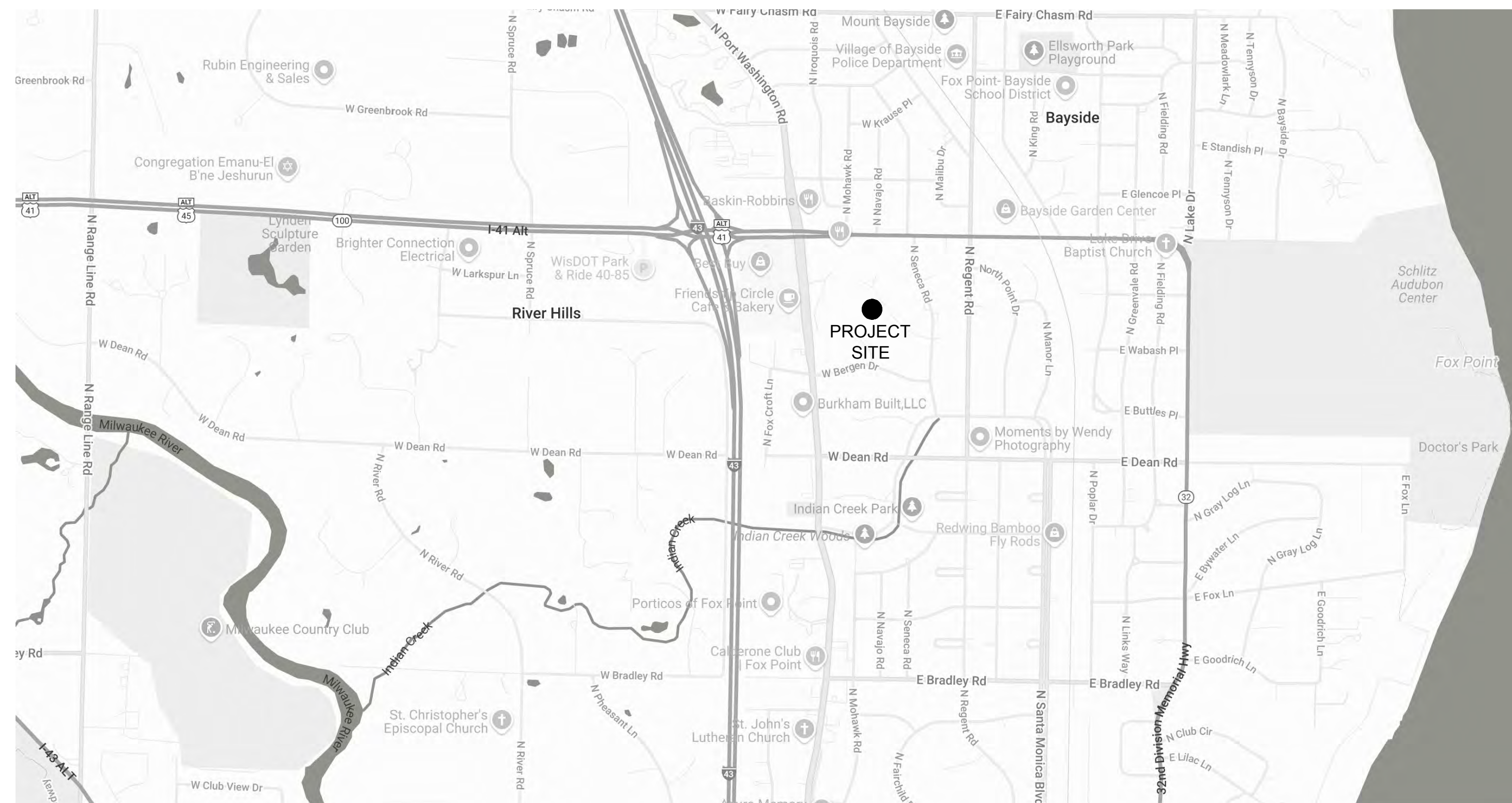
2244 W Bluemound Rd, Suite D
Waukesha, WI 53186

STRUCTURAL ENGINEER

GEN 2 ENGINEERING

W584 Townline Road
Oconomowoc, WI 53066

262.332.6243
adam@gen2eng.com



PROJECT SITE

PROJECT INFORMATION:

ZONING: VILLAGE OF FOX POINT
BUILDING CODE: WISCONSIN UDC
SQUARE FOOTAGE OF ADDITION: 588 SF

OPEN AREA CALCULATION FOR FOX POINT ZONING A-3:

EXISTING DWELLING: 2,346 SF
ADDITION: 588 SF
ACCESSORY STRUCTURE: 0 SF
TOTAL: 2,924 SF
LOT SIZE: 22,500 SF
LOT SIZE W/ RIGHT OF WAY: 25,500 SF
OPEN AREA MINIMUM: 20,000 SF
OPEN AREA OF PROJECT: 22,576 SF
OPEN AREA PERCENTAGE: 88.5%

SHEET INDEX:

- T 1.0 TITLE SHEET
- T 1.1 EXISTING PHOTOS OF EXTERIOR HOUSE
- T 1.2 PROPOSED EXTERIOR RENDERINGS
- T 1.3 PROPOSED EXTERIOR MATERIALS
- C 1.0 SURVEY OF PROPERTY
- A 0.0 SITE PLAN
- D 1.0 DEMO PLAN
- D 2.0 DEMO ELEVATIONS
- A 1.0 FOOTING AND FOUNDATION PLAN
- A 1.1 FLOOR PLAN
- A 1.2 ROOF PLAN
- A 3.0 EXTERIOR ELEVATIONS, SECTIONS

VILLAGE BOARD ARCH REVIEW SET
NOT FOR CONSTRUCTION

REVISIONS

ARB REVIEW SET

DECEMBER 31, 2025

TITLE PAGE

T1.0

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CLIENT PROJECT

BARNETT

203 W Suburban Dr
Fox Point, WI 53217

GENERAL CONTRACTOR

QRS GROUP

2244 W Bluemound Rd, Suite D
Waukesha, WI 53186

STRUCTURAL ENGINEER

GEN 2 ENGINEERING

W584 Townline Road
Oconomowoc, WI 53066

262.332.6243
adam@gen2eng.com

VILLAGE BOARD ARCH REVIEW SET
NOT FOR CONSTRUCTION

REVISIONS

ARB REVIEW SET

DECEMBER 31, 2025

EXISTING PHOTOS

T1.1

© COPYRIGHT 2025, ALL RIGHTS RESERVED



7 | ENTRY AREA WHERE SIDING AND STONE WILL BE REPLACED
NOT TO SCALE



5 | DETAILED VIEW OF MATERIALS AND COLOR
NOT TO SCALE



6 | PERSPECTIVE SHOWING FRONT AND SIDE OF HOUSE
NOT TO SCALE



4 | SIDE OF HOUSE (NORTH ELEVATION)
NOT TO SCALE



3 | SIDE OF HOUSE (SOUTH ELEVATION)
NOT TO SCALE



2 | REAR OF HOUSE (WEST ELEVATION)
NOT TO SCALE



1 | FRONT OF HOUSE (EAST ELEVATION)
NOT TO SCALE

CLIENT PROJECT

BARNETT

203 W Suburban Dr
Fox Point, WI 53217

GENERAL CONTRACTOR

QRS GROUP

2244 W Bluemound Rd, Suite D
Waukesha, WI 53186

STRUCTURAL ENGINEER

GEN 2 ENGINEERING

W584 Townline Road
Oconomowoc, WI 53066

262.332.6043
adam@gen2eng.com



5 | BACK OF HOUSE (SOUTH AND WEST ELEVATION)
NOT TO SCALE



4 | BACK OF HOUSE PERSPECTIVE (SOUTH AND WEST ELEVATION)
NOT TO SCALE



3 | BACK OF HOUSE (WEST ELEVATION)
NOT TO SCALE



2 | FRONT OF HOUSE PERSPECTIVE (EAST ELEVATION)
NOT TO SCALE



1 | FRONT OF HOUSE (EAST ELEVATION)
NOT TO SCALE

VILLAGE BOARD ARCH REVIEW SET
NOT FOR CONSTRUCTION

REVISIONS

ARB REVIEW SET

DECEMBER 31, 2025

PROPOSED RENDERINGS

T1.2

CLIENT PROJECT

BARNETT

203 W Suburban Dr
Fox Point, WI 53117

GENERAL CONTRACTOR

QRS GROUP

2244 W Bluemound Rd, Suite D
Waukesha, WI 53186

STRUCTURAL ENGINEER

GEN 2 ENGINEERING

W584 Townline Road
Oconomowoc, WI 53066

262.332.6243
adam@gen2eng.com

PATTERN OF SIDING SHOWN THAT WILL BE REPLICATED ON ADDITION



WHITE WINDOW PREFINISHED PAINT OR VINYL TO MATCH EXISTING WINDOWS ON EXTERIOR OF HOME

ON ALL NEW SIDED PORTIONS OF HOME AND ADDITION, SIDING TO MATCH EXISTING WITH SAME 12" POUND WOOD OR WOOD LOOK BOARD AND 9" RELIEF SPACING OF WOOD OR WOOD LOOK BOARD/SIDING



AREA OF SIDING TO BE INFILLED WITH PATTERN ABOVE TO MATCH THE REST OF THE EXTERIOR OF THE HOME

STONE IS BEING REUSED FROM A DEMO OF EXISTING FRONT WALL AS MUCH AS POSSIBLE AND BEING PLACED WHERE CALLED OUT ON FRONT OF HOME, AROUND THE EXISTING ENTRY DOOR. IF ANY NEW STONE IS NEEDED, IT SHOULD MATCH EXISTING AS BEST AS POSSIBLE



FRONT AREA OF HOME WHERE STONE IS GOING TO BE ADDED

DIMENSIONAL ARCHITECTURAL SHINGLE IN SIMILAR COLOR TO EXISTING (LIGHT GRAY)



VILLAGE BOARD ARCH REVIEW SET
NOT FOR CONSTRUCTION

REVISIONS

ARB REVIEW SET

DECEMBER 31, 2025

PROJECT MATERIALS

T1.3

JOSH EHR

PROPERTY DESCRIPTION:

LOT 4 IN BLOCK 6 IN FOX POINT SUBURBAN ACRES, BEING A SUBDIVISION OF A PART OF THE NE 1/4 OF SECTION 8, TOWNSHIP 8 NORTH, RANGE 22 EAST, IN THE VILLAGE OF FOX POINT, MILWAUKEE COUNTY, WISCONSIN.

TITLE POLICY NOTE:

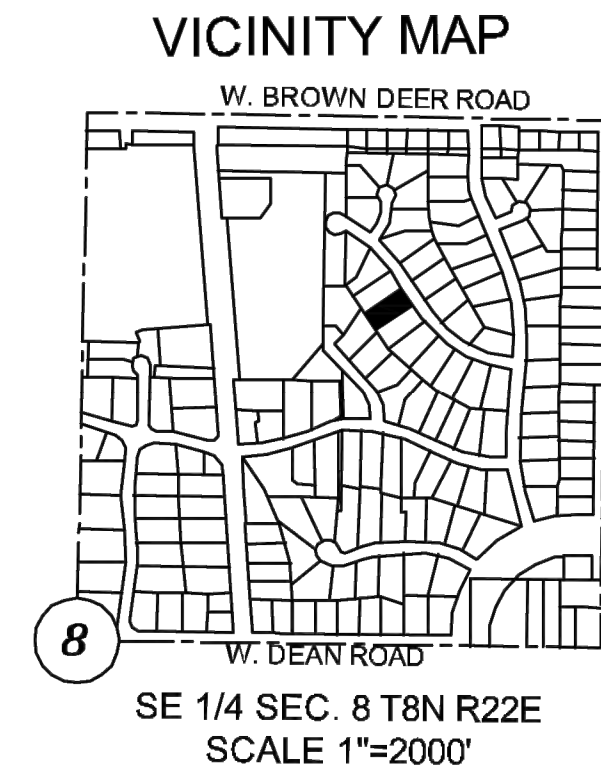
NO TITLE POLICY HAS BEEN PROVIDED, THEREFORE, WITHOUT PERFORMING AN ALTA/NSPS SURVEY THIS PROPERTY SURVEY DOES NOT GUARANTEE THE EXISTENCE, SIZE AND LOCATION OF ANY EASEMENTS, ENCUMBRANCES, RESTRICTIONS OR OTHER FACTS THAT COULD OTHERWISE BE DISCLOSED IN AN ALTA/NSPS SURVEY.

LEGAL NOTICE:

UNAUTHORIZED REVISIONS, MODIFICATIONS, ALTERATIONS, AND OR MAKING CHANGES OF ANY KIND AND THEN USE AND OR DISTRIBUTE THIS MAP WITHOUT EXPLICIT PERMISSION FROM ENDPOINT, OR THE SURVEYOR'S NAME NAMED ON THIS MAP MAY BE A FEDERAL OFFENSE IN VIOLATION OF COPYRIGHT AND OR PLAGIARISM LAWS WHICH MAY RESULT IN LEGAL ACTION.

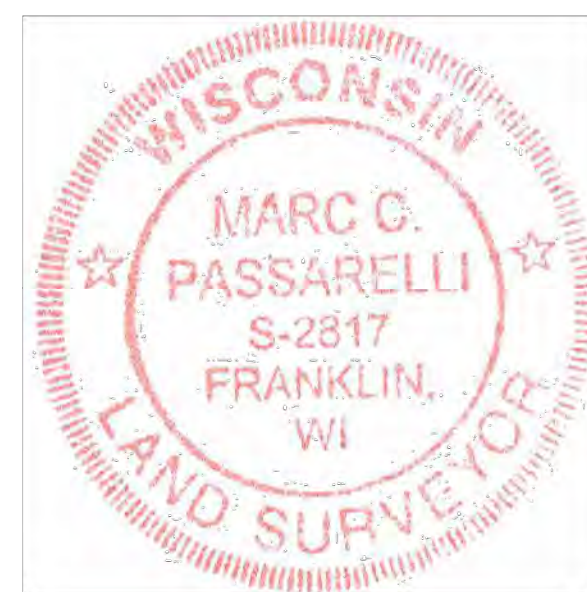
BASIS OF BEARINGS:

BEARINGS ARE BASED OFF OF WISCONSIN STATE PLANE COORDINATE SYSTEM, IN WHICH THE SOUTHWEST RIGHT OF WAY LINE OF W. SUBURBAN DRIVE HAS AN ASSUMED BEARING OF SOUTH 34°00'05" EAST.

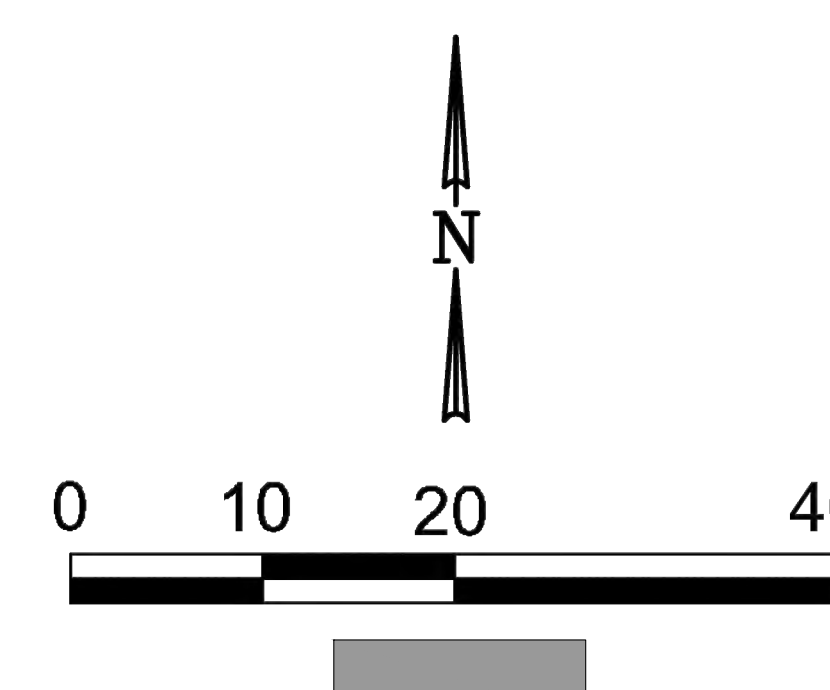
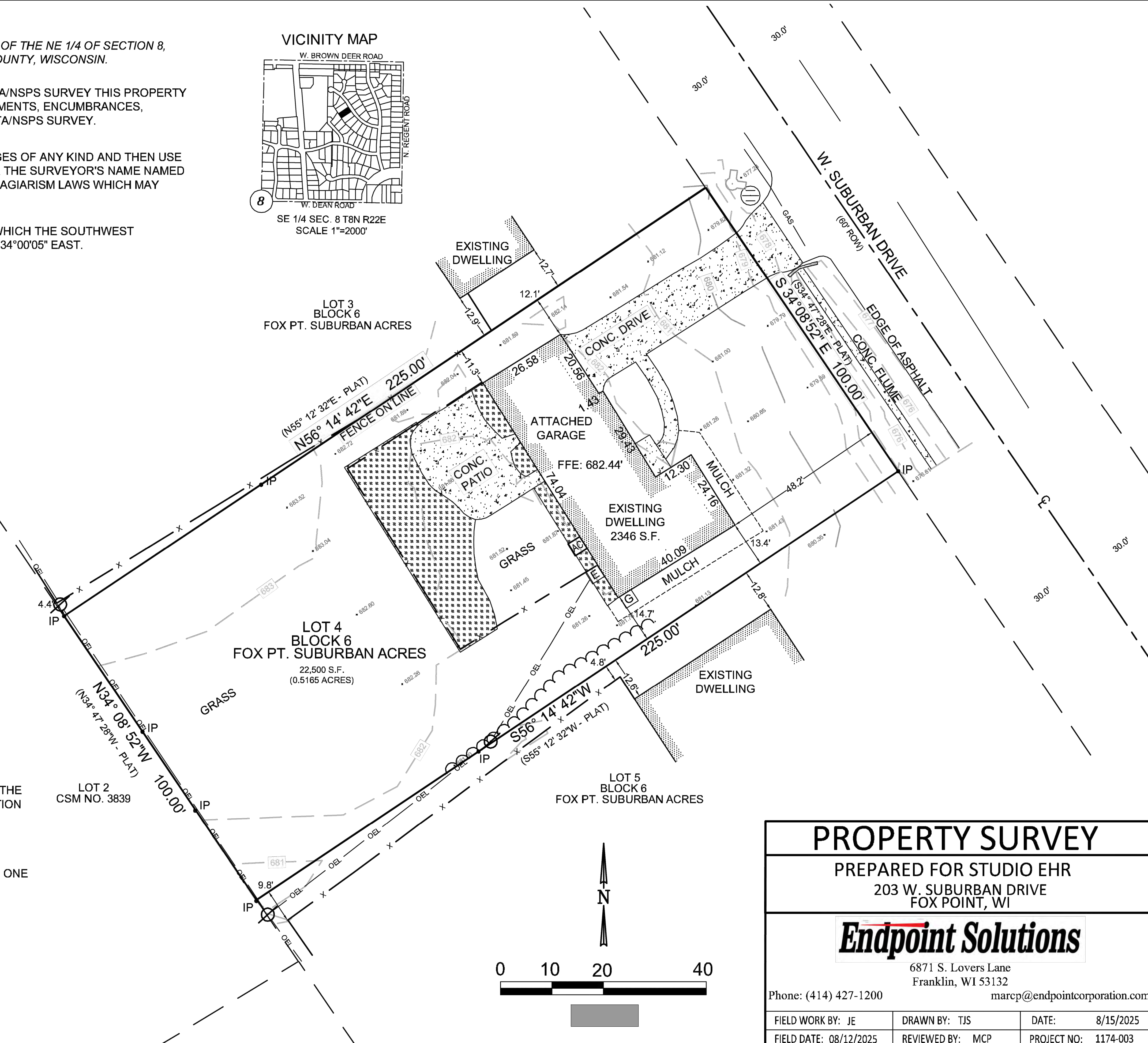


| LEGEND | |
|--------|-----------------------------|
| | PROPERTY LINE |
| | EXISTING BUILDINGS |
| | CONCRETE SURFACE |
| | STONE ROCKS |
| | EDGE OF PAVEMENT / GRASS |
| | RETAINING WALL |
| | GAS MAIN |
| | OVERHEAD ELECTRIC LINE |
| | MINOR CONTOUR (1' INTERVAL) |
| | MAJOR CONTOUR (5' INTERVAL) |
| | EDGE OF LANDSCAPING |
| | FENCE |
| | TREE LINE |
| | UTILITY POLE |
| | GAS METER |
| | ELECTRIC METER |
| | AIR CONDITIONING UNIT |
| | HYDRANT |
| | ROUND INLET |
| | CENTER LINE |
| | 1" IRON PIPE FOUND |

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOW THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THERON, BOUNDARY, FENCES, APPARENT EASEMENTS, ROADWAY AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE, THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.



Marc C. Passarelli
MARC C. PASSARELLI
PROFESSIONAL LAND SURVEYOR S-2817



| | | |
|--|------------------|----------------------|
| PROPERTY SURVEY | | |
| PREPARED FOR STUDIO EHR 203 W. SUBURBAN DRIVE FOX POINT, WI | | |
| Endpoint Solutions 6871 S. Lovers Lane Franklin, WI 53132 Phone: (414) 427-1200 marcp@endpointcorporation.com | | |
| FIELD WORK BY: JE | DRAWN BY: TJS | DATE: 8/15/2025 |
| FIELD DATE: 08/12/2025 | REVIEWED BY: MCP | PROJECT NO: 1174-003 |

CLIENT PROJECT
BARNETT
203 W Suburban Dr
Fox Point, WI 53217

GENERAL CONTRACTOR
QRS GROUP
2244 W Bluemound Rd, Suite D
Waukesha, WI 53196

STRUCTURAL ENGINEER
GEN 2 ENGINEERING
W584 Townline Road
Oconomowoc, WI 53066

262.332.6043
eam@gen2eng.com

VILLAGE BOARD ARCH REVIEW SET
NOT FOR CONSTRUCTION

REVISIONS

ARB REVIEW SET
DECEMBER 31, 2025

CIVIL SURVEY

C1.0
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2244 W Bluemound Rd, Suite D
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STRUCTURAL ENGINEER

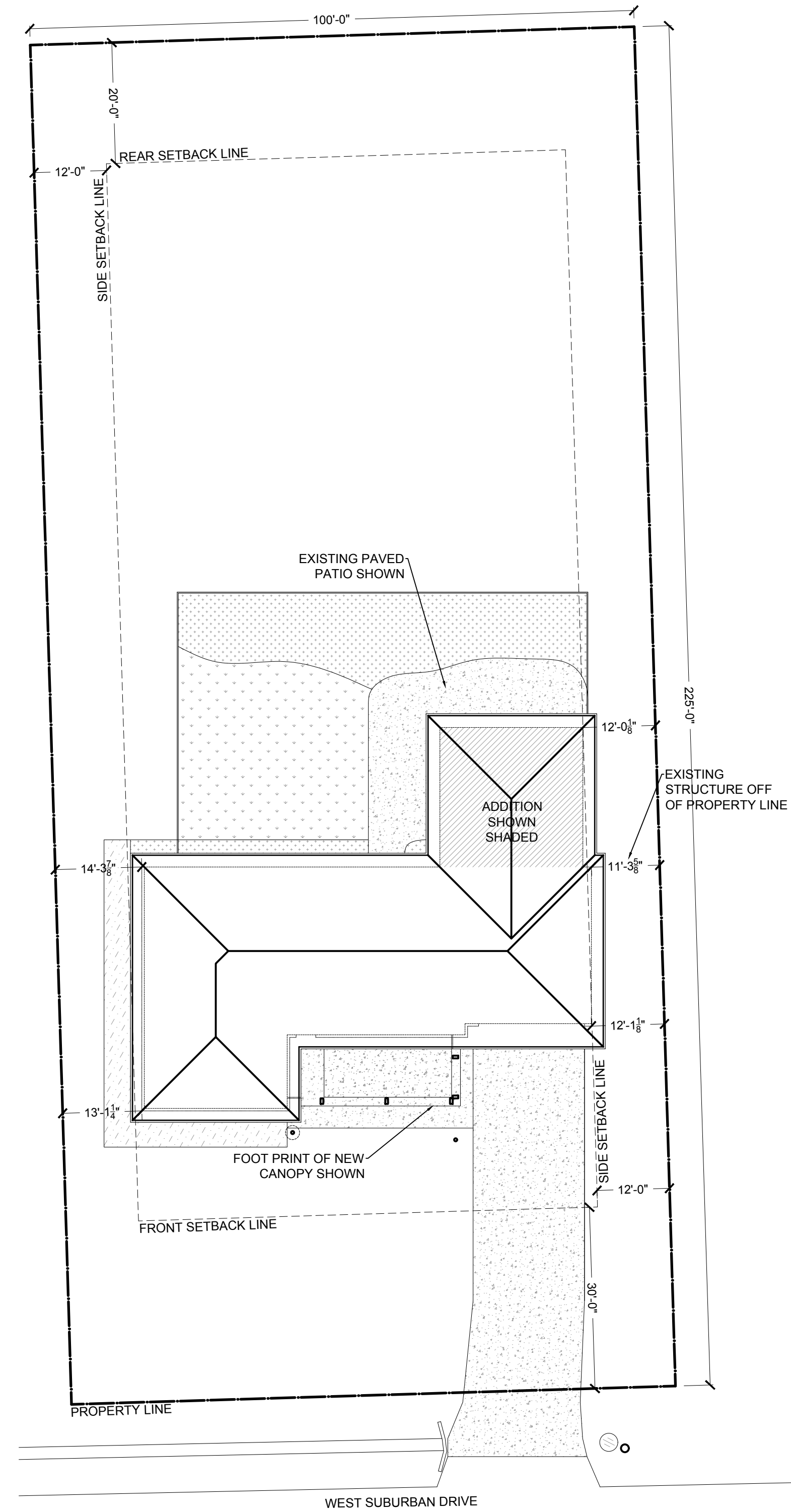
GEN 2 ENGINEERING

W584 Townline Road
Oconomowoc, WI 53066

262.332.6243
adam@gen2eng.com

- SITE PLAN GENERAL NOTES**
- A. SETBACKS SHOWN ARE FROM VILLAGE OR TOWNSHIP ZONING DOCUMENTS SEE T1.0 FOR ZONING USED
 - B. ANY DRAINAGE AND SOIL EROSION CONTROL REQUIRED IS TO BE IMPLEMENTED BY CONTRACTOR AT THE START OF CONSTRUCTION
 - C. CONSTRUCTION SHALL REMAIN WITHIN PROPERTY LINES AND APPROVED EASEMENTS
 - D. CONTRACTOR SHALL VERIFY SETBACKS AND EASEMENT RESTRICTIONS PRIOR TO CONSTRUCTION
 - E. PROTECT LANDSCAPING DESIGNATED TO REMAIN
 - F. REPLACE DAMAGED LANDSCAPING AT CONTRACTOR'S EXPENSE
 - G. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO EXCAVATION
 - H. CALL UTILITY LOCATING SERVICE (E.G., DIGGERS HOTLINE / 811) PRIOR TO ANY EXCAVATION
 - I. COORDINATE UTILITY CONNECTIONS WITH UTILITY PROVIDERS AND GOVERNING AUTHORITIES

- KEYED NOTES**
- 1
 - 2



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REVISIONS

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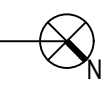
DECEMBER 31, 2025

SITE PLAN

A0.0

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1 | SITE PLAN
1/16" = 1'



CLIENT PROJECT

BARNETT

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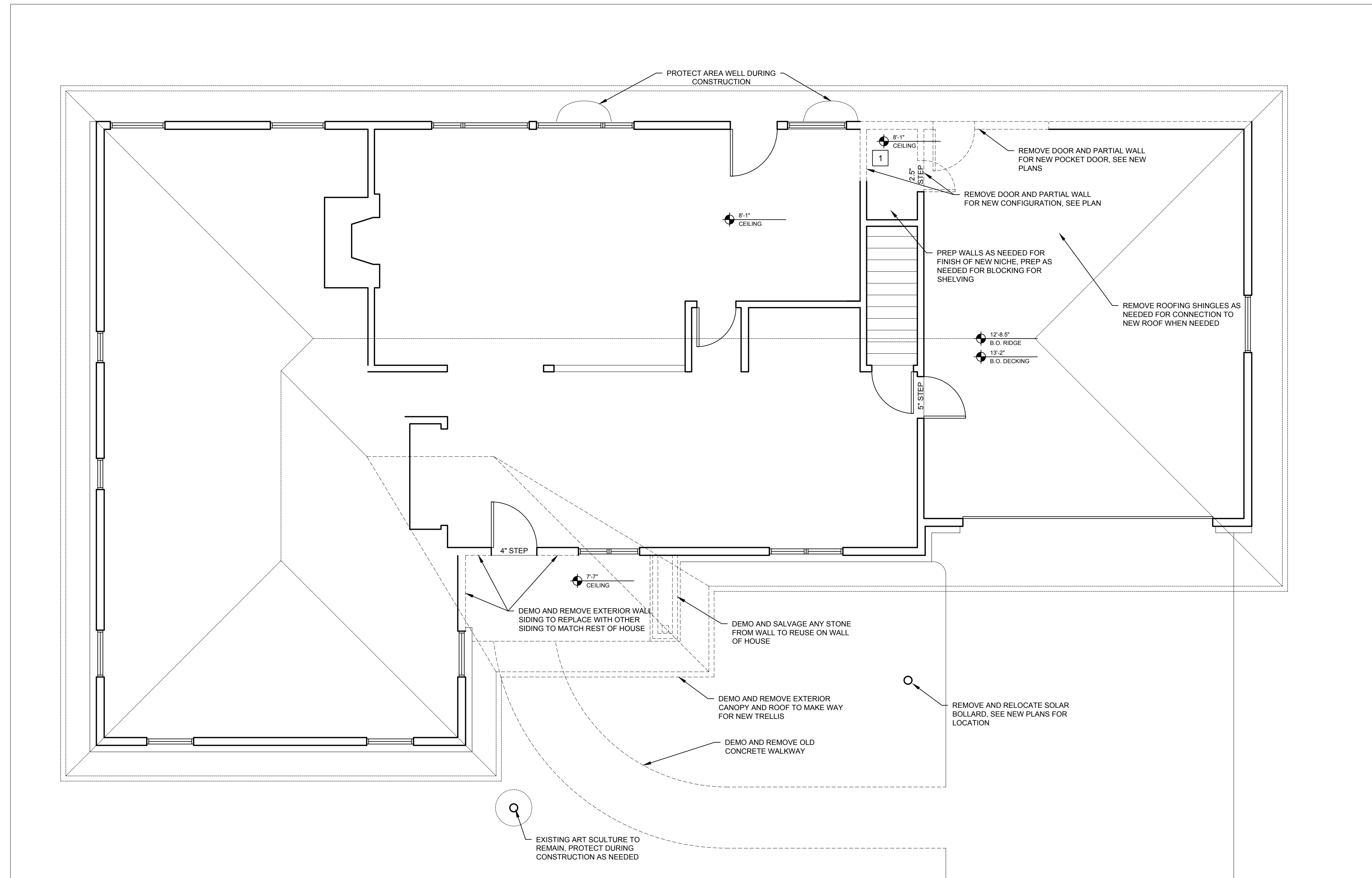
262.332.6243
adam@gen2eng.com

**VILLAGE BOARD ARCH REVIEW SET
NOT FOR CONSTRUCTION**

- DEMO PLAN GENERAL NOTES**
- DRAWINGS ARE BASED ON AVAILABLE INFORMATION; CONCEALED CONDITIONS MAY EXIST
 - CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING EXISTING CONSTRUCTION AFFECTING DEMOLITION
 - DISCONNECT, CAP, AND MAKE SAFE ALL UTILITIES SERVING DEMOLISHED AREAS
 - VERIFY UTILITY SHUTDOWNS WITH OWNER AND UTILITY PROVIDERS PRIOR TO DEMOLITION
 - CONTRACTOR SHALL NOT DISTURB MATERIALS SUSPECTED TO CONTAIN ASBESTOS, LEAD, MOLD, OR OTHER HAZARDOUS MATERIALS. IF HAZARDOUS MATERIALS ARE ENCOUNTERED, STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND ARCHITECT. HAZARDOUS MATERIAL ABATEMENT, IF REQUIRED, SHALL BE PERFORMED BY LICENSED CONTRACTORS UNDER SEPARATE SCOPE UNLESS NOTED OTHERWISE
 - REMOVE FINISHES AND ASSEMBLIES CAREFULLY WHERE SALVAGE OR REUSE IS INDICATED.
 - DO NOT DAMAGE SUBSTRATES INTENDED TO RECEIVE NEW CONSTRUCTION
 - CUT AND REMOVE MATERIALS NEATLY TO FACILITATE NEW WORK.
 - PROVIDE TEMPORARY BARRIERS, DUST CONTROL, AND SAFETY MEASURES AS REQUIRED.
 - MAINTAIN SAFE EGRESS AND ACCESS FOR OCCUPANTS AND WORKERS AT ALL TIMES.

- KEYED NOTES**
- PREP FOR NEW FLOORING
 -

- DRAWING KEY**
- DEMO
 - EXISTING WALL / NO WORK
 - NEW DOOR, REMOVE EXISTING
 - EXISTING DOOR TO REMAIN
 - CENTER LINE
 - EXTERIOR ELEVATION TAG
 - INTERIOR ELEVATION TAG
 - SECTION TAG
 - DOOR TAG
 - CEILING TAG
 - WALL ASSEMBLY
 - WINDOW TAG
 - FLOOR MATERIAL CHANGE



1 | EXISTING / DEMO FLOOR PLAN
1/4" = 1'

REVISIONS

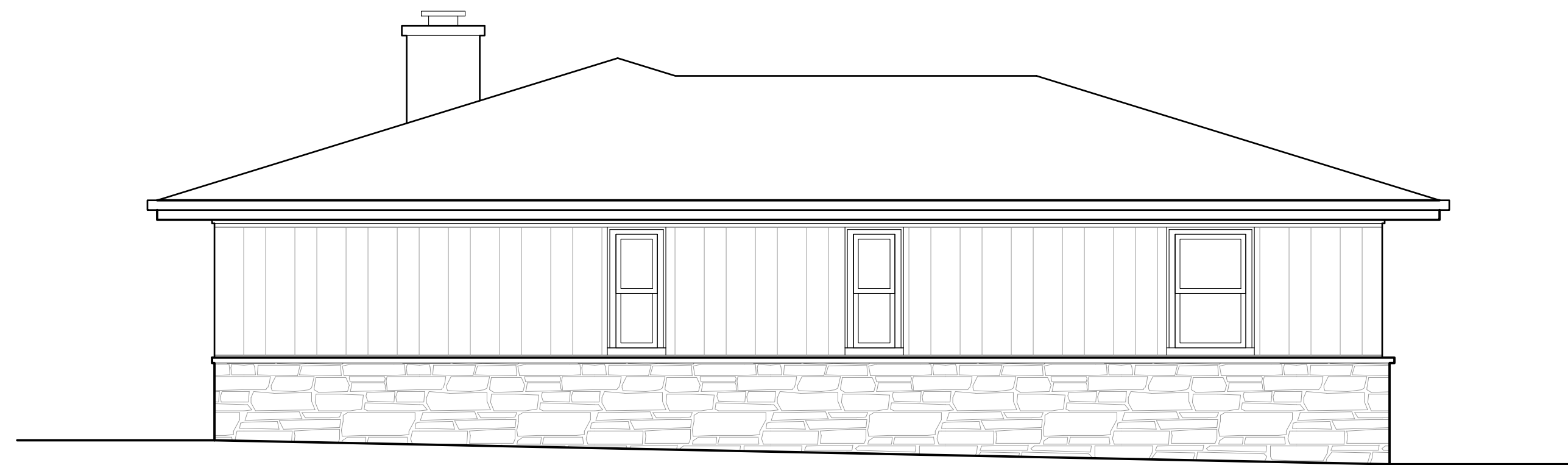
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DECEMBER 31, 2025

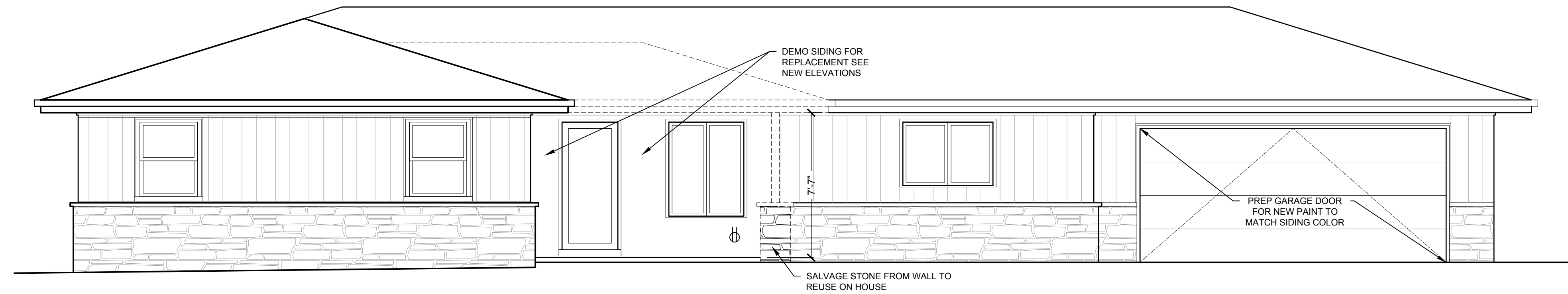
DEMO PLAN

D1.0

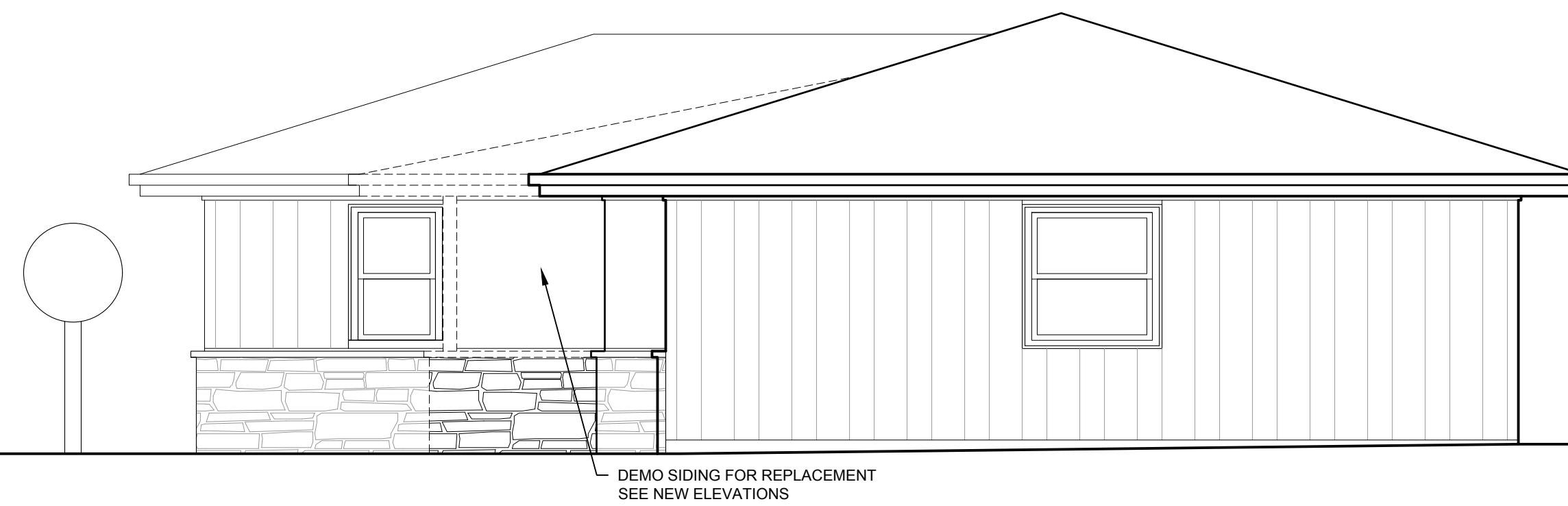
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4 | EXISTING / DEMO ELEVATION (SOUTH)
1/4" = 1'



3 | EXISTING / DEMO ELEVATION (EAST)
1/4" = 1'



2 | EXISTING / DEMO ELEVATION (NORTH)
1/4" = 1'



1 | EXISTING / DEMO ELEVATION (WEST)
1/4" = 1'

- DEMO PLAN GENERAL NOTES**
- A. DRAWINGS ARE BASED ON AVAILABLE INFORMATION; CONCEALED CONDITIONS MAY EXIST
 - B. CONTRACTOR IS RESPONSIBLE FOR INVESTIGATING EXISTING CONSTRUCTION AFFECTING DEMOLITION
 - C. DISCONNECT, CAP, AND MAKE SAFE ALL UTILITIES SERVING DEMOLISHED AREA
 - D. VERIFY UTILITY SHUTDOWNS WITH OWNER AND UTILITY PROVIDERS PRIOR TO DEMOLITION
 - E. CONTRACTOR SHALL NOT DISTURB MATERIALS SUSPECTED TO CONTAIN ASBESTOS, LEAD, MOLD, OR OTHER HAZARDOUS MATERIALS. IF HAZARDOUS MATERIALS ARE ENCOUNTERED, STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND ARCHITECT. HAZARDOUS MATERIAL ABATEMENT, IF REQUIRED, SHALL BE PERFORMED BY LICENSED CONTRACTORS UNDER SEPARATE SCOPE UNLESS NOTED OTHERWISE
 - F. REMOVE FINISHES AND ASSEMBLIES CAREFULLY WHERE SALVAGE OR REUSE IS INDICATED.
 - G. DO NOT DAMAGE SUBSTRATES INTENDED TO RECEIVE NEW CONSTRUCTION
 - H. CUT AND REMOVE MATERIALS NEATLY TO FACILITATE NEW WORK.
 - I. PROVIDE TEMPORARY BARRIERS, DUST CONTROL, AND SAFETY MEASURES AS REQUIRED.
 - J. MAINTAIN SAFE EGRESS AND ACCESS FOR OCCUPANTS AND WORKERS AT ALL TIMES.

- KEYED NOTES**
- 1 | PREP FOR NEW FLOORING
 - 2 |

- DRAWING KEY**
- DEMO
 - EXISTING WALL / NO WORK
 - NEW DOOR, REMOVE EXISTING
 - EXISTING DOOR TO REMAIN
 - CENTER LINE
 - EXTERIOR ELEVATION TAG
 - INTERIOR ELEVATION TAG
 - SECTION TAG
 - DOOR TAG
 - CEILING TAG
 - WALL ASSEMBLY
 - WINDOW TAG
 - FLOOR MATERIAL CHANGE

PROJECT GENERAL NOTES

A. THESE GENERAL NOTES APPLY TO THE CONSTRUCTION DOCUMENTS AND SHALL GOVERN UNLESS NOTED OTHERWISE BY GENERAL NOTES OR KEYNOTES ON SPECIFIC SHEETS.

B. NOTIFY DESIGNER PROMPTLY IF INFORMATION SHOWN IN ONE CONSTRUCTION DOCUMENT CONFLICTS WITH INFORMATION SHOWN ON ANOTHER.

C. NOTIFY DESIGNER PROMPTLY IF CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH THE CURRENT APPLICABLE CODES AND REGULATIONS.

D. COORDINATE EXACT LOCATIONS OF LIGHT FIXTURES, SPEAKERS, SMOKE DETECTORS, ACCESS PANELS, HVAC DUCTS, DIFFUSERS, REGISTERS, FIRE ALARMS, AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER TRADES. NOTIFY ARCHITECT PROMPTLY IF ANY LOCATIONS CONFLICT WITH ARCHITECTURAL REFLECTED CEILING PLANS.

E. HVAC: COORDINATE POSITION OF GRILLES, DUCTS AND / OR CASSETTES WITH DESIGNER FOR PLACEMENT IN RELATION TO LIGHTING, WALL CLADDING, FURNITURE ARRANGEMENTS, CABINETRY, ETC.

F. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE FINISH FACE OF WALLS, CABINETRY AND TRIM UNLESS NOTED OTHERWISE. WHERE A CLEAR DIMENSION OR OPENING IS REQUIRED OR NOTED, MEASURE DIMENSION TO FACE OF PARTITION FINISH.

G. REFER TO PLANS, SECTIONS AND ELEVATIONS FOR PLACEMENT AND ALIGNMENTS WITH EXISTING AND NEW DESIGN ELEMENTS.

H. PROVIDE WATER RESISTANT TYPE GYPSUM BOARD AT AREAS THAT ARE SCHEDULED TO RECEIVE CERAMIC TILE FINISH AND AT AREAS SO REQUIRED BY CODE TO RECEIVE IT.

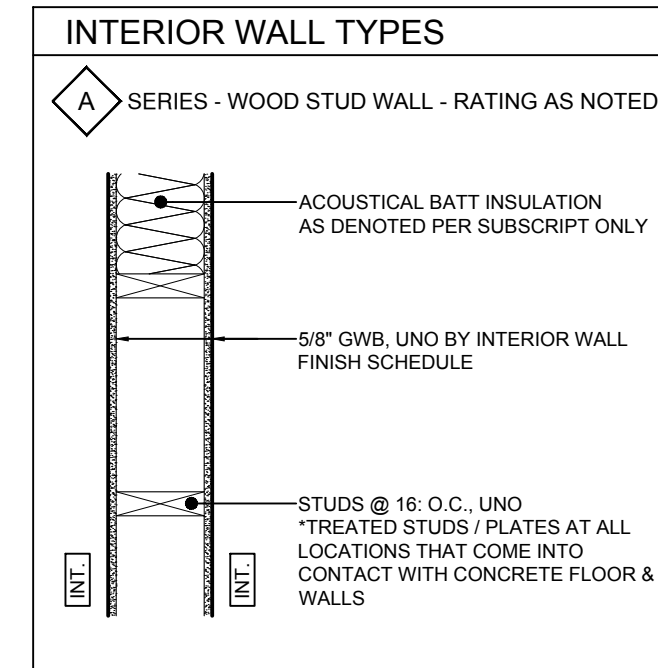
I. PROVIDE TILE BACKER BOARD AT WET AREAS THAT ARE SCHEDULED IN ROOM FINISH SCHEDULE TO RECEIVE CERAMIC TILE FINISH.

J. INSTALL BLOCKING OR BACKER MATERIAL FOR ATTACHMENT/MOUNTING OF WALL HUNG ITEMS OR EQUIPMENT DESCRIBED IN THE DOCUMENTS.

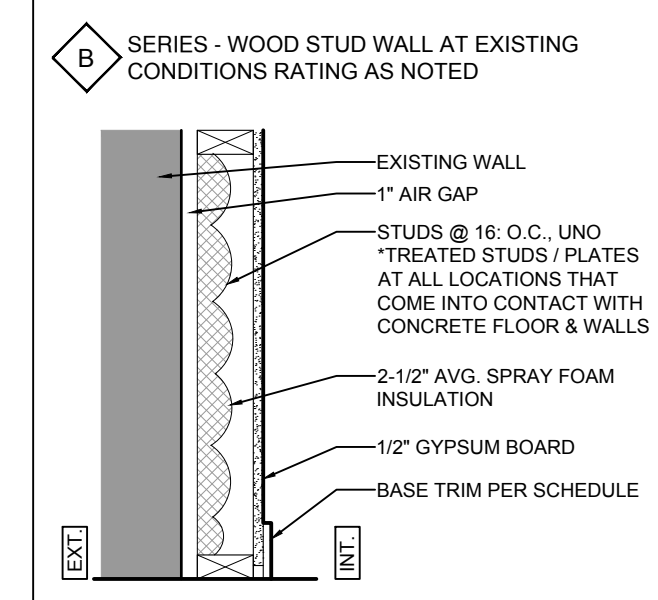
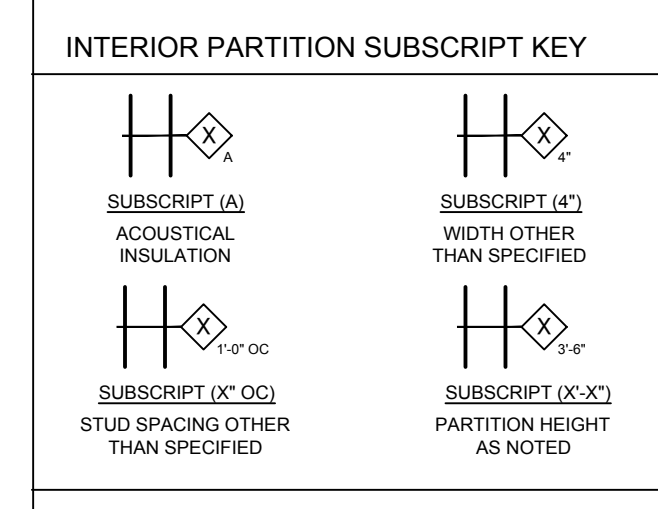
K. PROVIDE ACOUSTIC INSULATION BETWEEN ALL BEDROOMS & BATHROOMS. ALL ELEMENTS OF ACOUSTIC RATED PARTITIONS SHALL EXTEND TO ROOF OR FLOOR DECK ABOVE AND ALL JOINTS AND PENETRATIONS OF ACOUSTIC RATED PARTITIONS SHALL BE FILLED AND SEALED.

L. ALL ROOF & WALL PENETRATIONS & VENTS, SUCH AS STACK VENT PIPES, DRYER VENT TO MATCH THE FINISH COLOR OF ADJACENT SURFACE. VERIFY COLOR WITH ARCHITECT.

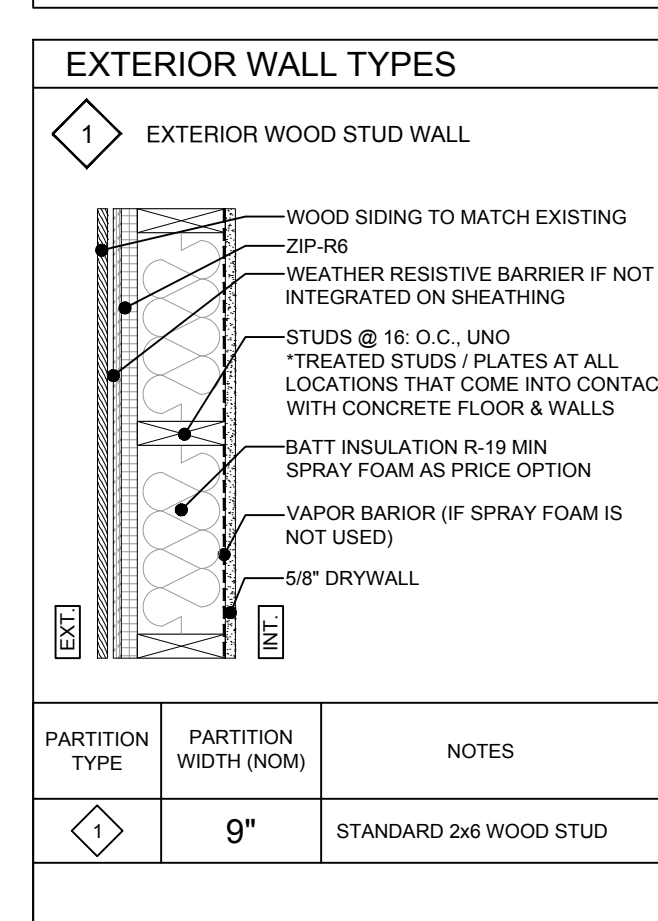
M. PENETRATIONS IN RATED PARTITIONS AND CONNECTIONS OF THE PARTITIONS TO OTHER PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED DETAILS AND IN COMPLIANCE WITH APPLICABLE TESTING AGENCY REQUIREMENTS.



| PARTITION TYPE | PARTITION WIDTH | NOTES |
|----------------|-----------------|---|
| A1 | 4-1/2" | STANDARD 2x4 WOOD STUD INTERIOR PARTITION |
| A2 | 6-1/2" | STANDARD 2x6 WOOD STUD INTERIOR PARTITION |

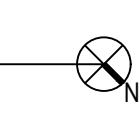
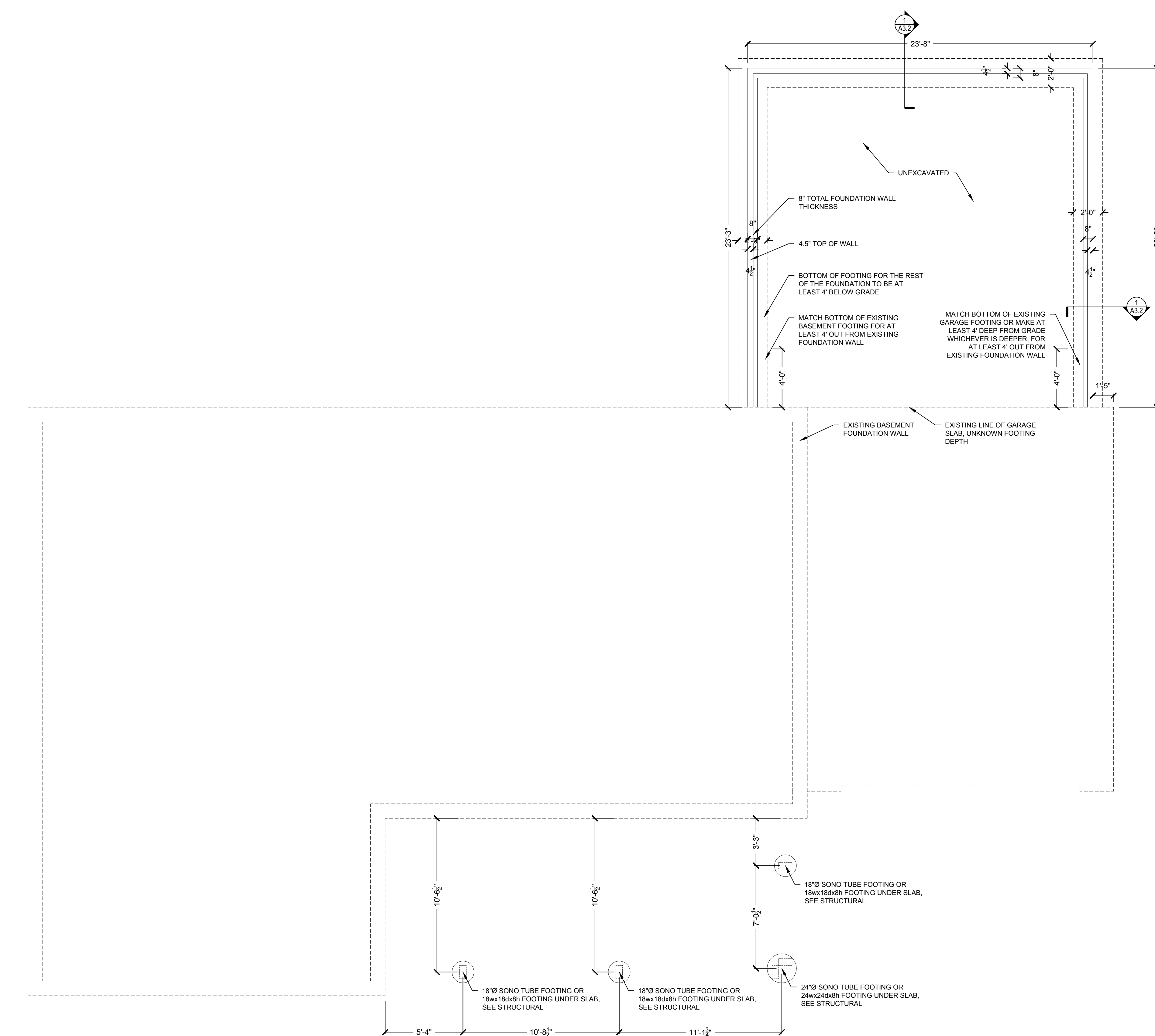
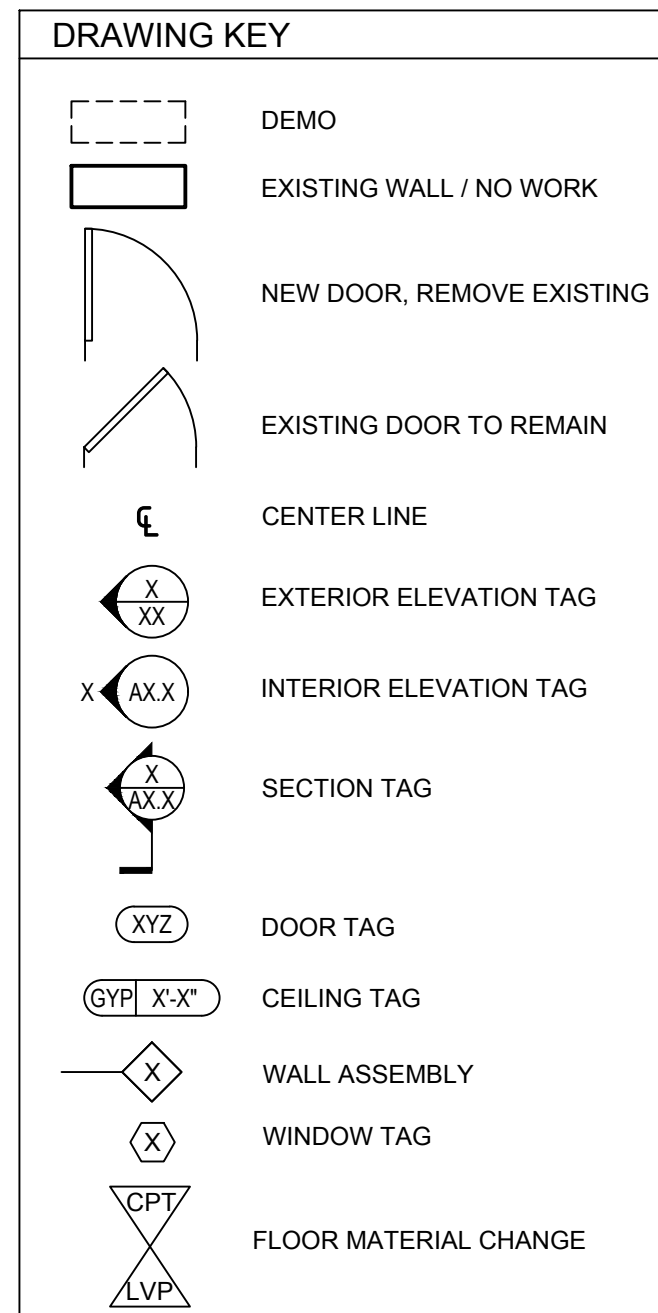


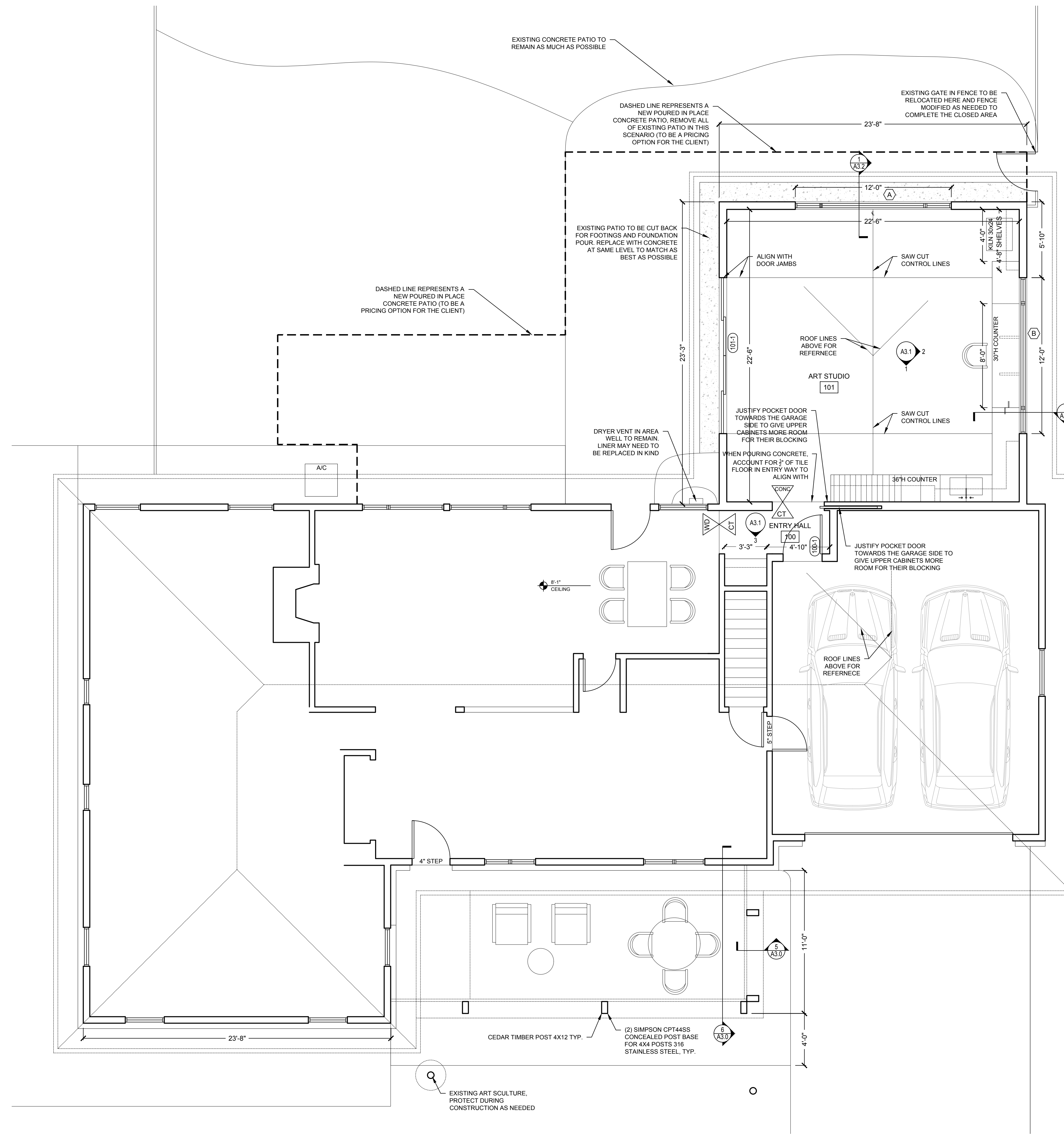
| PARTITION TYPE | PARTITION WIDTH (NOM) | NOTES |
|----------------|-----------------------------|--|
| B1 | EXISTING WALL W/ NEW FINISH | EXISTING EXT. OR INT. WALL WITH NEW FINISH APPLIED |
| B2 | 2" | 2x4 WOOD STUD TURNED FLAT, FURRED PARTITION |
| B3 | 3" | STANDARD 2x3 WOOD STUD FURRED PARTITION |
| B4 | 4" | STANDARD 2x4 WOOD STUD FURRED PARTITION |
| B5 | 6" | STANDARD 2x6 WOOD STUD FURRED PARTITION |



| PARTITION TYPE | PARTITION WIDTH (NOM) | NOTES |
|----------------|-----------------------|------------------------|
| 1 | 9" | STANDARD 2x6 WOOD STUD |

- KEYED NOTES**
- PREP FOR NEW FLOORING
 - EXISTING PLUMBING PIPING TO BE RECONFIGURED INTO JOINT SPACE IF POSSIBLE, PROVIDE DRYWALL ACCESS PANEL BELOW

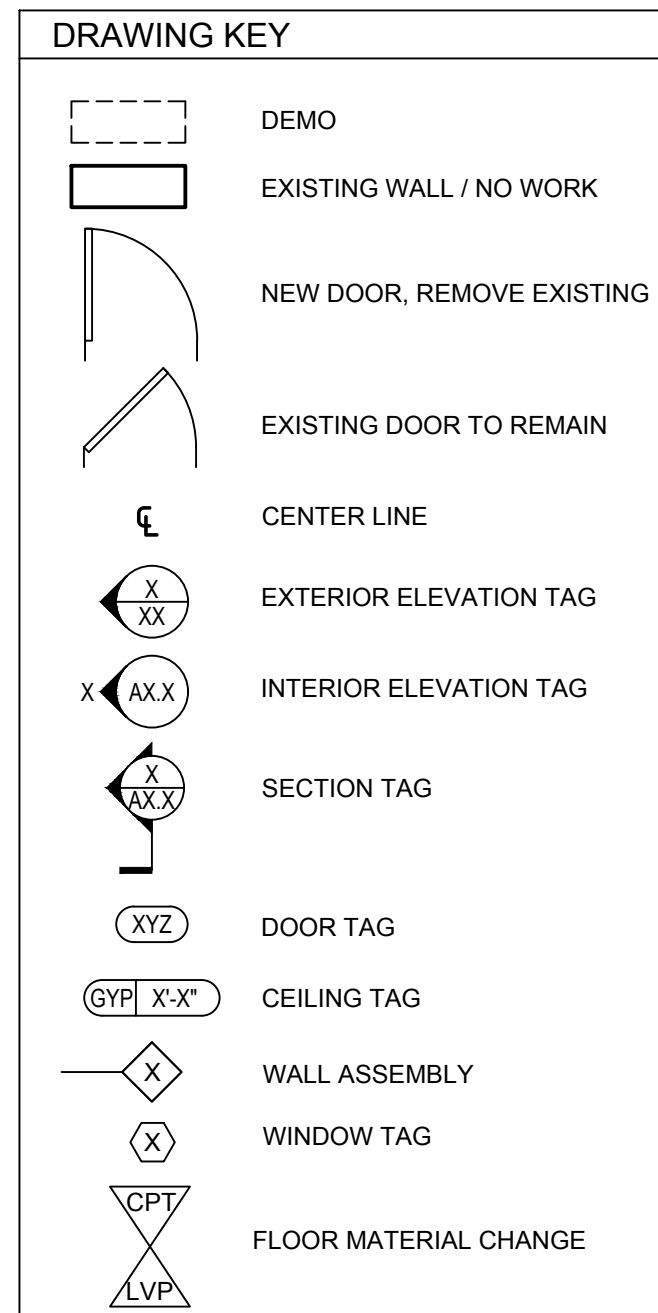


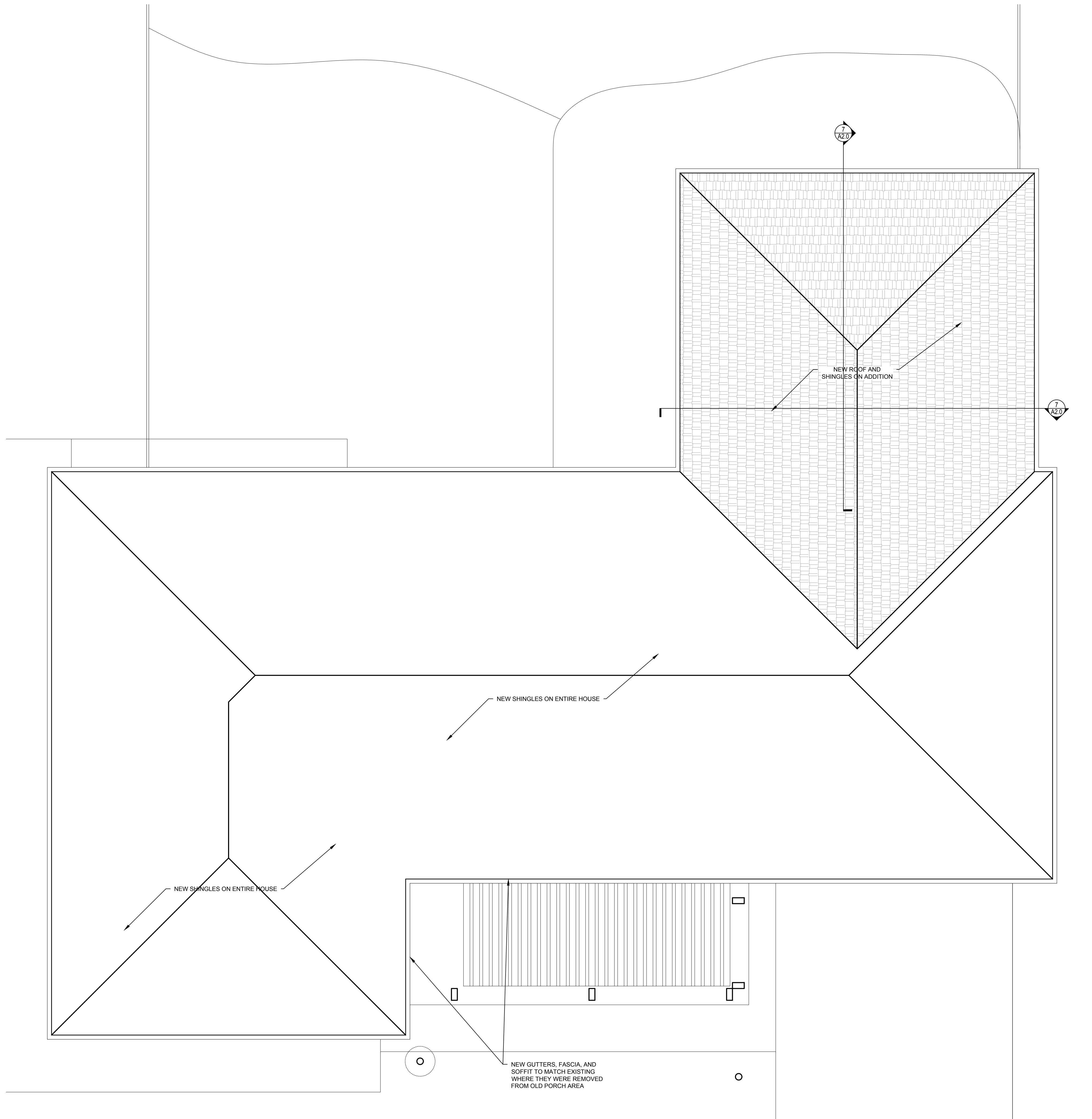


| INTERIOR WALL TYPES | | |
|--|--|---|
| A SERIES - WOOD STUD WALL - RATING AS NOTED | | |
| | | |
| PARTITION TYPE | PARTITION WIDTH | NOTES |
| A1 | 4-1/2" | STANDARD 2x4 WOOD STUD INTERIOR PARTITION |
| A2 | 6-1/2" | STANDARD 2x6 WOOD STUD INTERIOR PARTITION |
| INTERIOR PARTITION SUBSCRIPT KEY | | |
| SUBSCRIPT (A) ACOUSTICAL INSULATION | SUBSCRIPT (A4) WIDTH OTHER THAN SPECIFIED | SUBSCRIPT (O.C.) STUD SPACING OTHER THAN SPECIFIED |
| SUBSCRIPT (X-X') PARTITION HEIGHT AS NOTED | | |
| B SERIES - WOOD STUD WALL AT EXISTING CONDITIONS RATING AS NOTED | | |
| | | |
| PARTITION TYPE | PARTITION WIDTH (NOM) | NOTES |
| B1 | EXISTING WALL W/ NEW FINISH | EXISTING EXT. OR INT. WALL WITH NEW FINISH APPLIED |
| B2 | 2" | 2x4 WOOD STUD TURNED FLAT, FURRED PARTITION |
| B3 | 3" | STANDARD 2x3 WOOD STUD FURRED PARTITION |
| B4 | 4" | STANDARD 2x4 WOOD STUD FURRED PARTITION |
| B5 | 6" | STANDARD 2x6 WOOD STUD FURRED PARTITION |
| EXTERIOR WALL TYPES | | |
| 1 EXTERIOR WOOD STUD WALL | | |
| | | |
| PARTITION TYPE | PARTITION WIDTH (NOM) | NOTES |
| 1 | 9" | STANDARD 2x6 WOOD STUD |

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 - ALL ROOF & WALL PENETRATIONS & VENTS, SUCH AS STACK VENT PIPES, DRYER VENT TO MATCH THE FINISH COLOR OF ADJACENT SURFACE. VERIFY COLOR WITH ARCHITECT.
 - PENETRATIONS IN RATED PARTITIONS AND CONNECTIONS OF THE PARTITIONS TO OTHER PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED DETAILS AND IN COMPLIANCE WITH APPLICABLE TESTING AGENCY REQUIREMENTS.

- ### KEYED NOTES
- PREP FOR NEW FLOORING
 - EXISTING PLUMBING PIPING TO BE RECONFIGURED INTO JOIST SPACE IF POSSIBLE, PROVIDE DRYWALL ACCESS PANEL BELOW





ROOF PLAN GENERAL NOTES

A. PREP FOR NEW FLOORING IN CONSTRUCTION AREA.

B. DEMO OR CONSOLIDATE ALL LIGHTING AND ELECTRIC CONDUIT ON CEILING AND WALLS IN CONSTRUCTION AREA.

C. EVALUATE ALL FLOOR DRAINS FOR PROPER DRAINAGE.

D. COORDINATE WITH HVAC CONTRACTOR. EVALUATE EXISTING FURNACE & WATER HEATER FOR APPROPRIATE SIZING. PROVIDE ARCHITECT WITH PROPOSED NEW DUCT LAYOUT TO COORDINATE WITH NEW DESIGN INTENT.

E. EVALUATE INSULATION CONDITIONS IN EXISTING EXTERIOR WALLS IN CONSTRUCTION AREA. BRING CONDITIONS TO CURRENT ENERGY CODE IF NOT COMPLIANT.

F. SALVAGE ALL CABINETS, DOORS AND OTHER INTERIOR ITEMS THAT CAN BE REPURPOSED AT A SECOND HAND BUILDING STORE.

KEYED NOTES

1 PLEASE USE KEYED NOTES HERE

2 PLEASE USE KEYED NOTES HERE

DRAWING KEY

| | |
|--|---------------------------|
| | DEMO |
| | EXISTING WALL / NO WORK |
| | NEW DOOR, REMOVE EXISTING |
| | EXISTING DOOR TO REMAIN |
| | CENTER LINE |
| | EXTERIOR ELEVATION TAG |
| | INTERIOR ELEVATION TAG |
| | SECTION TAG |
| | DOOR TAG |
| | CEILING TAG |
| | WALL ASSEMBLY |
| | WINDOW TAG |
| | FLOOR MATERIAL CHANGE |

CLIENT PROJECT

BARNETT

203 W Suburban Dr
Fox Point, WI 53117

GENERAL CONTRACTOR

QRS GROUP

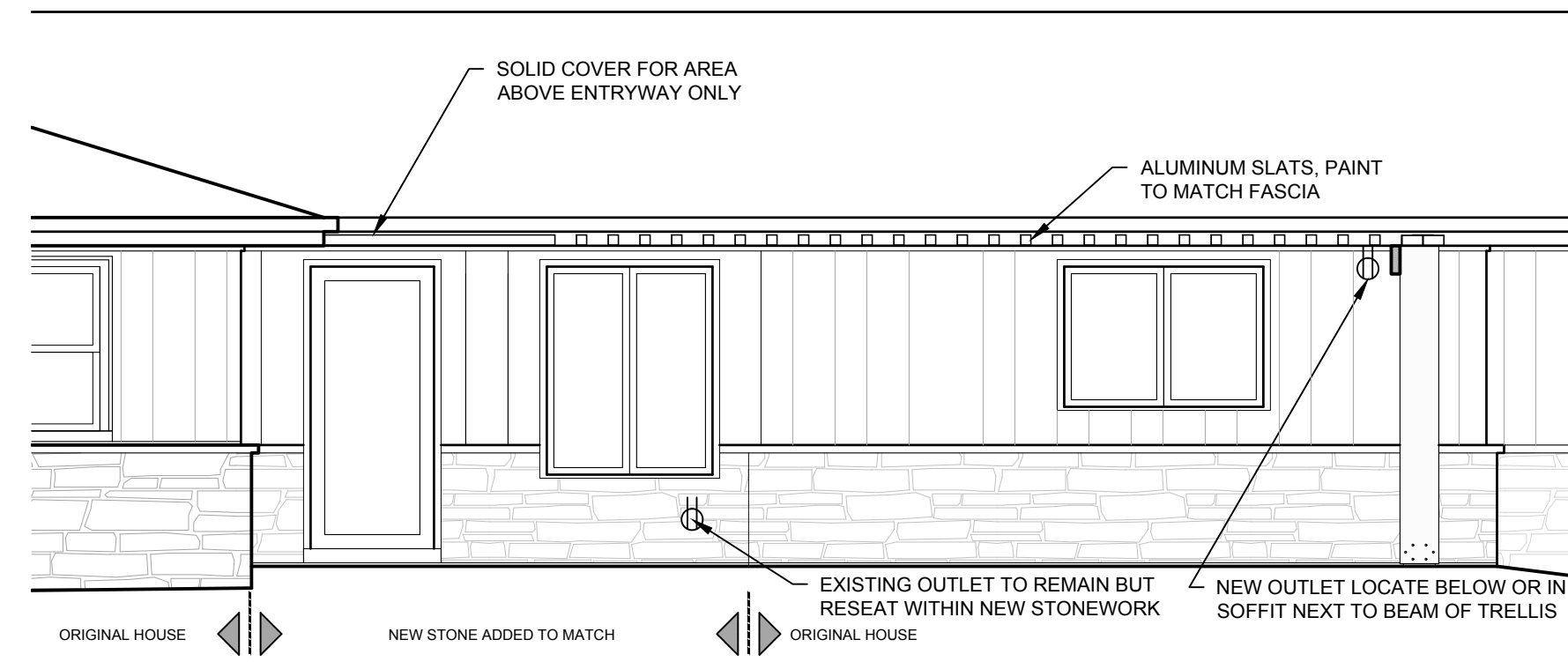
2244 W Bluemound Rd, Suite D
Waukesha, WI 53186

STRUCTURAL ENGINEER

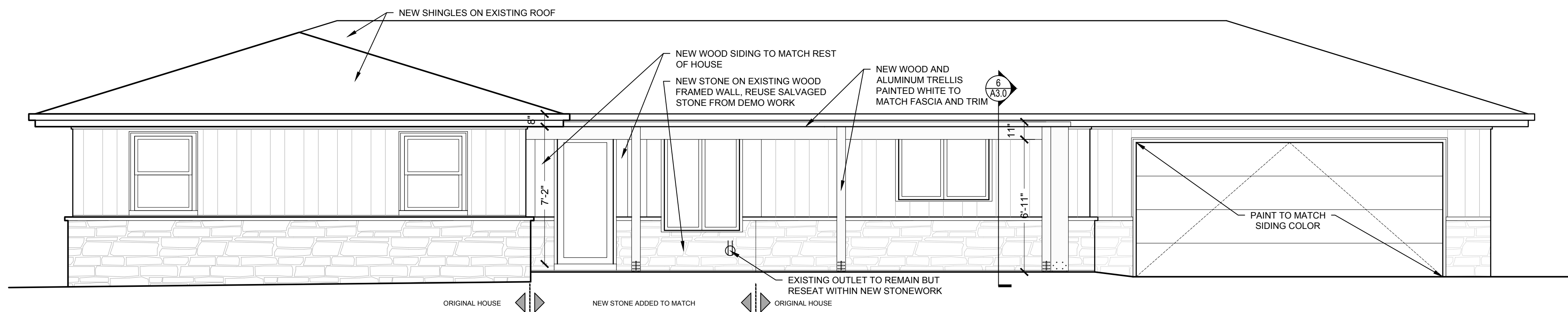
GEN 2 ENGINEERING

W584 Townline Road
Oconomowoc, WI 53066

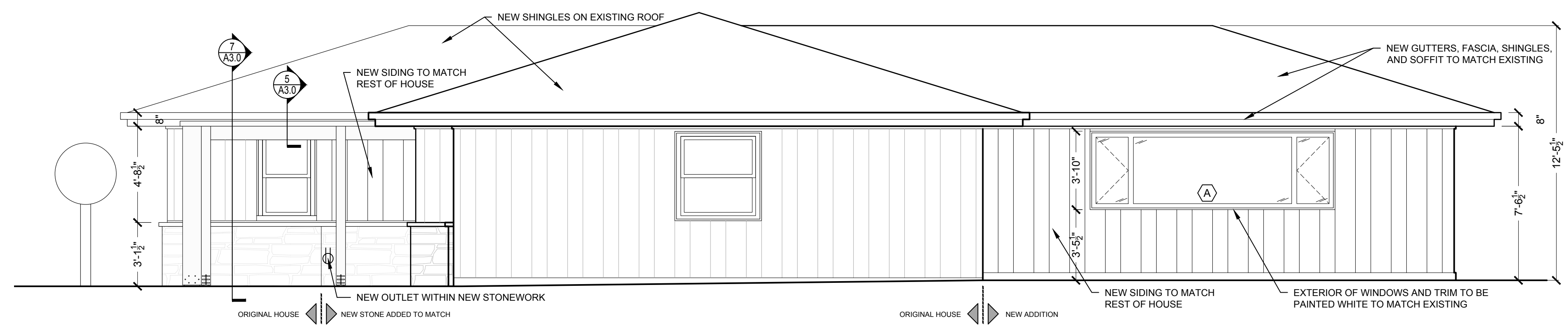
262.332.6243
adam@gen2eng.com



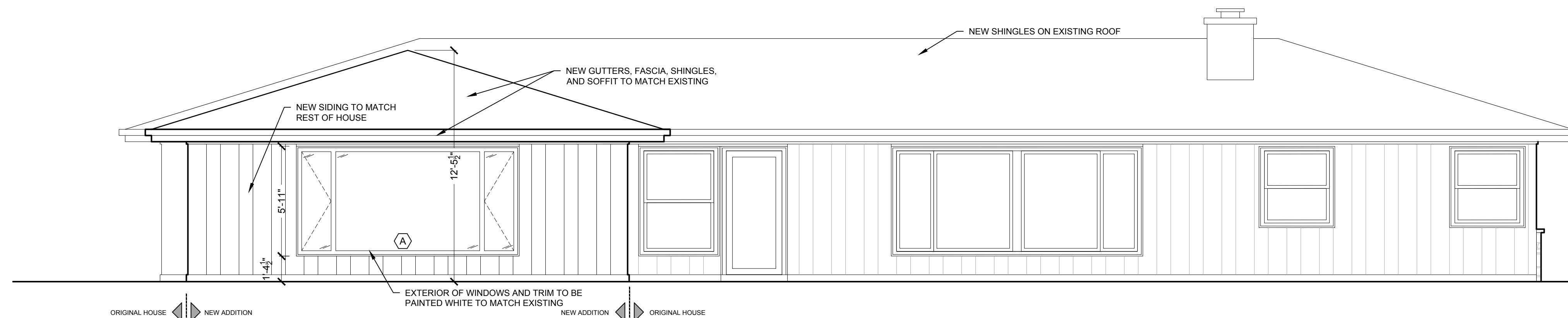
7 | EAST ELEVATION AND SECTION OF HOUSE AND CANOPY STRUCTURE
1/4" = 1'



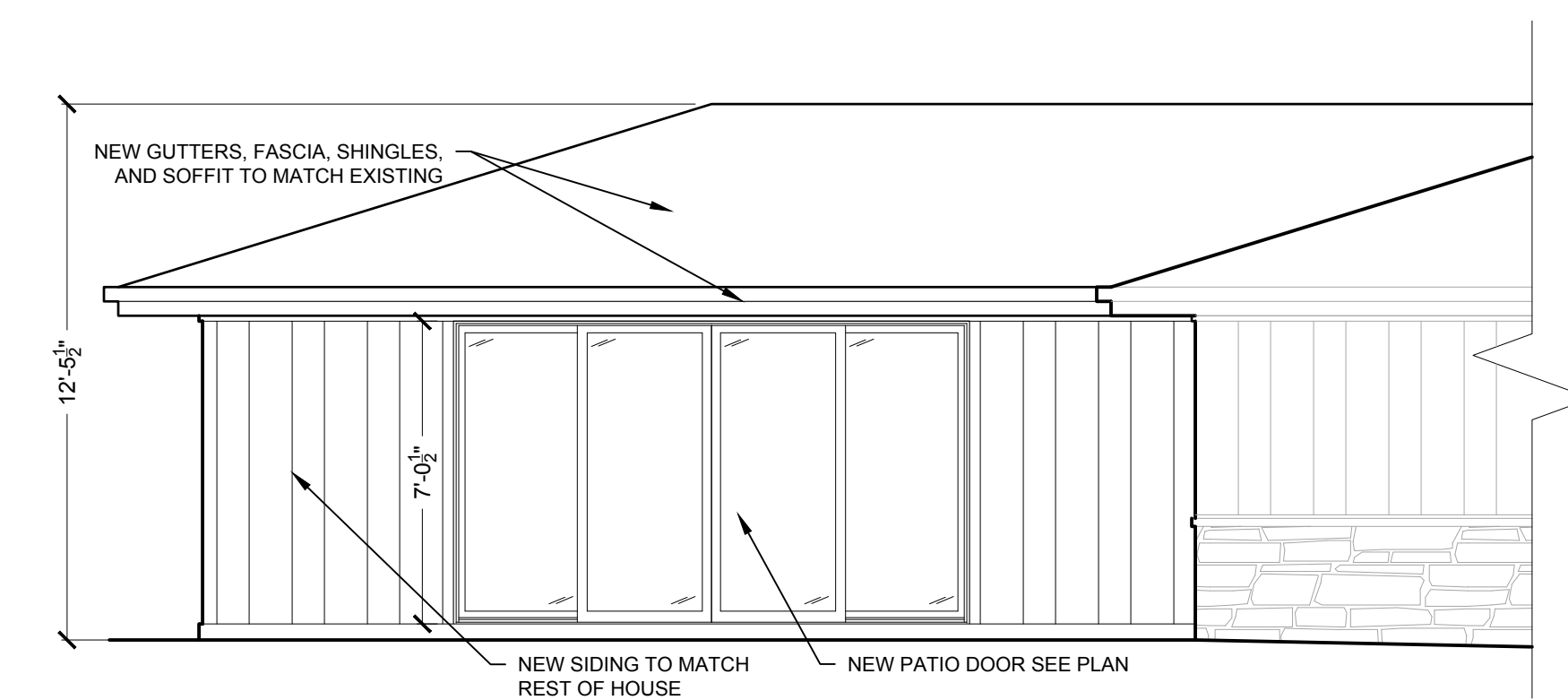
4 | EAST ELEVATION OF HOUSE SHOWING NEW CANOPY AND REWORKING OF STONE AT FRONT ENTRY
1/4" = 1'



3 | NORTH ELEVATION OF ADDITION AND EXISTING HOUSE
1/4" = 1'



2 | WEST ELEVATION OF NEW ADDITION AND EXISTING HOUSE
1/4" = 1'



1 | SOUTH ELEVATION OF NEW ADDITION
1/4" = 1'

**VILLAGE BOARD ARCH REVIEW SET
NOT FOR CONSTRUCTION**

REVISIONS

ARB REVIEW SET

DECEMBER 31, 2025

INTERIOR AND EXTERIOR
ELEVATIONS

A3.0

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VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B-_____

| OFFICE USE ONLY |
|-----------------|
| Issued Date |
| Zoning |

BUILDING PERMIT

| | |
|---|---|
| Job Address 1572 E. Goodrich Lane | Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> |
| Description of Work | |
| Alterations to an existing kitchen, mudroom and powder room. New breezeway enclosing a portion of an existing covered porch. Reconfigured basement stair within enlarged opening. 2nd floor bathroom renovation. Replacing roofing on second floor balcony spaces, and new windows. | |
| Estimated Cost of Project \$250,000 | |


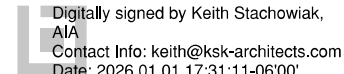
| Owner/Occupant | |
|-------------------------------|------------------------------------|
| Business Name | Contact Name Cheryl Brickman |
| Address 1572 E. Goodrich Lane | City/State/Zip Fox Point, WI 53217 |
| Phone | Email cbrickman@wi.rr.com |

****Cautionary Statement required when homeowner is applying for permit****

| Contractor | |
|--|--|
| Company Name Gardner Builders | Contact Name Hilary McCabe |
| Address 648 N Plankinton Ave Suite 233 | City/State/Zip Milwaukee, WI 53203 |
| Phone 414-412-6733 | Email hilary.mccabe@gardner-builders.com |
| Dwelling Contractor # | Dwelling Contractor Qualifier # |

| Square Footage Under Construction | | | | |
|-----------------------------------|-------------------------------|------------------|-----------------|--------|
| 1 st Floor 580 GSF | 2 nd Floor 234 GSF | Basement 114 GSF | Addition 53 GSF | Garage |

| Description | Rate | Amount |
|---|-------------------------|-------------------|
| Project - Per \$1,000 of estimated cost | \$10.00 | \$2,500.00 |
| Building Board | \$75.00 | 75.00 |
| Footing early start - \$230.00 one and two family; \$305.00 commercial | | |
| Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial | | |
| State Seal | \$75.00 | |
| Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus | \$0.13/sqft | |
| Moving buildings \$250.00 plus | \$0.13/sqft | |
| Fuel tanks - Per 1,000 gallons | \$25.00 | |
| Re-inspection | \$100.00 | |
| Work started without permit | Double | |
| | Minimum Fee | \$70.00 |
| Payable to: Village of Fox Point | Total Permit Fee | \$2,575.00 |

Applicant Signature   Date 01/01/2025

Rev 01/22

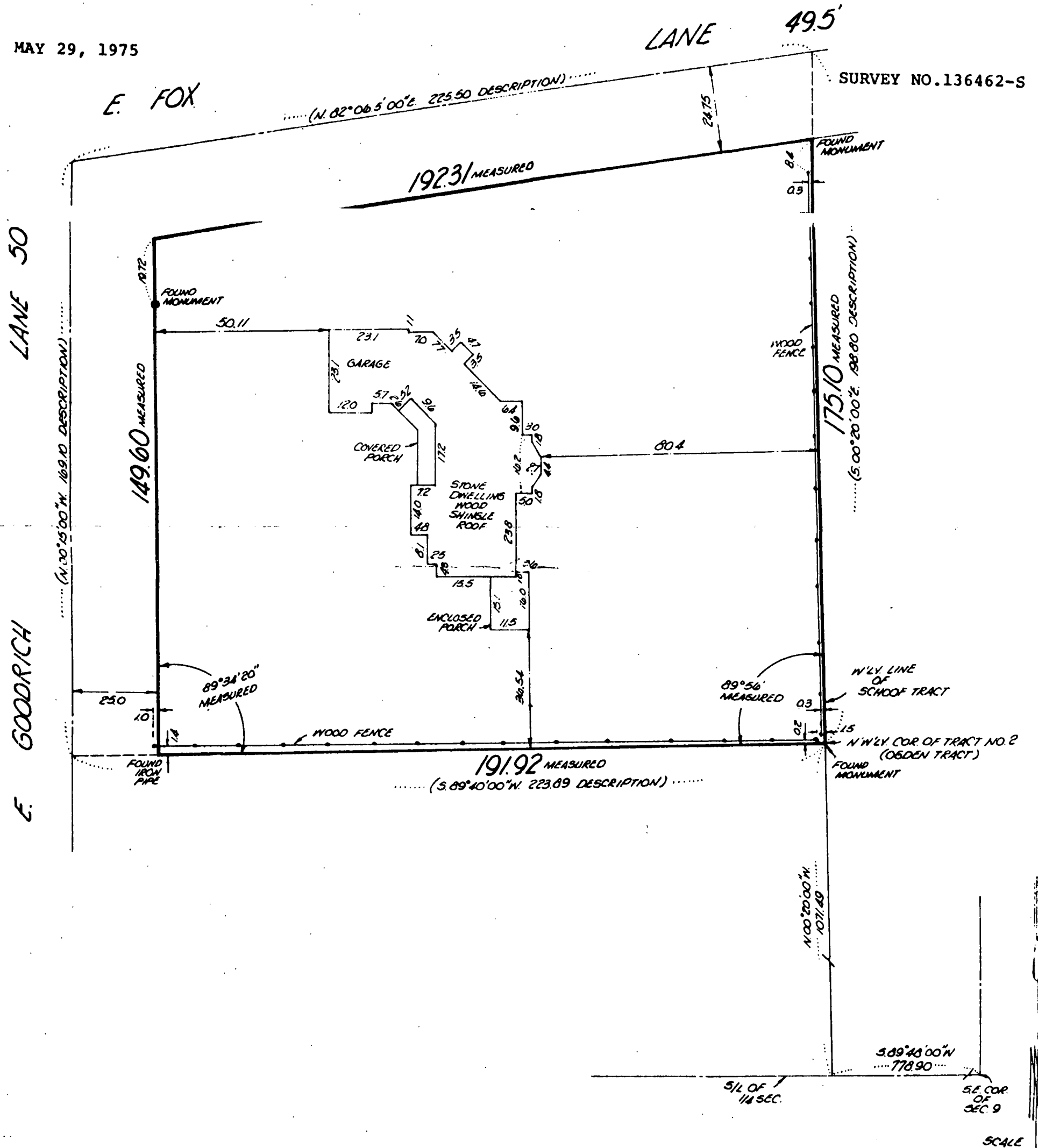
ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

Plat of Survey

Known as East Goodrich Lane in the Village of Fox Point, Wisconsin
 All that part of the SE 1/4 of Section 9, T 8 N, R 22 E, in the Village of Fox Point,
 which is bounded and described as follows:

Commencing at a point on the Westerly line of Schoof Tract, so-called 778.90 ft. South 89° 48' 00" West and 1071.49 ft. North 00° 20' 00" West of the Southeast corner of said Section 9, said point of commencement being the Northwesternly corner of Tract No. 2, also known as the Ogden Tract; thence South 89° 40' 00" West along the Northerly line of said Tract No. 2 extended Westerly 223.89 ft. to a point in the center line of a private road 50 ft. wide of the Calumet Land Company; thence North 00° 15' 00" West along the center of said private road 169.10 ft. to an intersection with the center line of a public highway 3 rods wide, known as Fox Lane; thence North 82° 06' 30" East along the center line of said public highway 225.50 ft. to a point on the Westerly line of said Schoof Tract; thence South 00° 20' 00" East along the Westerly line of said Schoof Tract 198.80 ft. to the place of beginning. The Westerly line of said above described tract of land being on and along the center line of said private road of the Calumet Land Company 50 ft. wide and the Northerly line of said tract being on and along the center line of the public highway known as Fox Lane, 3 rods wide.

MAY 29, 1975



I Certify that I have surveyed the above described property (Property), and the above map is a true representation thereof and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements and roadways and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the Property, and also those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

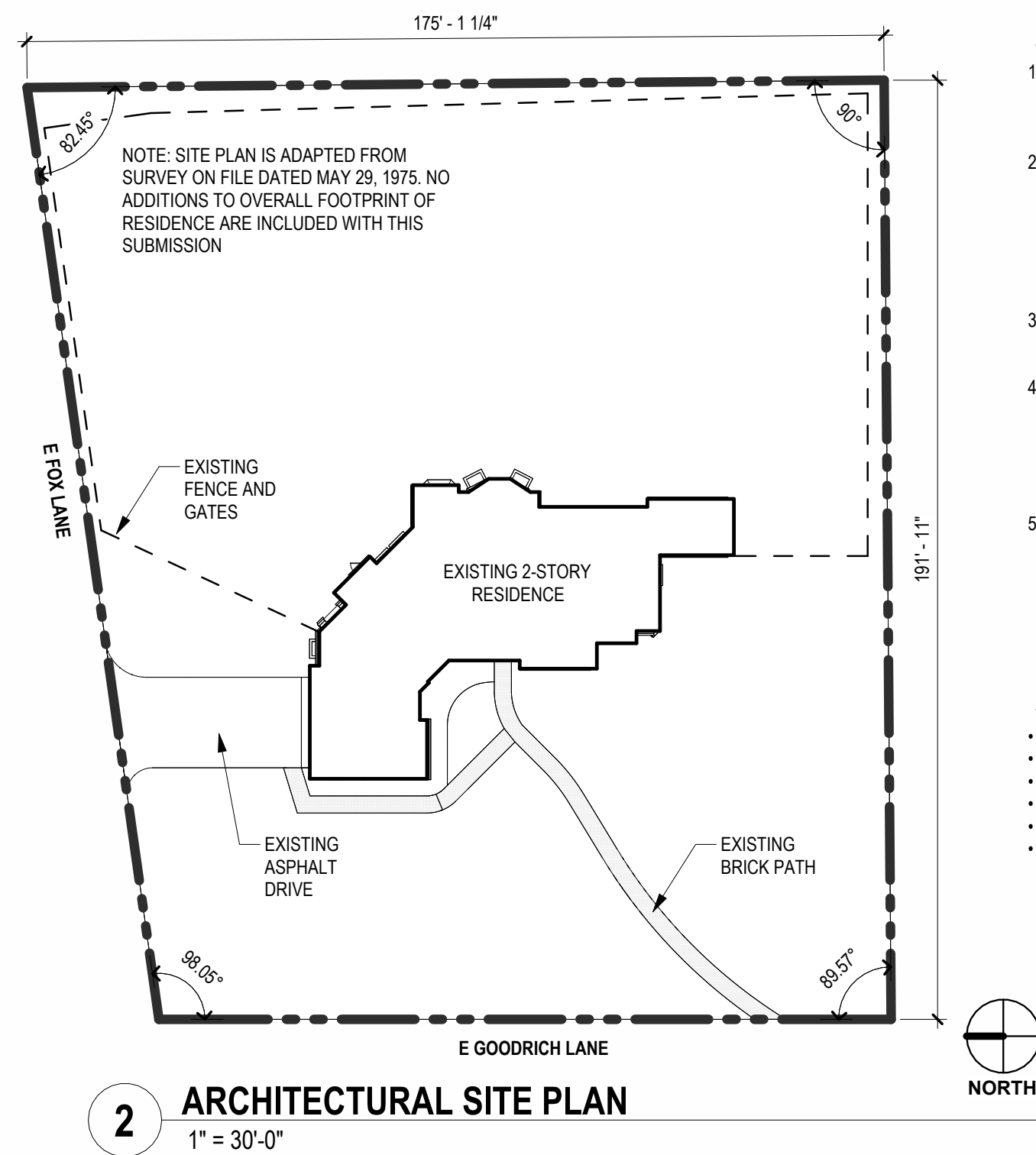
1572 E. Goodrich

NATIONAL SURVEY SERVICE, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 3470 NORTH 127th STREET (414) 781 1000
 P O BOX 444

Kenneth E. Berke



BRICKMAN RESIDENCE



GENERAL NOTES

- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENSURING THAT ALL WORK AND CONSTRUCTION COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES, REGULATIONS, AND STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONSTRUCTION DOCUMENTS ARE ISSUED TO CONVEY DESIGN INTENT AND BASIC FRAMING INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL CUSTOMARY CONSTRUCTION DETAILING, COORDINATION, AND WORKMANSHIP NECESSARY TO ACHIEVE A STRUCTURALLY SOUND, CODE-COMPLIANT, AND WEATHER-TIGHT COMPLETED PROJECT. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS, OR APPARENT ERRORS OBSERVED IN THE DOCUMENTS PRIOR TO COMMENCING AFFECTED WORK.
- THE CONTRACTOR SHALL OBTAIN AND COORDINATE ALL REQUIRED PERMITS, INSPECTIONS, AND APPROVALS FROM THE AUTHORITY HAVING JURISDICTION UNLESS NOTED OTHERWISE.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION NOT CONFORMING WITH THESE PLANS, NOR RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. NO WARRANTIES, EXPRESS OR IMPLIED, INCLUDING WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, ARE PROVIDED IN CONNECTION WITH THE USE OF THESE DOCUMENTS.
- THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND REMAIN THE PROPERTY OF THE ARCHITECT. REPRODUCTION, DISTRIBUTION, OR REUSE OF THESE DOCUMENTS, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT, IS PROHIBITED.

CODES AND STANDARDS

- BUILDING:** WISCONSIN UNIFORM DWELLING CODE (SPS 320-325)
- ENERGY:** WISCONSIN UDC ENERGY CONSERVATION REQUIREMENTS (SPS 322)
- ELECTRICAL:** 2023 NEC (SPS 316 AND 305)
- PLUMBING:** WISCONSIN PLUMBING CODE (SPS 382-387)
- MECHANICAL:** 2015 INTERNATIONAL MECHANICAL CODE
- ACCESSIBILITY:** NOT APPLICABLE FOR ONE/TWO FAMILY DWELLINGS

PROJECT TEAM

| | |
|--|--|
| CONTRACTOR | ARCHITECT |
| GARDNER BUILDERS | KSK ARCHITECTS |
| 648 N PLANKINTON AVE, SUITE 233 MILWAUKEE, WI 53203 | 608 E BURLEIGH ST MILWAUKEE, WI 53212 |
| PHONE: 414.544.7471 | PHONE: 414.313.3065 |
| EMAIL: DAVE.GRANT@GARDNER-BUILDERS.COM | EMAIL: KEITH@KSK-ARCHITECTS.COM |
| CONTACT: DAVE GRANT | CONTACT: KEITH STACHOWIAK |

PROJECT INFORMATION

| | | |
|--|---|------------------------|
| PROJECT ADDRESS | 1572 E GOODRICH LANE FOX POINT, WI 53217 | |
| TAXKEY | 0589953000 | |
| PARCEL AREA | 0.94 ACRES | |
| ZONING | RES | |
| OVERALL AREA: | FIRST FLOOR | 2,001 GSF |
| | SECOND FLOOR | 1,436 GSF |
| | CONDITIONED SUBTOTAL: | 3,437 GSF |
| | GARAGE | 474 GSF |
| | UNFINISHED BASEMENT | 1,769 GSF |
| | NEW BREEZEWAY | 53 GSF |
| | TOTAL AREA: | 5,733 GSF |
| WORK AREA: | BASEMENT | 114 GSF |
| <i>REFER TO OVERALL FLOOR PLANS FOR BOUNDARIES</i> | FIRST FLOOR | 580 GSF |
| | SECOND FLOOR | 234 GSF |
| | TOTAL WORK AREA: | 928 GSF (16.2%) |

SHEET INDEX

| SHEET NUMBER | SHEET NAME |
|------------------|--|
| G001 | COVER SHEET AND INDEX |
| A100 | BASEMENT OVERALL FLOOR PLAN |
| A101 | FIRST FLOOR OVERALL PLAN |
| A102 | SECOND FLOOR OVERALL PLAN |
| A103 | ROOF OVERALL PLAN |
| A200 | EXTERIOR ELEVATIONS |
| A201 | EXTERIOR ELEVATIONS |
| A400 | FIRST FLOOR WORK AREA - DEMO AND RCP |
| A401 | FIRST FLOOR WORK AREA - NEW WORK |
| A402 | FIRST FLOOR WORK AREA - ELEVATIONS |
| A403 | BASEMENT STAIR - ENLARGED PLAN AND DETAILS |
| A404 | SECOND FLOOR BATH - ENLARGED PLAN AND ELEVATIONS |
| A405 | SECOND FLOOR BALCONY - ENLARGED PLAN AND DETAILS |
| TOTAL SHEETS: 13 | |



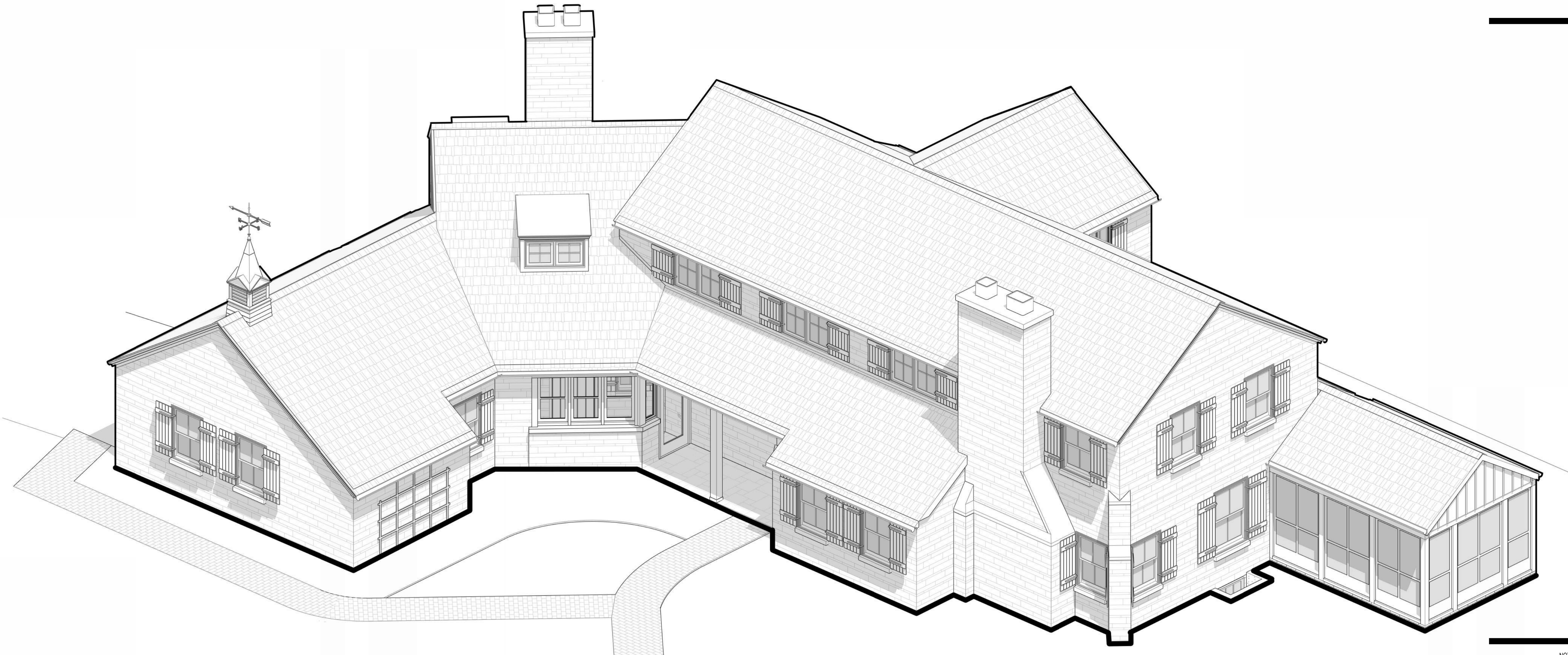
KEITH STACHOWIAK, AIA | M: 414.313.3065
KEITH@KSK-ARCHITECTS.COM
608 E BURLEIGH ST | MILWAUKEE WI 53212

BRICKMAN RESIDENCE

1572 E GOODRICH LN
FOX POINT, WI 53217

KSK PROJECT # 25K-65

PERMIT SET
JAN 1, 2026



1 OVERHEAD VIEW

NOTE: THESE DRAWINGS ARE FORMATTED ON 24" x 36" SHEETS AND ARE TO BE PRINTED FULL SIZE TO SCALE

G001

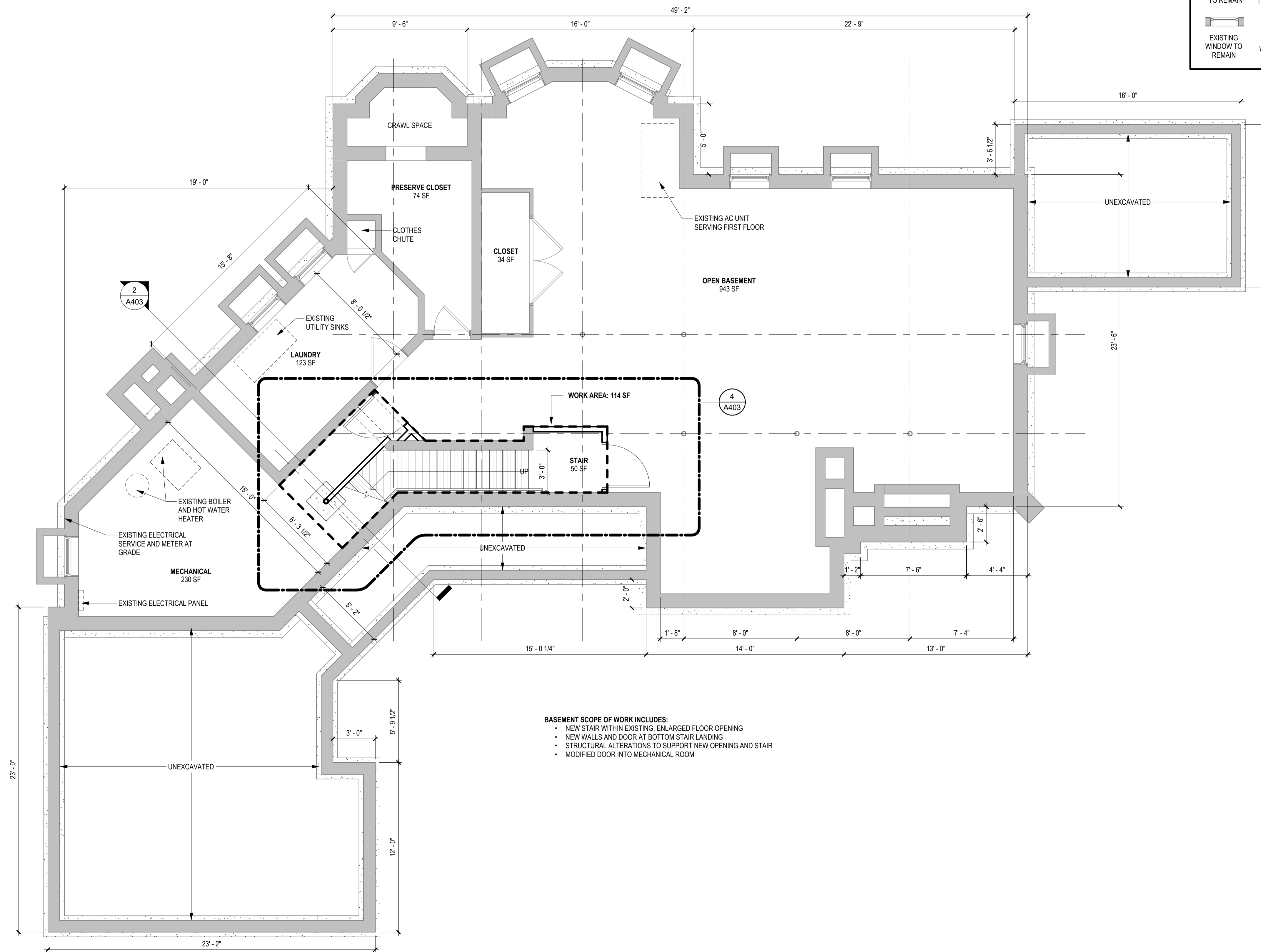
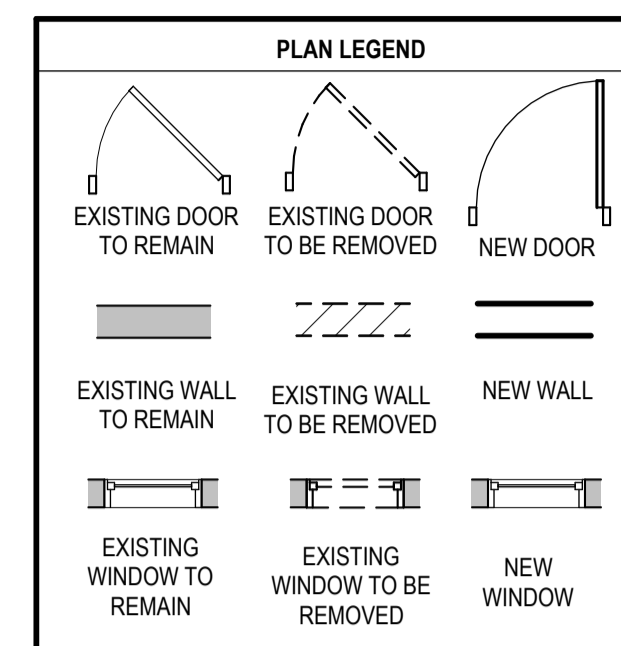
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KSK ARCHITECTS

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KEITH@KSK-ARCHITECTS.COM
608 E BURLEIGH ST | MILWAUKEE WI 53212

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- BASEMENT SCOPE OF WORK INCLUDES:**
- NEW STAIR WITHIN EXISTING, ENLARGED FLOOR OPENING
 - NEW WALLS AND DOOR AT BOTTOM STAIR LANDING
 - STRUCTURAL ALTERATIONS TO SUPPORT NEW OPENING AND STAIR
 - MODIFIED DOOR INTO MECHANICAL ROOM

PROJECT INFORMATION:

BRICKMAN RESIDENCE

1572 E GOODRICH LN
FOX POINT, WI 53217

DRAWING ISSUANCE:

PERMIT SET

REVISIONS

| # | REVISION | DATE |
|---|----------|------|
| | | |

STAMP:



JAN 1, 2026

| | |
|-----------|-----------------|
| PROJECT # | PROJECT MANAGER |
| 25K-65 | KS |

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BASEMENT OVERALL FLOOR PLAN

A100

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1 BASEMENT OVERALL PLAN - DEMOLITION
1/4" = 1'-0"



PROJECT INFORMATION:

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 FOX POINT, WI 53217

DRAWING ISSUANCE:

PERMIT SET

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STAMP:



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|-----------|-----------------|
| PROJECT # | PROJECT MANAGER |
| 25K-65 | KS |

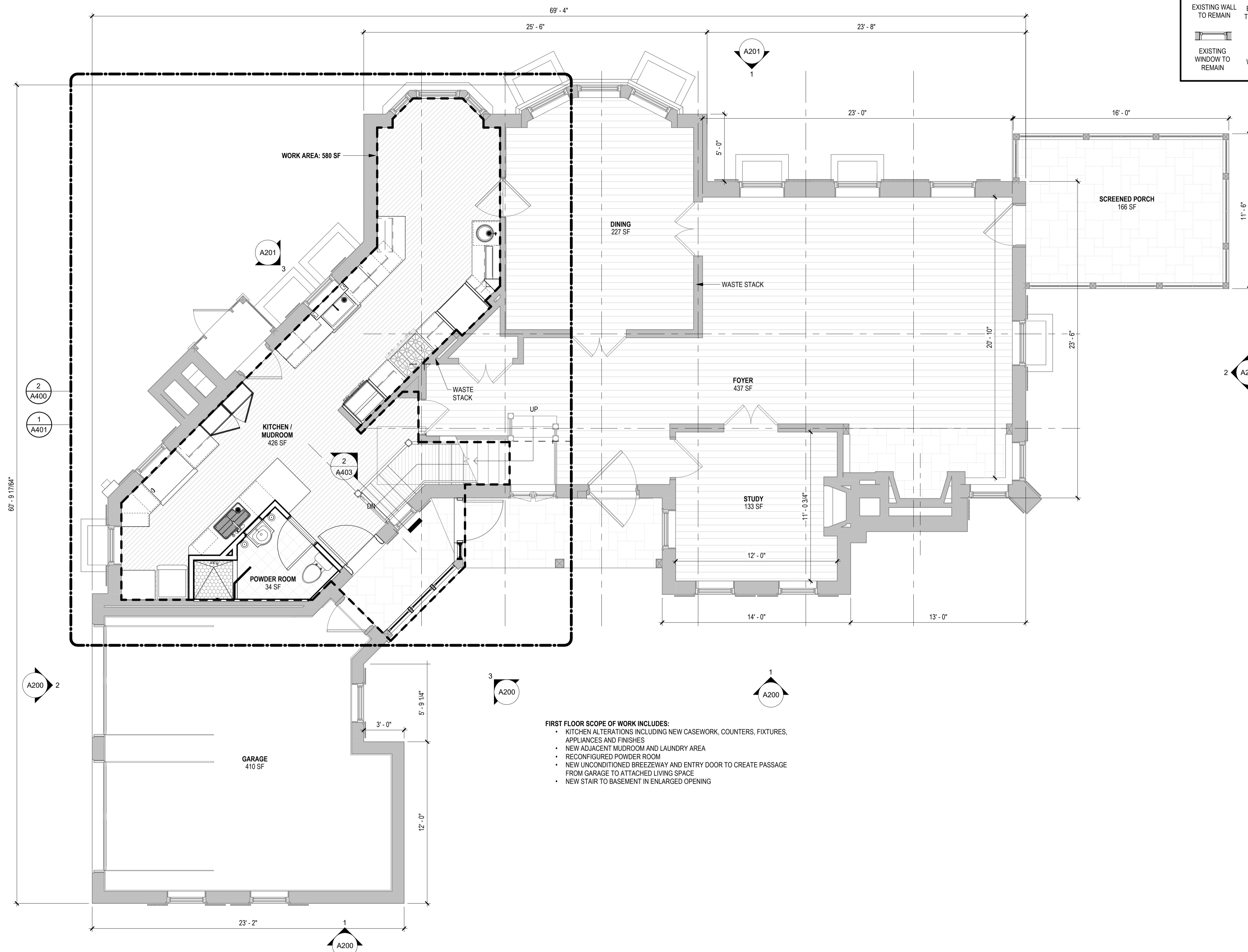
NOTE: THESE DRAWINGS ARE FORMATTED ON 24" x 36" SHEETS AND ARE TO BE PRINTED FULL SIZE TO SCALE

FIRST FLOOR OVERALL PLAN

A101

PLAN LEGEND

| | | |
|--|--|--|
| | | |
| | | |
| | | |



- FIRST FLOOR SCOPE OF WORK INCLUDES:**
- KITCHEN ALTERATIONS INCLUDING NEW CASEWORK, COUNTERS, FIXTURES, APPLIANCES AND FINISHES
 - NEW ADJACENT MUDROOM AND LAUNDRY AREA
 - RECONFIGURED POWDER ROOM
 - NEW UNCONDITIONED BREEZEWAY AND ENTRY DOOR TO CREATE PASSAGE FROM GARAGE TO ATTACHED LIVING SPACE
 - NEW STAIR TO BASEMENT IN ENLARGED OPENING

1 FIRST FLOOR OVERALL PLAN - NEW WORK
 1/4" = 1'-0"



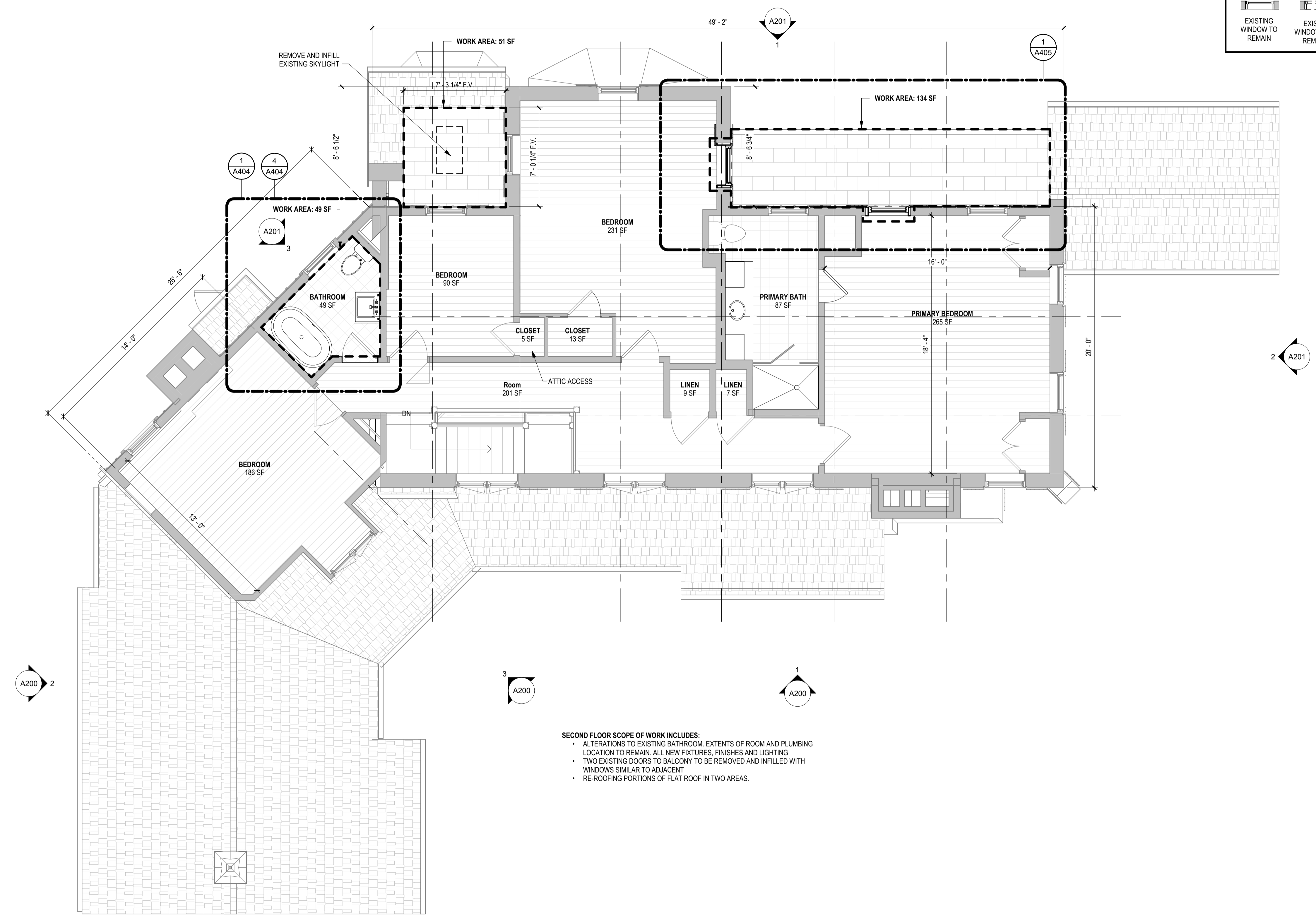


KSK ARCHITECTS

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KEITH@KSK-ARCHITECTS.COM
608 E BURLEIGH ST | MILWAUKEE WI 53212

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| PLAN LEGEND | | |
|-------------|-------------------------------|--|
| | EXISTING DOOR TO REMAIN | |
| | EXISTING DOOR TO BE REMOVED | |
| | NEW DOOR | |
| | EXISTING WALL TO REMAIN | |
| | EXISTING WALL TO BE REMOVED | |
| | NEW WALL | |
| | EXISTING WINDOW TO REMAIN | |
| | EXISTING WINDOW TO BE REMOVED | |
| | NEW WINDOW | |



- SECOND FLOOR SCOPE OF WORK INCLUDES:**
- ALTERATIONS TO EXISTING BATHROOM, EXTENTS OF ROOM AND PLUMBING LOCATION TO REMAIN. ALL NEW FIXTURES, FINISHES AND LIGHTING
 - TWO EXISTING DOORS TO BALCONY TO BE REMOVED AND INFILLED WITH WINDOWS SIMILAR TO ADJACENT
 - RE-ROOFING PORTIONS OF FLAT ROOF IN TWO AREAS.

PROJECT INFORMATION:

BRICKMAN RESIDENCE

1572 E GOODRICH LN
FOX POINT, WI 53217

DRAWING ISSUANCE:

PERMIT SET

REVISIONS

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STAMP:



JAN 1, 2026

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|---------------------|-----------------------|
| PROJECT # 25K-65 | PROJECT MANAGER KS |
|---------------------|-----------------------|

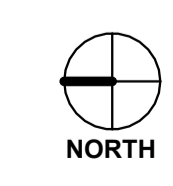
NOTE: THESE DRAWINGS ARE FORMATTED ON 24" x 36" SHEETS AND ARE TO BE PRINTED FULL SIZE TO SCALE

SECOND FLOOR OVERALL PLAN

A102

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1 SECOND FLOOR OVERALL PLAN - EXISTING
1/4" = 1'-0"





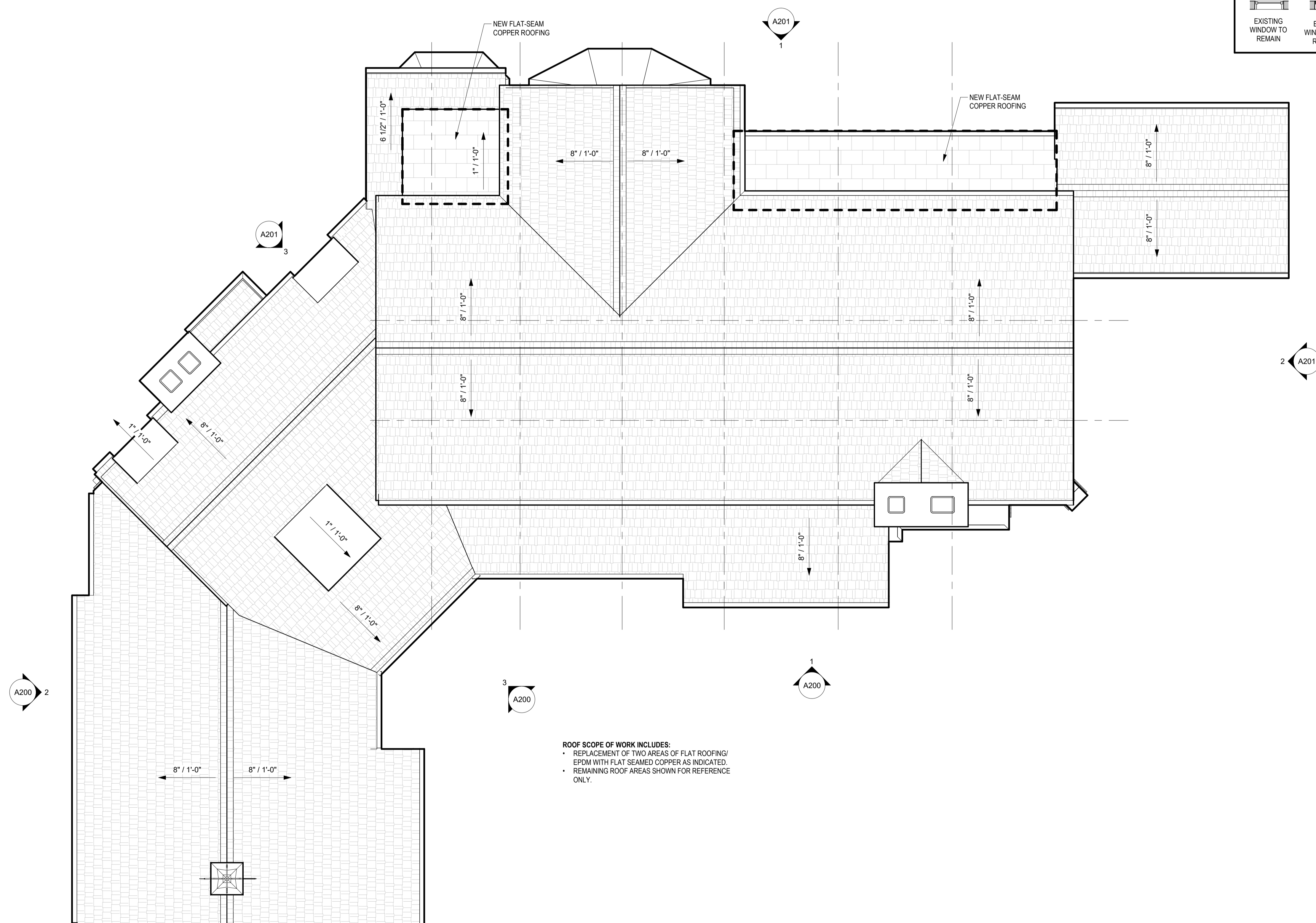
KSK ARCHITECTS

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KEITH@KSK-ARCHITECTS.COM
608 E BURLEIGH ST | MILWAUKEE WI 53212

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PLAN LEGEND

| | | |
|--|--|--|
| | | |
| | | |
| | | |



ROOF SCOPE OF WORK INCLUDES:

- REPLACEMENT OF TWO AREAS OF FLAT ROOFING/ EPDM WITH FLAT SEAMED COPPER AS INDICATED.
- REMAINING ROOF AREAS SHOWN FOR REFERENCE ONLY.

1 ROOF OVERALL PLAN - NEW WORK
1/4" = 1'-0"



PROJECT INFORMATION:

BRICKMAN RESIDENCE

1572 E GOODRICH LN
FOX POINT, WI 53217

DRAWING ISSUANCE:

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REVISIONS

| # | REVISION | DATE |
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JAN 1, 2026

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| PROJECT #: 25K-65 | PROJECT MANAGER KS |
|----------------------|-----------------------|

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ROOF OVERALL PLAN

A103

PROJECT INFORMATION:
BRICKMAN RESIDENCE

1572 E GOODRICH LN
 FOX POINT, WI 53217

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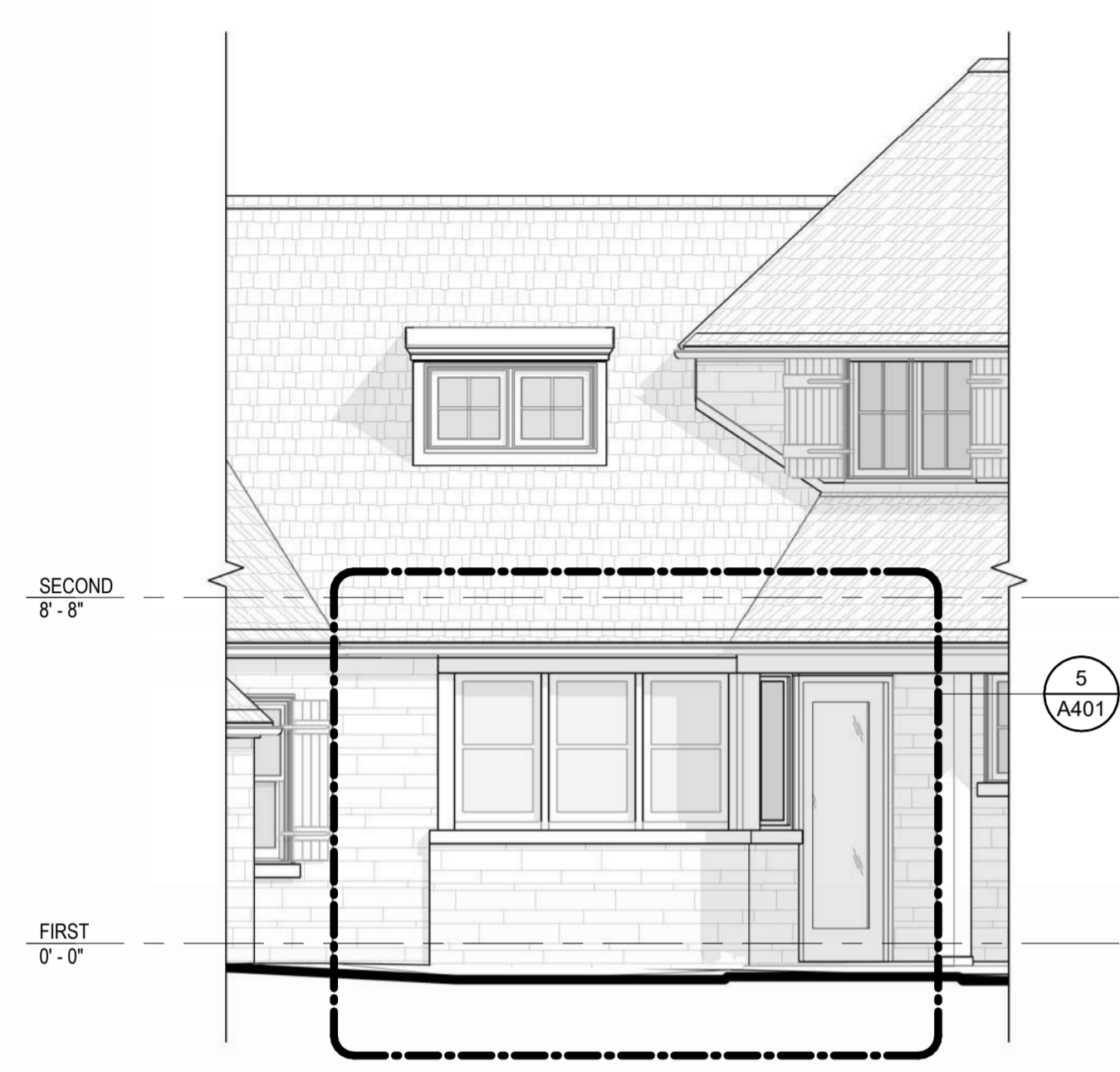


JAN 1, 2026

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|----------------------|-----------------------|
| PROJECT #: 25K-65 | PROJECT MANAGER KS |
|----------------------|-----------------------|

NOTE: THESE DRAWINGS ARE FORMATTED ON 24" x 36" SHEETS AND ARE TO BE PRINTED FULL SIZE TO SCALE

EXTERIOR ELEVATIONS
A200
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3 EXT ELEV - SOUTHWEST - PORCH
 1/4" = 1'-0"



2 EXT ELEV - NORTH
 1/4" = 1'-0"



1 EXT ELEV - WEST
 1/4" = 1'-0"

PROJECT INFORMATION:

BRICKMAN RESIDENCE

1572 E GOODRICH LN
 FOX POINT, WI 53217

DRAWING ISSUANCE:

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REVISIONS

| # | REVISION | DATE |
|---|----------|------|
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STAMP:



JAN 1, 2026

PROJECT #: 25K-65 PROJECT MANAGER: KS

NOTE: THESE DRAWINGS ARE FORMATTED ON 24" x 36" SHEETS AND ARE TO BE PRINTED FULL SIZE TO SCALE

EXTERIOR ELEVATIONS

A201



2 EXT ELEV - SOUTH
 1/4" = 1'-0"

3 EXT ELEV - NORTHEAST
 1/4" = 1'-0"



1 EXT ELEV - EAST
 1/4" = 1'-0"

PROJECT INFORMATION:

BRICKMAN RESIDENCE

1572 E GOODRICH LN
 FOX POINT, WI 53217

DRAWING ISSUANCE:

PERMIT SET

REVISIONS

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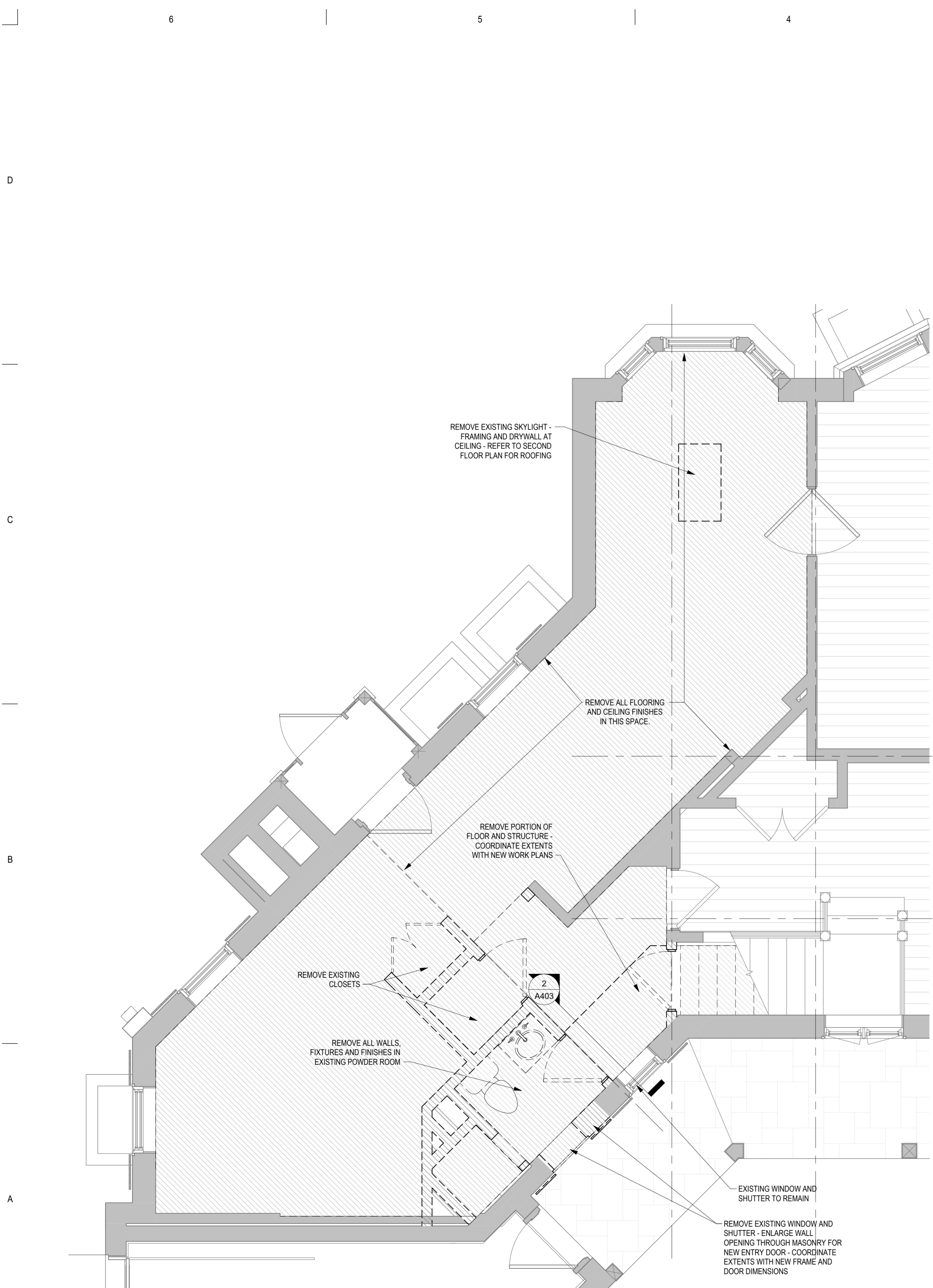
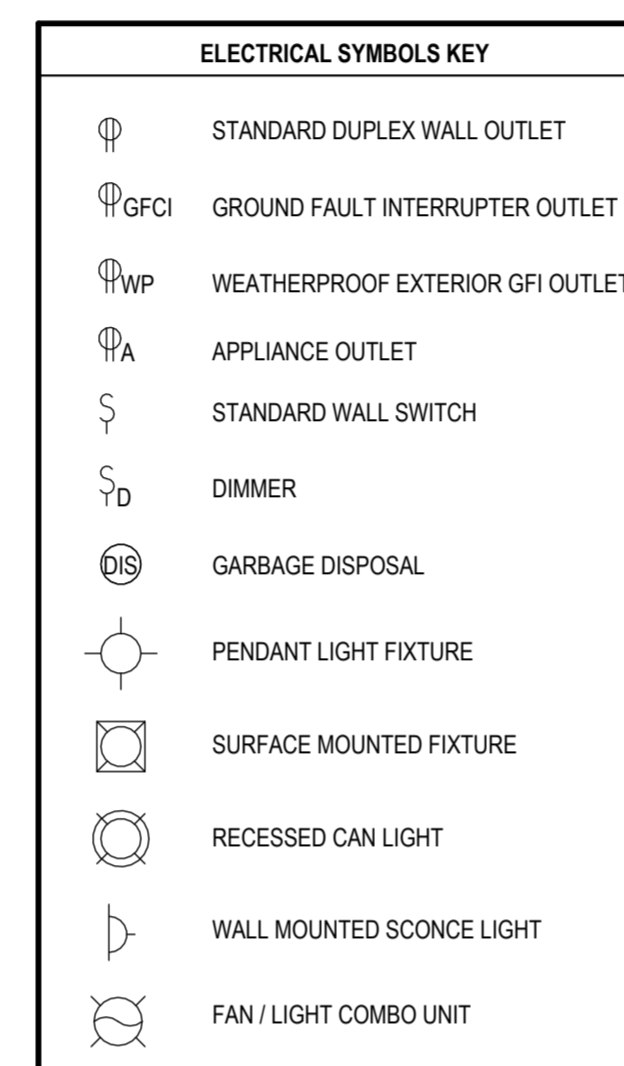
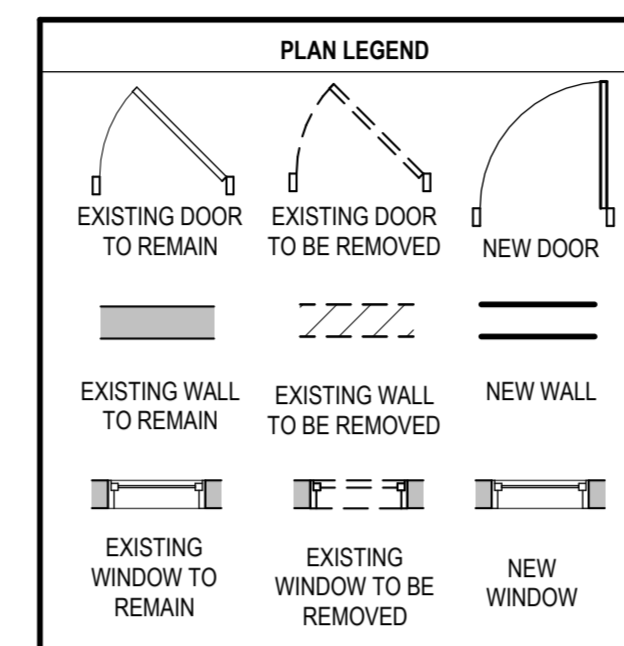
PROJECT #: 25K-65 PROJECT MANAGER: KS

NOTE: THESE DRAWINGS ARE FORMATTED ON 24" x 36" SHEETS AND ARE TO BE PRINTED FULL SIZE TO SCALE

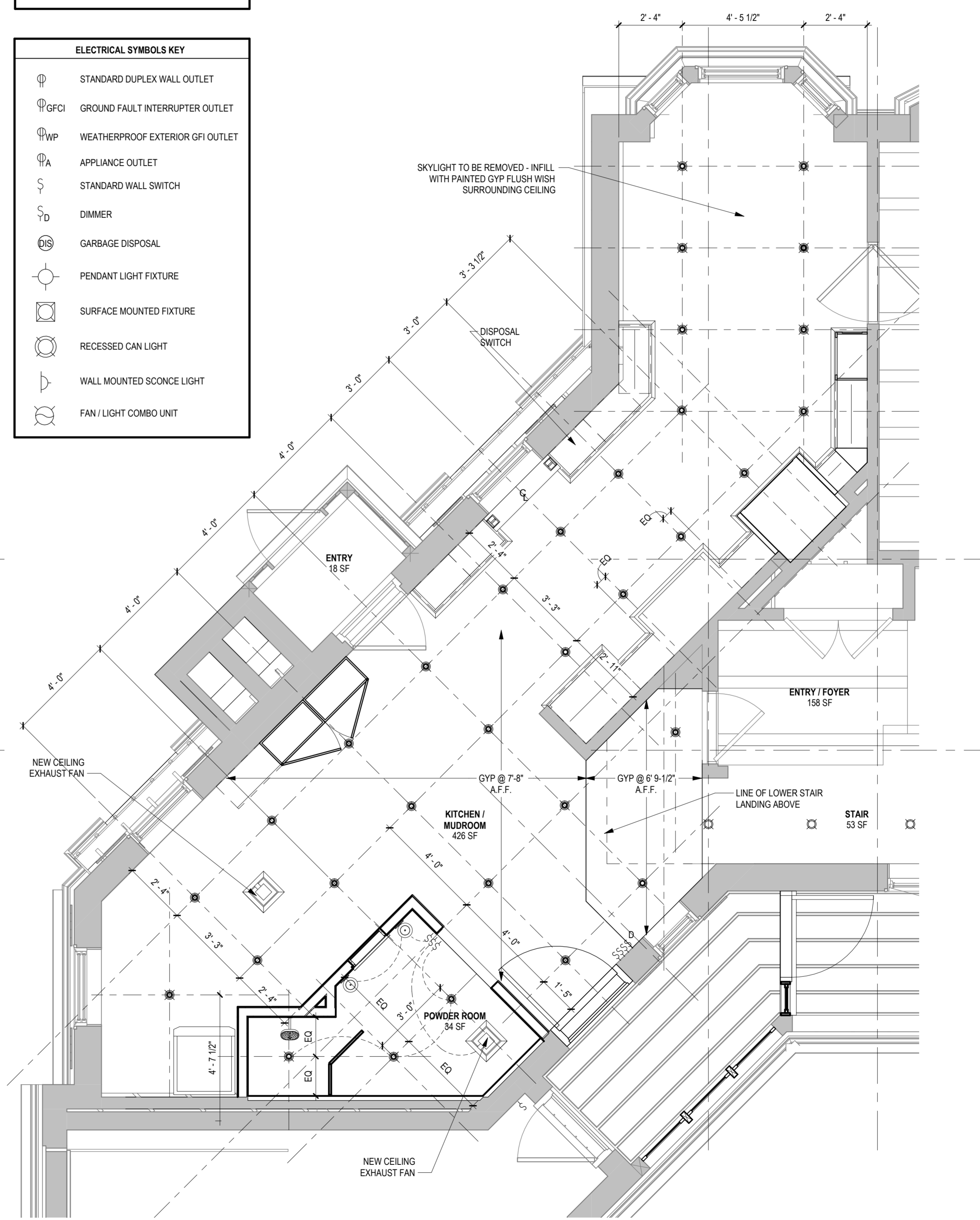
FIRST FLOOR WORK AREA - DEMO AND RCP

A400

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2 FIRST FLOOR WORK AREA - DEMOLITION
 3/8" = 1'-0"



1 FIRST FLOOR WORK AREA - REFLECTED CEILING PLAN
 3/8" = 1'-0"



PROJECT INFORMATION:

BRICKMAN RESIDENCE

1572 E GOODRICH LN
 FOX POINT, WI 53217

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STAMP:



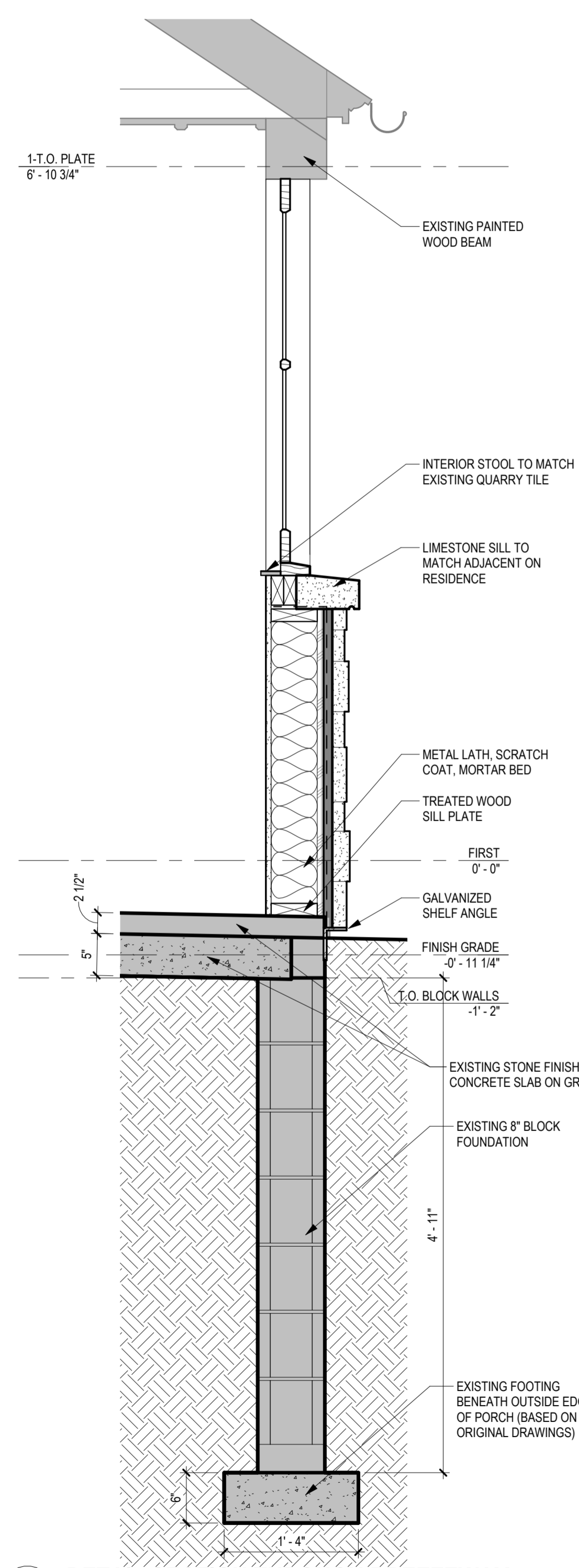
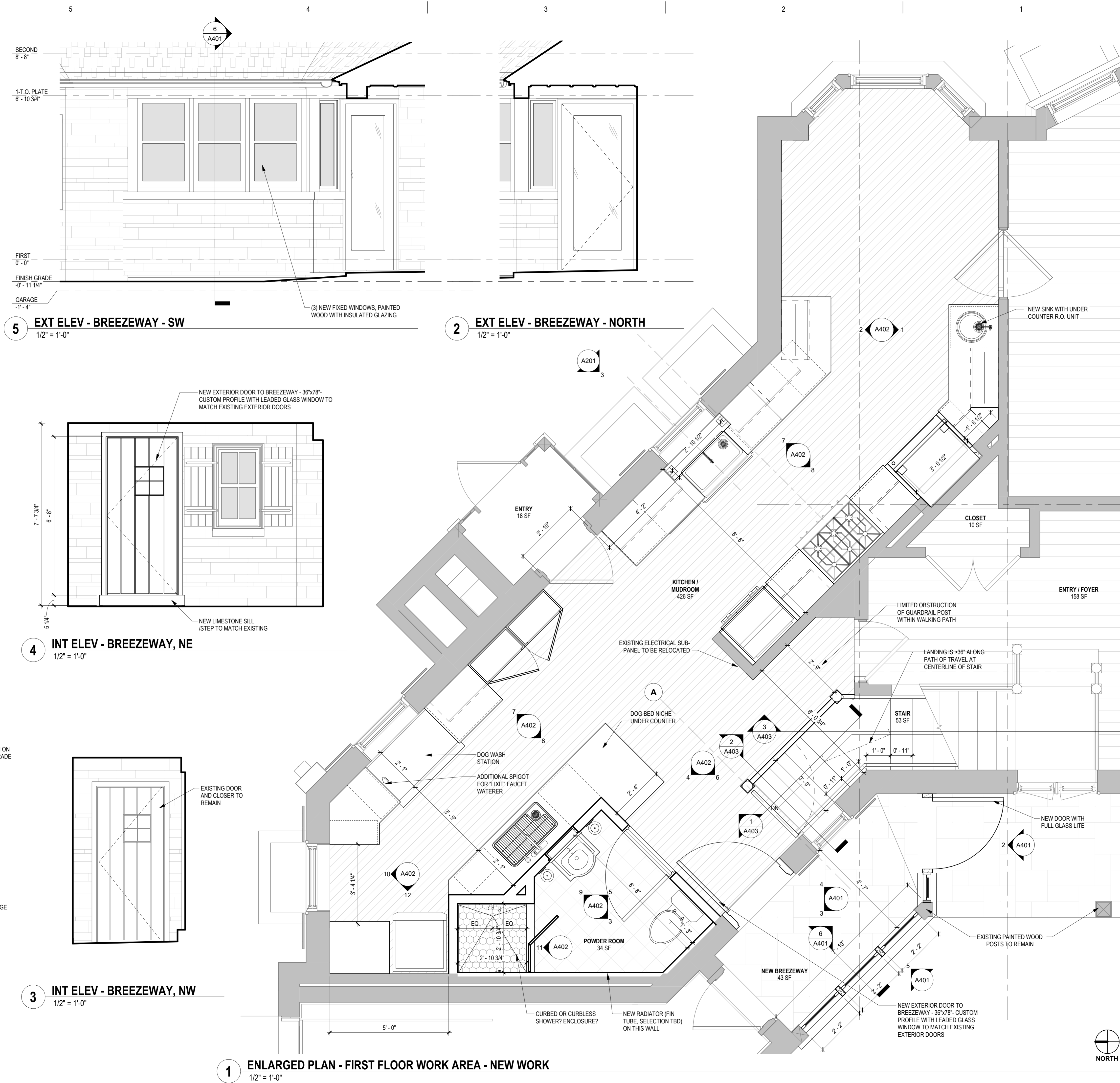
JAN 1, 2026

PROJECT #: 25K-65 PROJECT MANAGER: KS

NOTE: THESE DRAWINGS ARE FORMATTED ON 24" x 36" SHEETS AND ARE TO BE PRINTED FULL SIZE TO SCALE

FIRST FLOOR WORK AREA - NEW WORK

A401



6 DETAIL SECTION THROUGH BREEZEWAY
 1" = 1'-0"

5 EXT ELEV - BREEZEWAY - SW
 1/2" = 1'-0"

2 EXT ELEV - BREEZEWAY - NORTH
 1/2" = 1'-0"

4 INT ELEV - BREEZEWAY, NE
 1/2" = 1'-0"

3 INT ELEV - BREEZEWAY, NW
 1/2" = 1'-0"

1 ENLARGED PLAN - FIRST FLOOR WORK AREA - NEW WORK
 1/2" = 1'-0"



PROJECT INFORMATION:

BRICKMAN RESIDENCE

1572 E GOODRICH LN
 FOX POINT, WI 53217

DRAWING ISSUANCE:

PERMIT SET

REVISIONS

| # | REVISION | DATE |
|---|----------|------|
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STAMP:



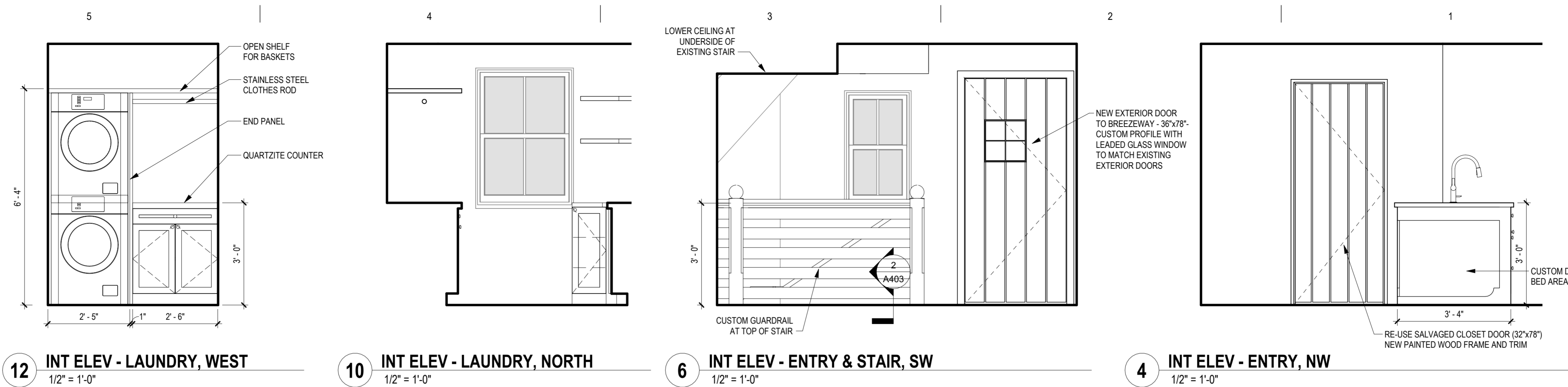
JAN 1, 2026

PROJECT #: 25K-65 PROJECT MANAGER: KS

NOTE: THESE DRAWINGS ARE FORMATTED ON 24" x 36" SHEETS AND ARE TO BE PRINTED FULL SIZE TO SCALE

FIRST FLOOR WORK AREA - ELEVATIONS

A402

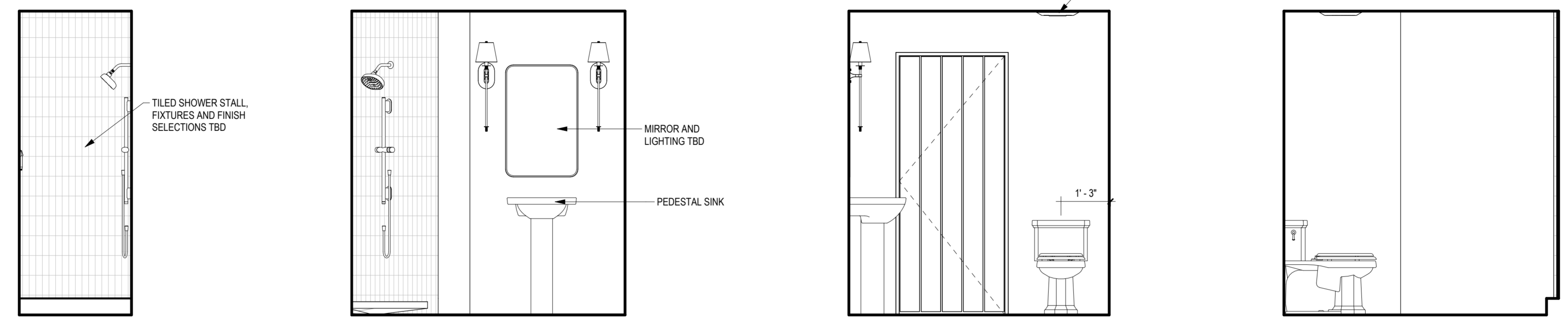


12 INT ELEV - LAUNDRY, WEST
 1/2" = 1'-0"

10 INT ELEV - LAUNDRY, NORTH
 1/2" = 1'-0"

6 INT ELEV - ENTRY & STAIR, SW
 1/2" = 1'-0"

4 INT ELEV - ENTRY, NW
 1/2" = 1'-0"



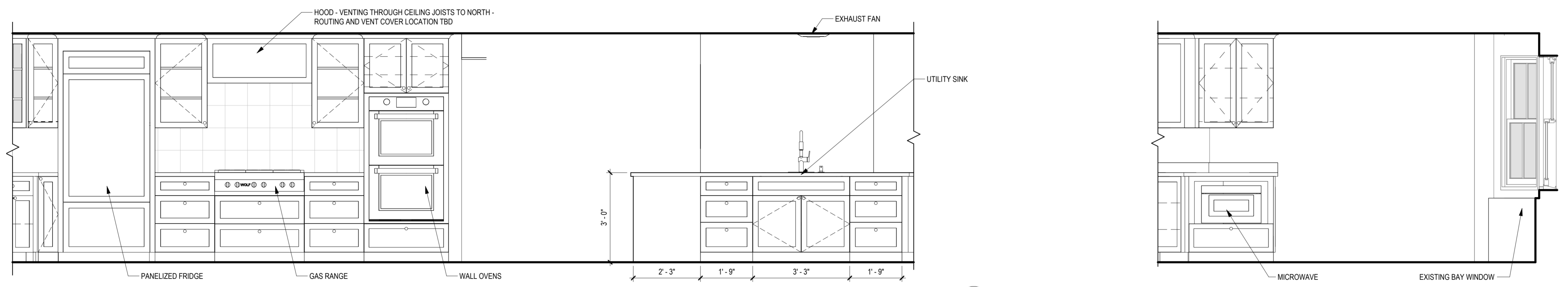
11 INT ELEV - POWDER ROOM SHOWER
 1/2" = 1'-0"

9 INT ELEV - POWDER ROOM, NE
 1/2" = 1'-0"

5 INT ELEV - POWDER ROOM, SE
 1/2" = 1'-0"

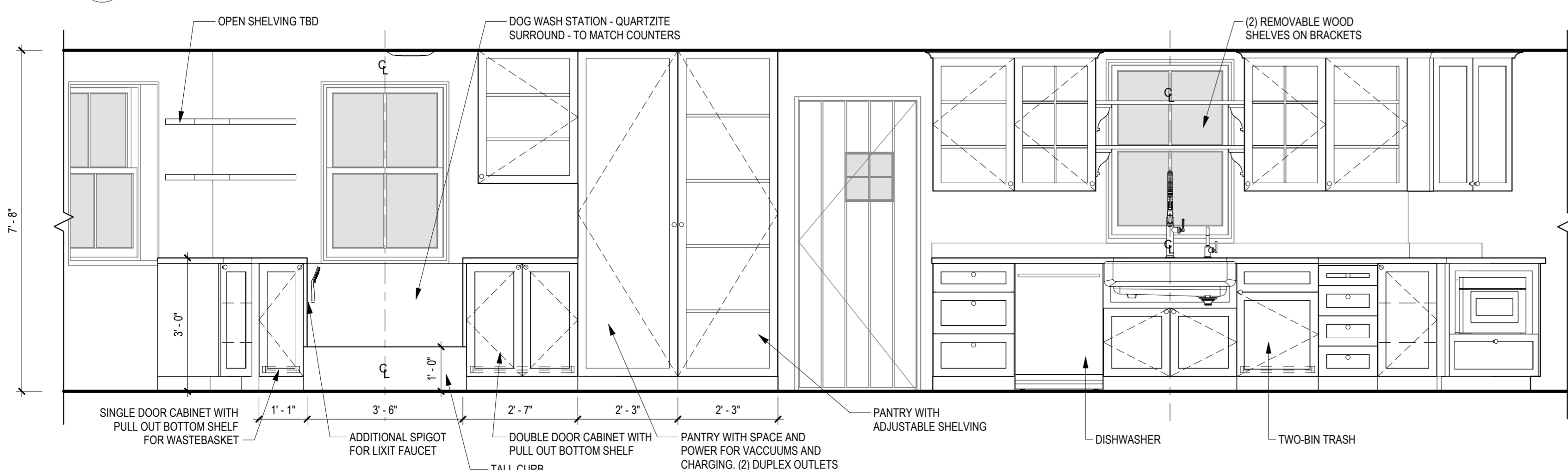
3 INT ELEV - POWDER ROOM, SW
 1/2" = 1'-0"

GENERAL NOTE:
 • INTERIOR ELEVATIONS ARE SHOWN FOR DESIGN REFERENCE ONLY. ALL FIXTURES, FINISHES AND FUNCTIONALITY TBD
 • CABINET AND COUNTER SHOP DRAWINGS ARE TO BE BY OTHERS.



8 INT ELEV - MUDROOM & KITCHEN, SW
 1/2" = 1'-0"

2 INT ELEV - KITCHEN - NORTH
 1/2" = 1'-0"



7 INT ELEV - MUDROOM & KITCHEN, NE
 1/2" = 1'-0"

1 INT ELEV - KITCHEN - SOUTH
 1/2" = 1'-0"



KSK ARCHITECTS

KEITH STACHOWIAK, AIA | M: 414.313.3065
KEITH@KSK-ARCHITECTS.COM
608 E BURLEIGH ST | MILWAUKEE WI 53212

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PROJECT INFORMATION:

BRICKMAN RESIDENCE

1572 E GOODRICH LN
FOX POINT, WI 53217

DRAWING ISSUANCE:

PERMIT SET

REVISIONS

| # | REVISION | DATE |
|---|----------|------|
| | | |

STAMP:



JAN 1, 2026

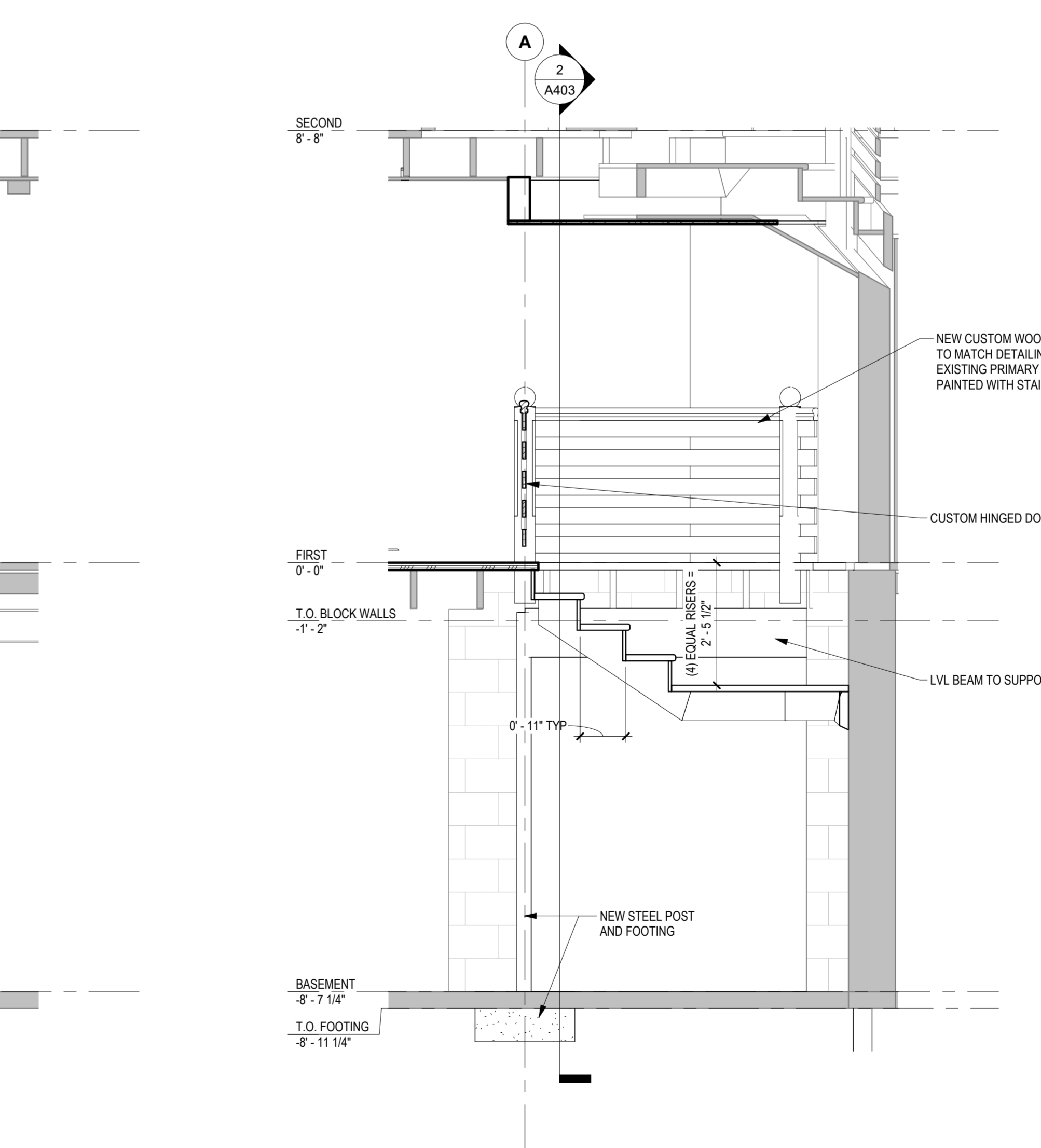
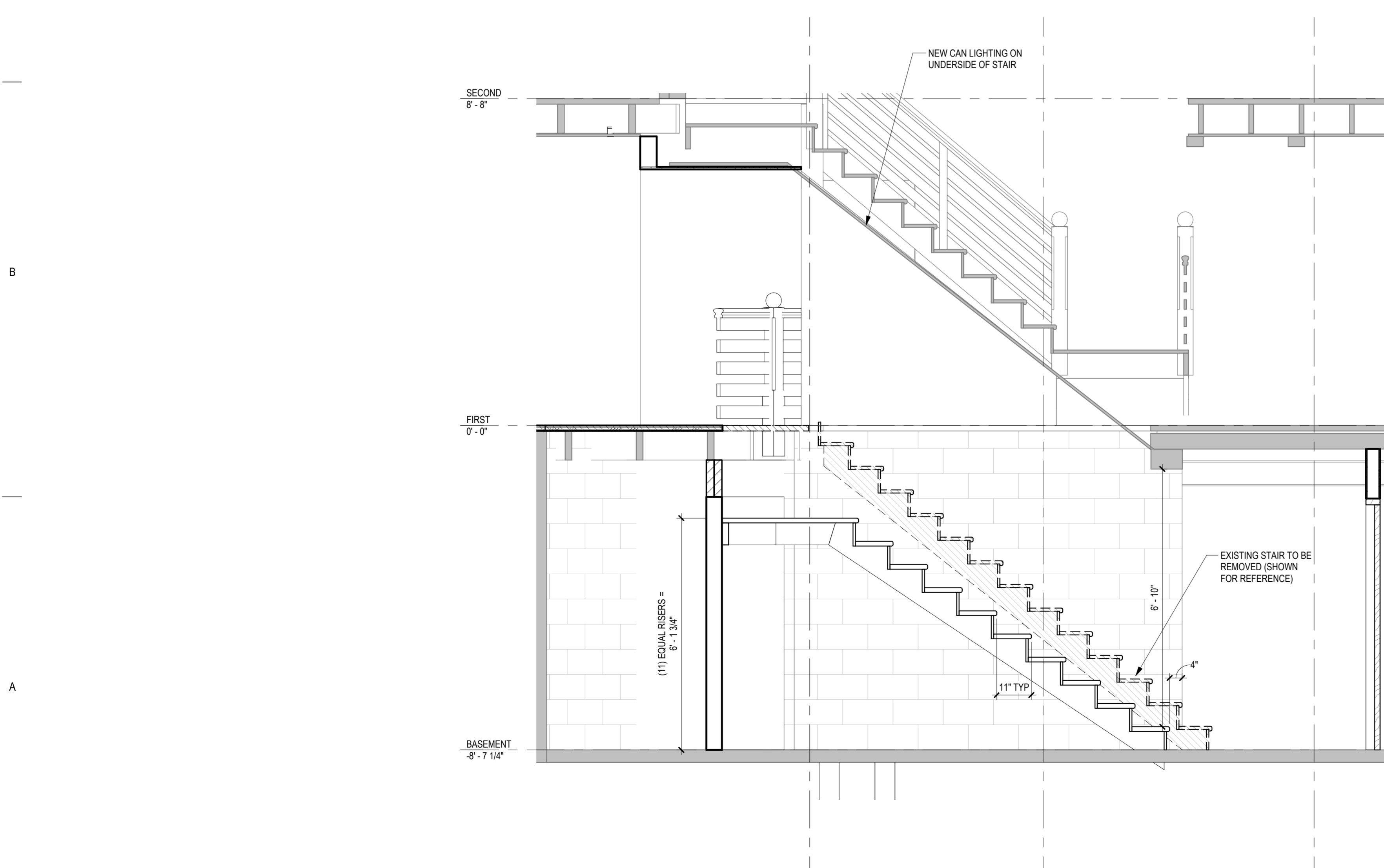
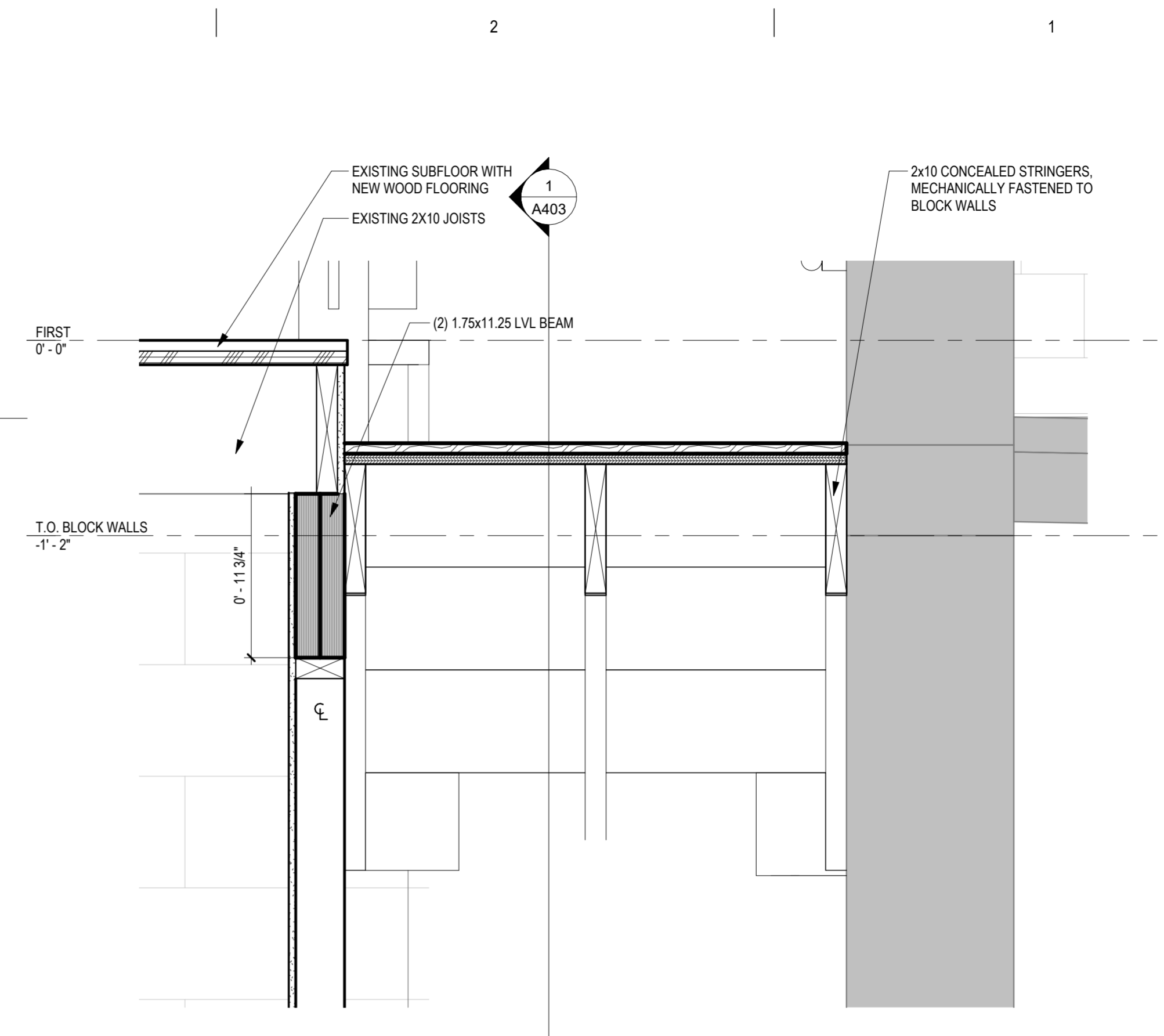
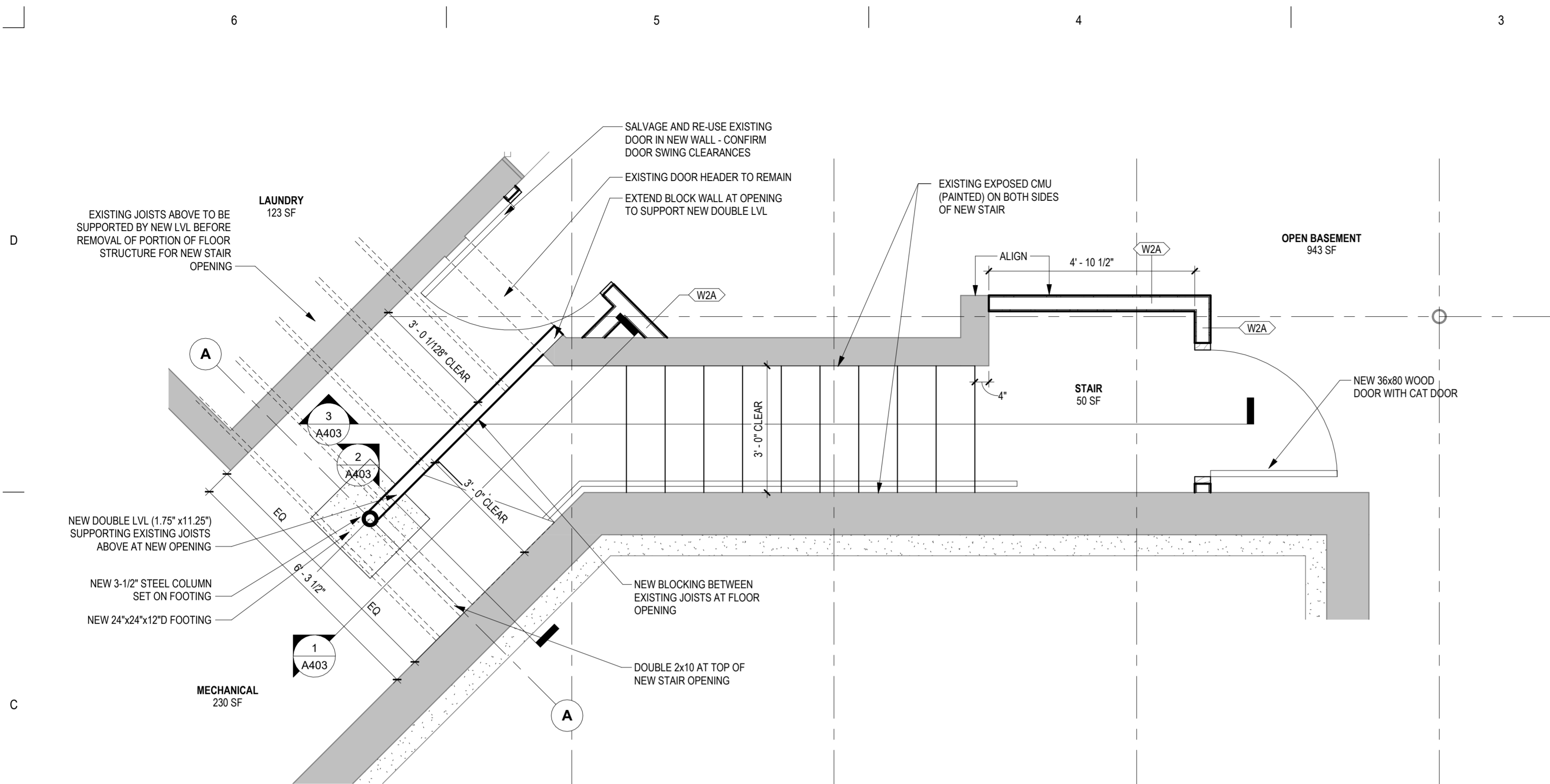
| PROJECT # | PROJECT MANAGER |
|-----------|-----------------|
| 25K-65 | KS |

NOTE: THESE DRAWINGS ARE FORMATTED ON 24" x 36" SHEETS AND ARE TO BE PRINTED FULL SIZE TO SCALE

BASEMENT STAIR - ENLARGED PLAN AND DETAILS

A403

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3 SECTION THROUGH STAIR BELOW LANDING
1/2" = 1'-0"

1 SECTION THROUGH STAIR ABOVE LANDING
1/2" = 1'-0"

PROJECT INFORMATION:
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1572 E GOODRICH LN
 FOX POINT, WI 53217

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JAN 1, 2026

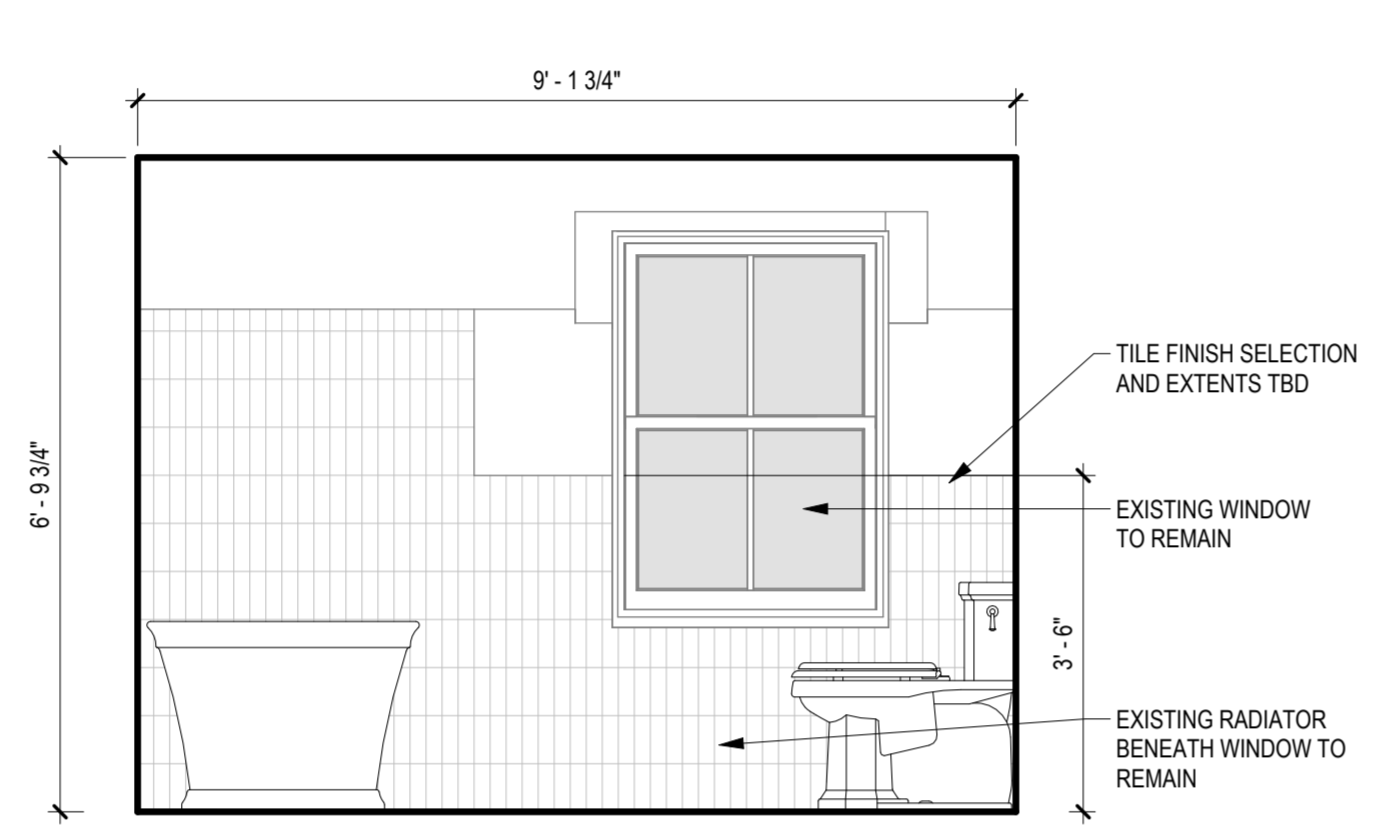
PROJECT #: 25K-65 PROJECT MANAGER: KS

NOTE: THESE DRAWINGS ARE FORMATTED ON 24" x 36" SHEETS AND ARE TO BE PRINTED FULL SIZE TO SCALE

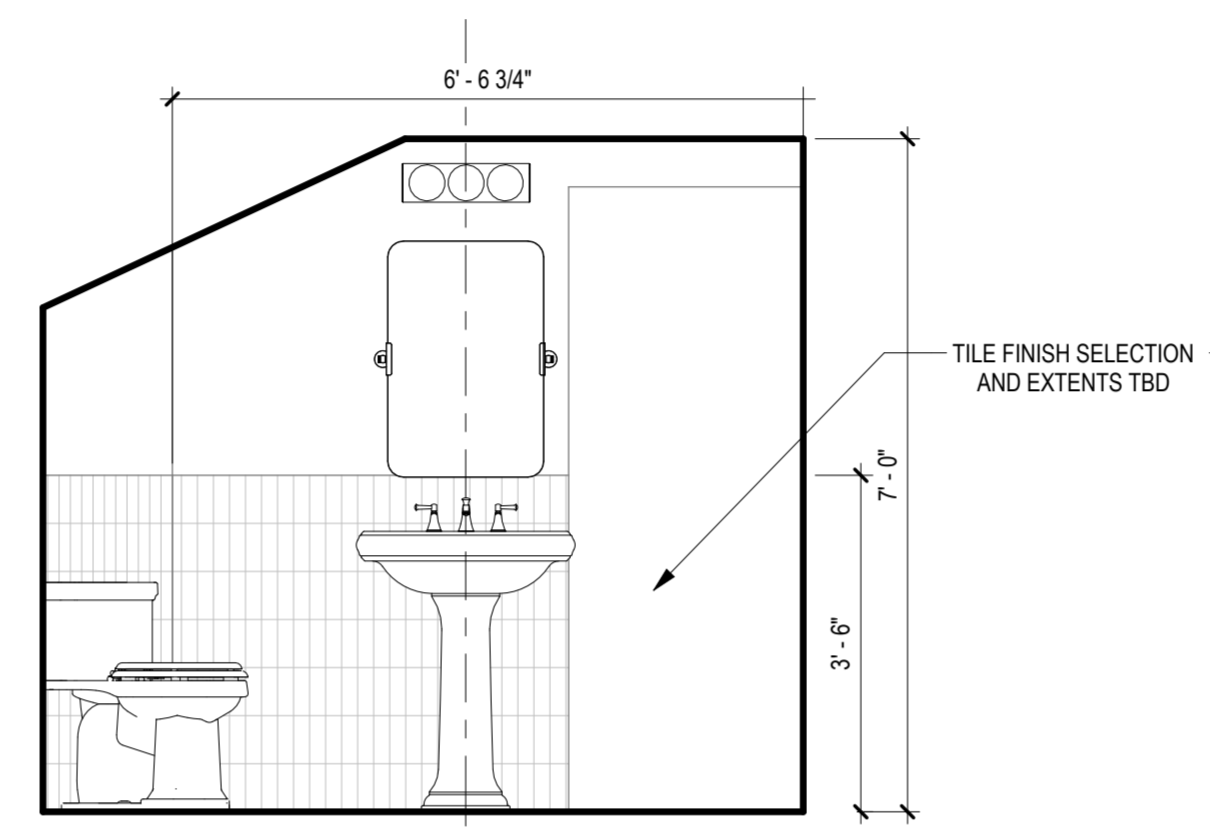
SECOND FLOOR BATH - ENLARGED PLAN AND ELEVATIONS

A404

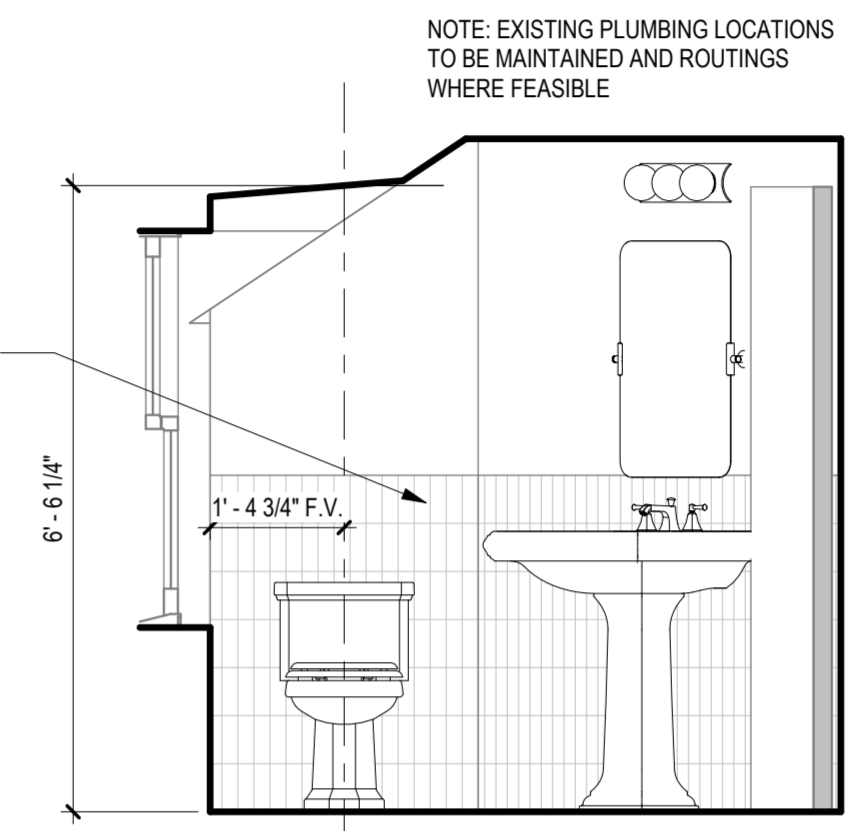
© 2025 KSK ARCHITECTS, LLC



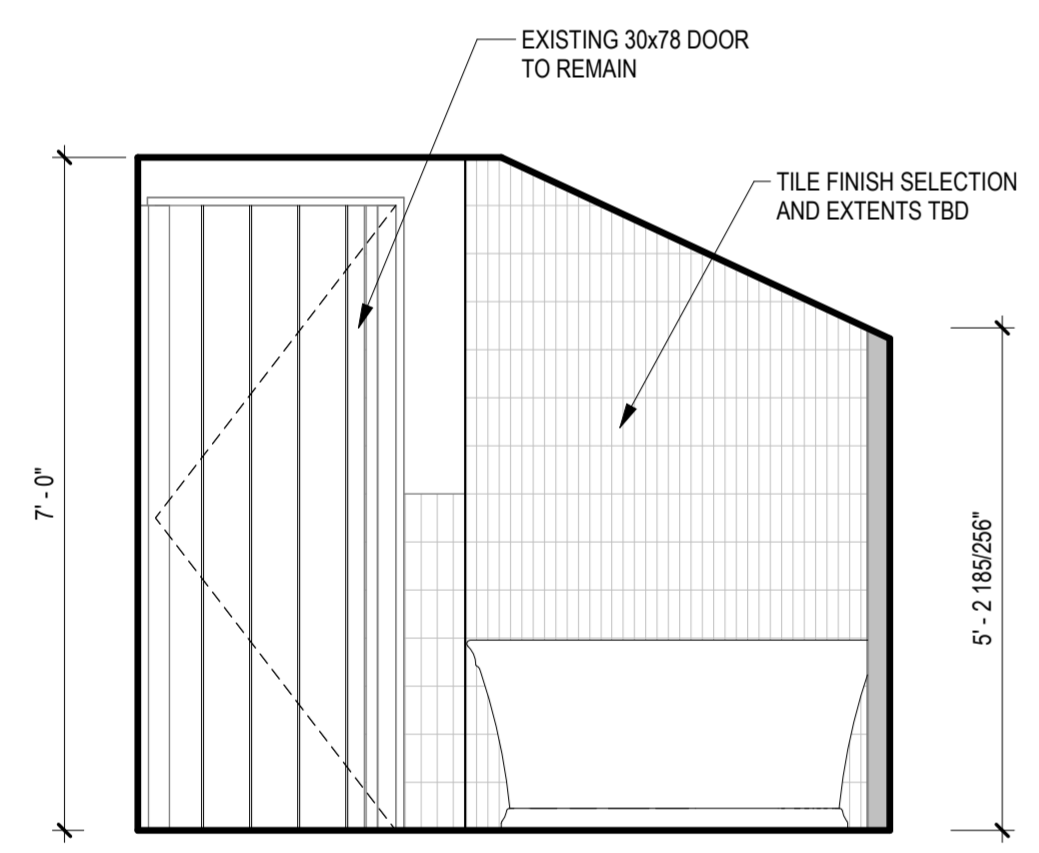
5 INT ELEV - SECOND BATH - NE
 1/2" = 1'-0"



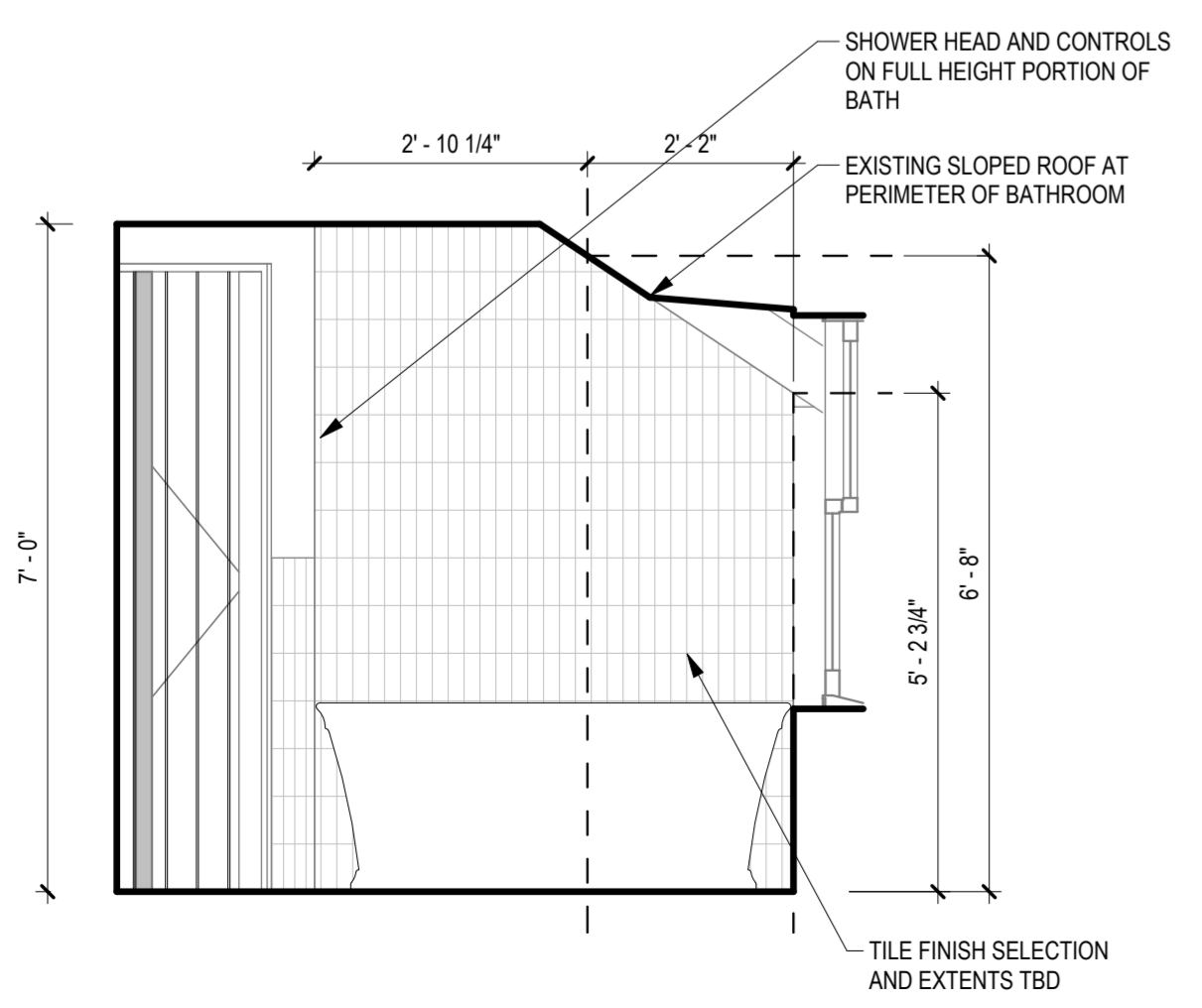
3 INT ELEV - SECOND BATH - S
 1/2" = 1'-0"



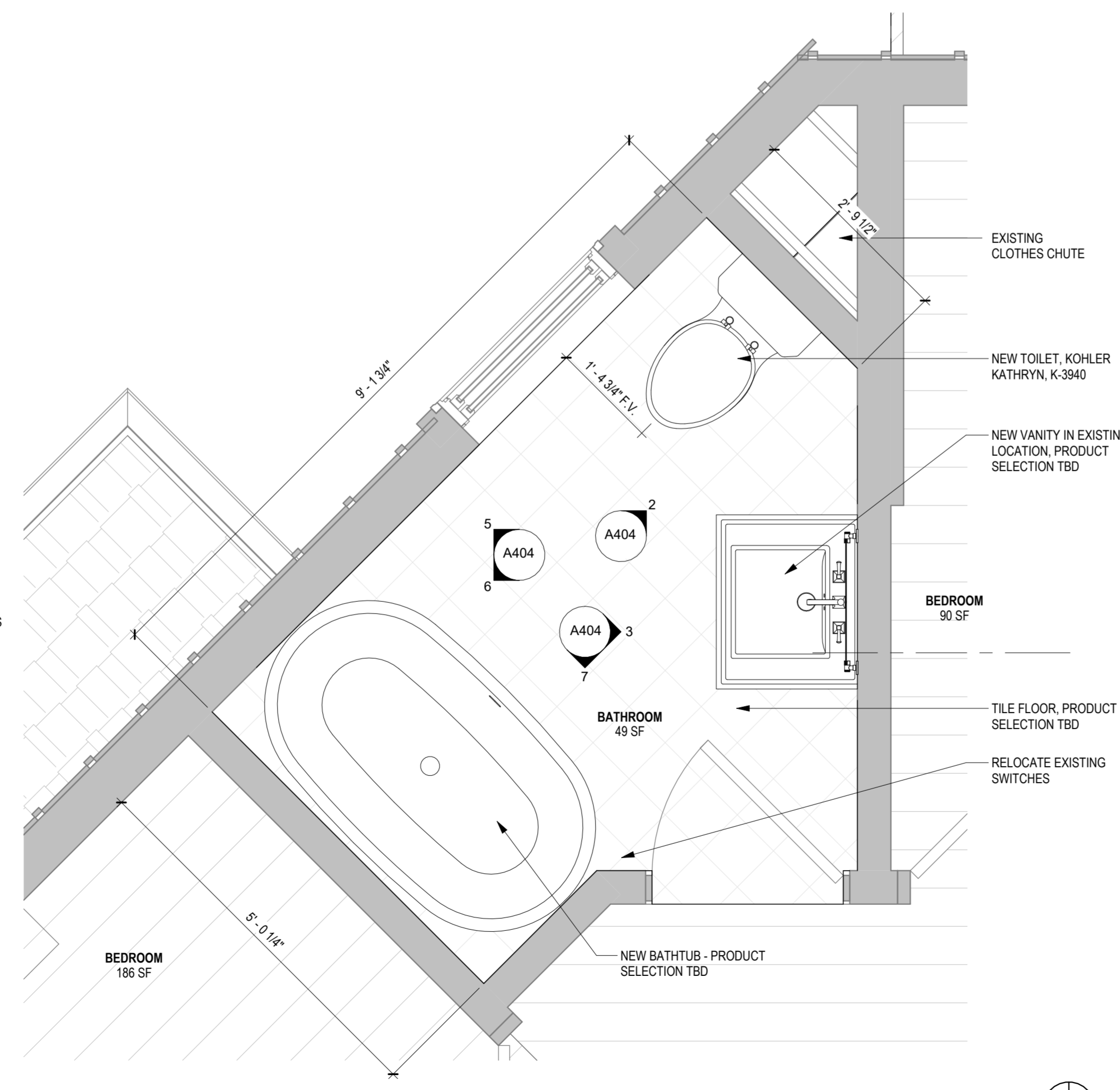
2 INT ELEV - SECOND BATH - SE
 1/2" = 1'-0"



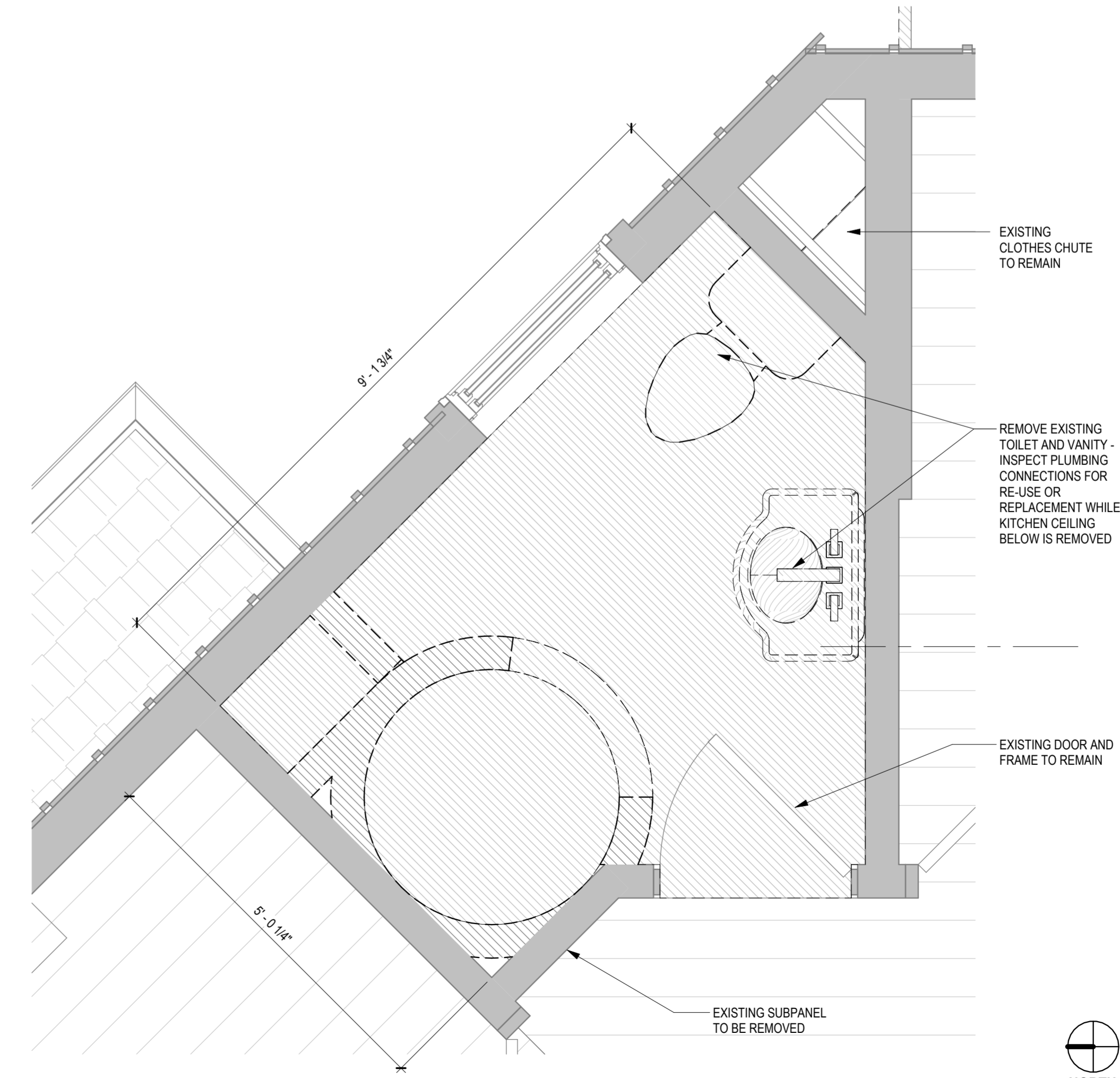
7 INT ELEV - SECOND BATH - W
 1/2" = 1'-0"



6 INT ELEV - SECOND BATH - NW
 1/2" = 1'-0"



4 ENLARGED PLAN - SECOND FLOOR BATH - NEW WORK
 3/4" = 1'-0"



1 ENLARGED PLAN - SECOND FLOOR BATH - DEMOLITION
 3/4" = 1'-0"

PROJECT INFORMATION:

BRICKMAN RESIDENCE

1572 E GOODRICH LN
 FOX POINT, WI 53217

DRAWING ISSUANCE:

PERMIT SET

REVISIONS

| # | REVISION | DATE |
|---|----------|------|
| | | |

STAMP:



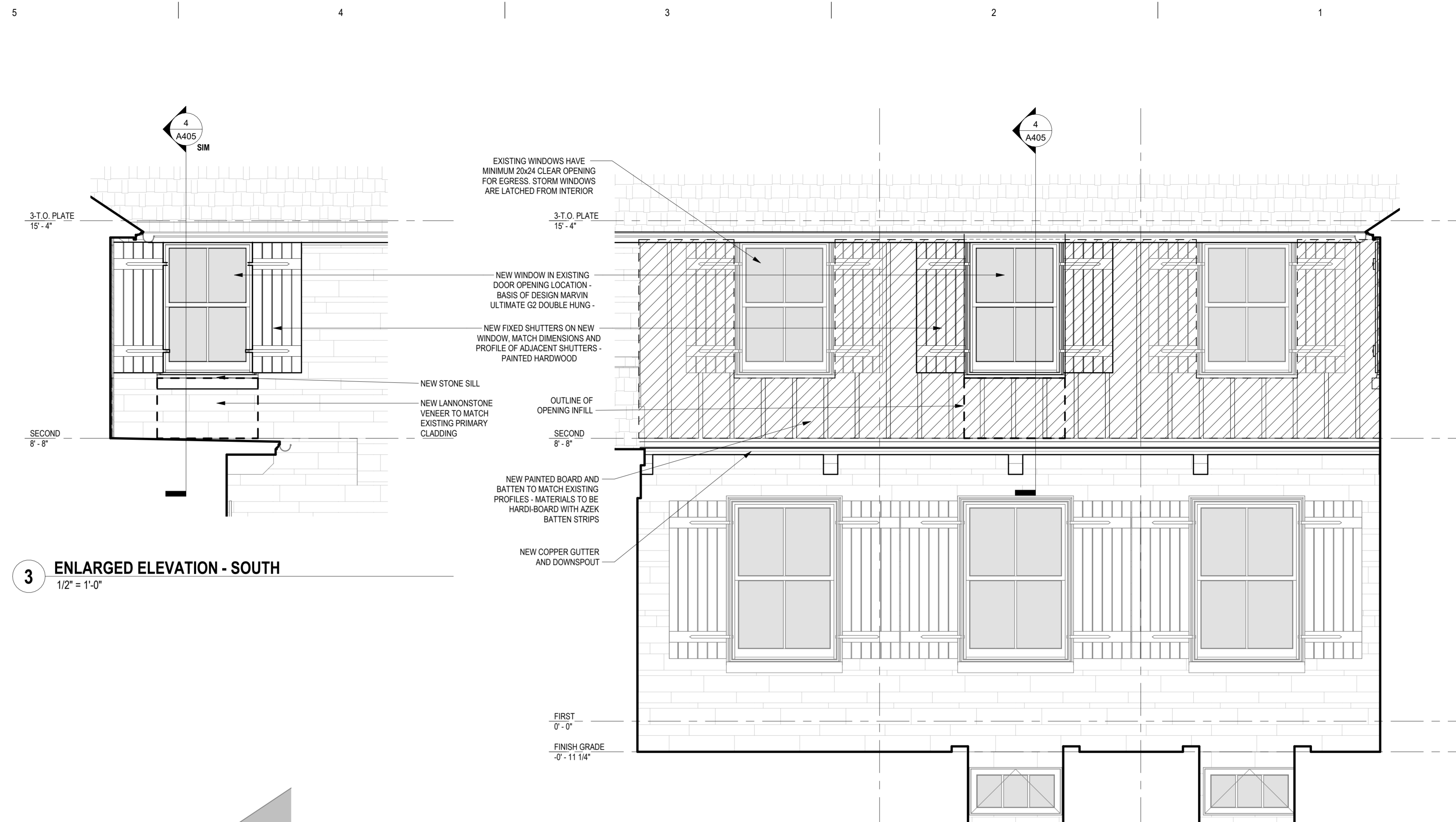
JAN 1, 2026

PROJECT #: 25K-65 PROJECT MANAGER: KS

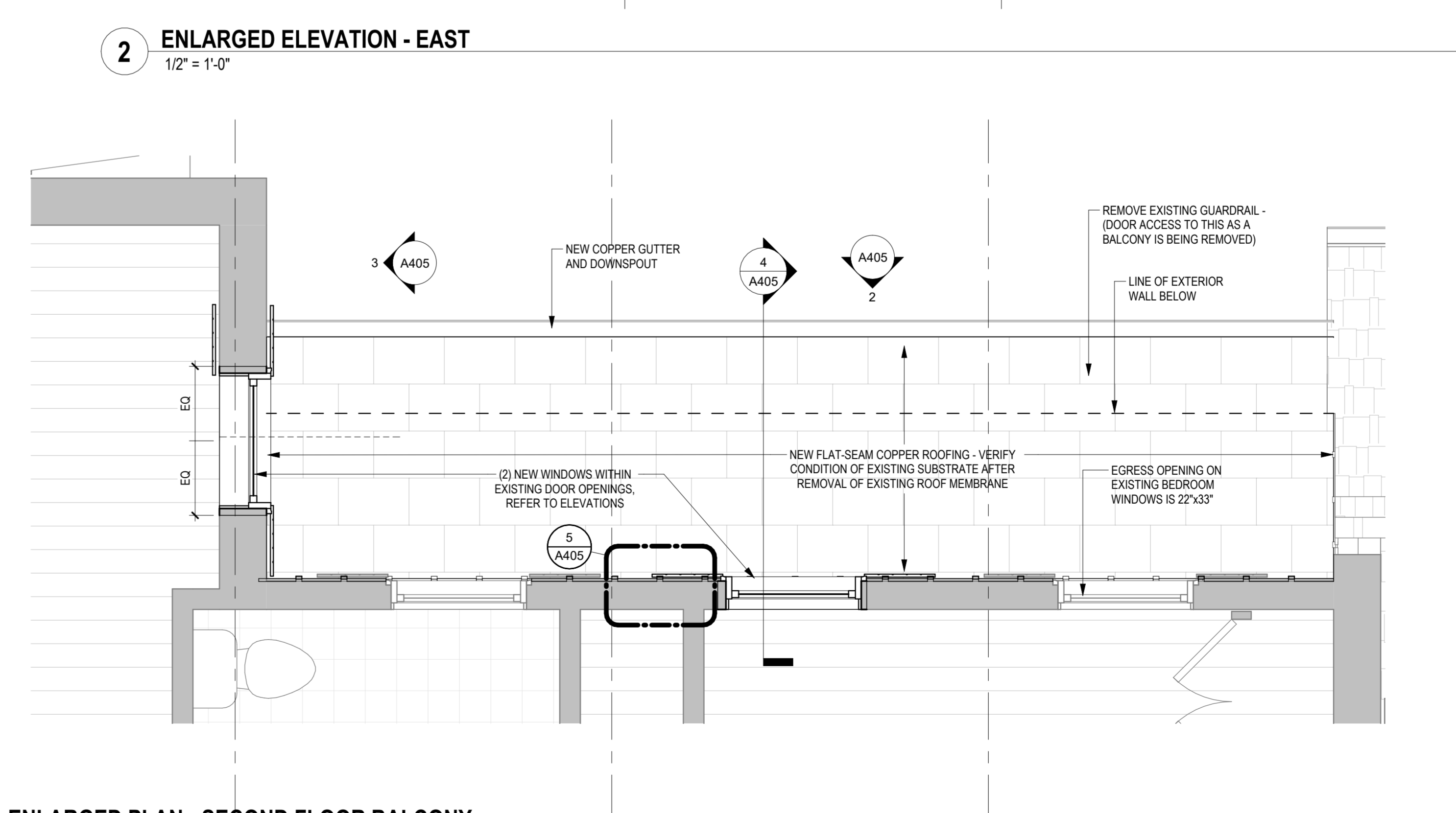
NOTE: THESE DRAWINGS ARE FORMATTED ON 24" x 36" SHEETS AND ARE TO BE PRINTED FULL SIZE TO SCALE

SECOND FLOOR BALCONY - ENLARGED PLAN AND DETAILS

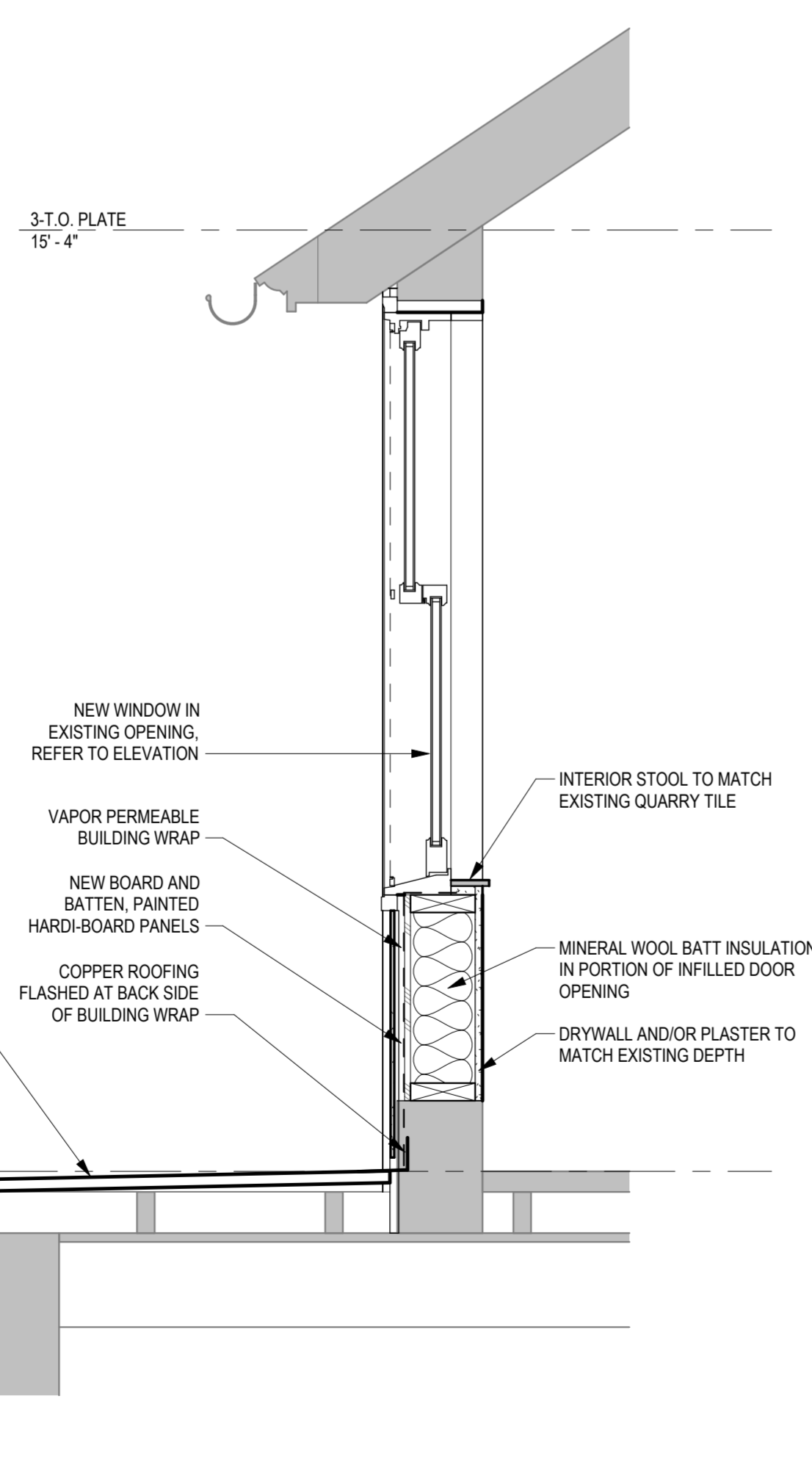
A405



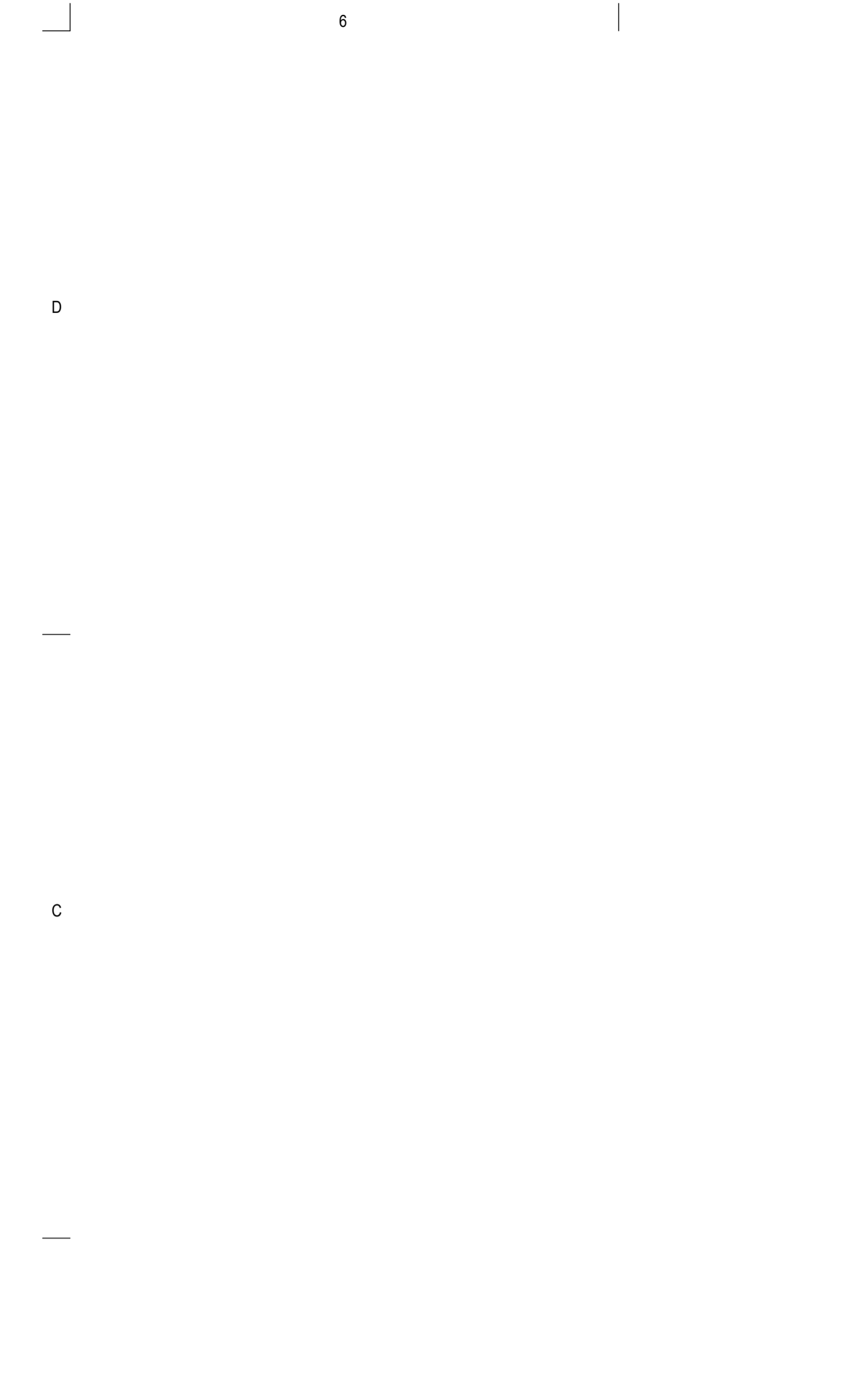
3 ENLARGED ELEVATION - SOUTH
 1/2" = 1'-0"



1 ENLARGED PLAN - SECOND FLOOR BALCONY
 1/2" = 1'-0"



4 SECTION THROUGH BALCONY
 1" = 1'-0"



5 DETAIL THROUGH BOARD AND BATTEN
 1 1/2" = 1'-0"



SOUTHWEST ELEVATION - GARAGE AND PORCH



SOUTHWEST ELEVATION - PORCH AND GARAGE ENTRY



WEST ELEVATION - FRONT ENTRY



WEST ELEVATION - FRONT ENTRY



SOUTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



EAST ELEVATION



EAST ELEVATION



NORTHEAST ELEVATION - REAR ENTRY TO KITCHEN



NORTH ELEVATION - GARAGE



WEST ELEVATION - SIDE OF GARAGE



VIEW OF WEST FACADE



**1572 E GOODRICH LANE
FOX POINT, WI 53217**



VIEW OF MAIN ENTRY



**1572 E GOODRICH LANE
FOX POINT, WI 53217**



VIEW OF NEW BREEZEWAY



**1572 E GOODRICH LANE
FOX POINT, WI 53217**



VIEW OF WEST FACADE AND BALCONY



**1572 E GOODRICH LANE
FOX POINT, WI 53217**



OVERHEAD VIEW OF BALCONY



**1572 E GOODRICH LANE
FOX POINT, WI 53217**



OVERHEAD VIEW OF ROOF



1572 E GOODRICH LANE
FOX POINT, WI 53217



VILLAGE OF FOX POINT

7200 N Santa Monica Blvd
 Fox Point, WI 53217
 (414) 247-6622
 www.villageoffoxpoint.com

Permit Number:

B- _____

| OFFICE USE ONLY | |
|-----------------|---------|
| Issued Date | |
| Zoning | A1, 60' |

BUILDING PERMIT

| | |
|--|---|
| Job Address 7505 N. Beach Dr. Fox Point, WI | Building Type: Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> |
| Description of Work New Home Construction | |
| | |
| | |
| Estimated Cost of Project \$1,001,900.00 | |

| Owner/Occupant | |
|--|---|
| Business Name | Contact Name Andrew and Cristina Senger |
| Address 2361 N Wahl Ave | City/State/Zip Milwaukee, WI 53211 |
| Phone Andrew: 815-245-1434 Cristina: 563-505-9982 | Email asengerd@gmail.com cristinastan700@gmail.com |

****Cautionary Statement required when homeowner is applying for permit****

| Contractor | |
|---|--|
| Company Name Alesci Homes Inc. | Contact Name Candice Ahrens |
| Address 3044 S 92nd Street | City/State/Zip West Allis, WI 53227 |
| Phone 414-321-6500 | Email cahrens@alescihomes.com |
| Dwelling Contractor # 069500629 - DC | Dwelling Contractor Qualifier # 090702158 - DCQ |

| Square Footage Under Construction | | | | | | | | | |
|-----------------------------------|------|-----------------------|-----|----------|------|----------|--|--------|------|
| 1 st Floor | 2354 | 2 nd Floor | 901 | Basement | 2354 | Addition | | Garage | 1112 |

| Description | Rate | Amount |
|--|-------------------------|----------------|
| Project - Per \$1,000 of estimated cost | \$10.00 | |
| Building Board | \$75.00 | |
| Footing early start - \$230.00 one and two family; \$305.00 commercial | | |
| Plan Review - \$275.00 one and two family; New Single Family Construction \$330.00 plus \$30.00/unit commercial | | |
| State Seal | \$75.00 | |
| Razing, Interior Demolition \$925.00 max/bld \$95.00 minimum plus | \$0.13/sqft | |
| Moving buildings \$250.00 plus | \$0.13/sqft | |
| Fuel tanks - Per 1,000 gallons | \$25.00 | |
| Re-inspection | \$100.00 | |
| Work started without permit | Double | |
| | Minimum Fee | \$70.00 |
| Payable to: Village of Fox Point | Total Permit Fee | \$ |

Applicant Signature Alesci Homes Inc. - Candice Ahrens **Date** 11/25/2025

Rev 01/22

ISSUED PERMITS are available on the Village website under **PERMITS & LICENSES**

VILLAGE OF FOX POINT
7200 N. SANTA MONICA BLVD
FOX POINT WI 53217

414-351-8900

Receipt No: 1.000062157

Nov 25, 2025

7505 N BEACH DR

| | |
|--|-------|
| Previous Balance: | .00 |
| LICENSES & PERMITS - BUILDING PLANS - FILING FEE | 75.00 |
| 24-44440 BUILDING BOARD - FEE | |

| | |
|--------|-------|
| Total: | 75.00 |
|--------|-------|

| | | |
|-------|-------------------------|-------|
| CHECK | Check No: 34924 | 75.00 |
| | Payor: ALESCI HOMES INC | |

| | |
|----------------|-------|
| Total Applied: | 75.00 |
|----------------|-------|

| | |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

Duplicate Copy

11/25/2025 3:17 PM

PLAT OF SURVEY WITH PROPOSED IMPROVEMENTS

ZONING

The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A item 6(a) nor to be relied on for site development purposes.

Municipal Code: Sec. 745-13
 Site is zoned: A-1 (Residence District)
 Front setback: 30 feet
 Side setback: 20 feet
 Rear setback: 20 feet

OPEN SPACE
 94.87% open space left

STARTING BENCHMARK: 592.479 (NGVD 29)
 REFERENCE MARK FOR THE MEANDER CORNER OF THE NE COR. OF THE SE 1/4 SEC. 16, T8N, R22E.
 CHISELED CROSS IN TOP OF NW SIDE OF HYDRANT FLANGE.
 (APPROXIMATELY 550' NORTH OF SITE, 2.6 FEET ABOVE GROUND)

CLIENT

Barenz Builders

SITE ADDRESS

7505 North Beach Drive, Village of Fox Point, Milwaukee County, Wisconsin.

LEGAL DESCRIPTION

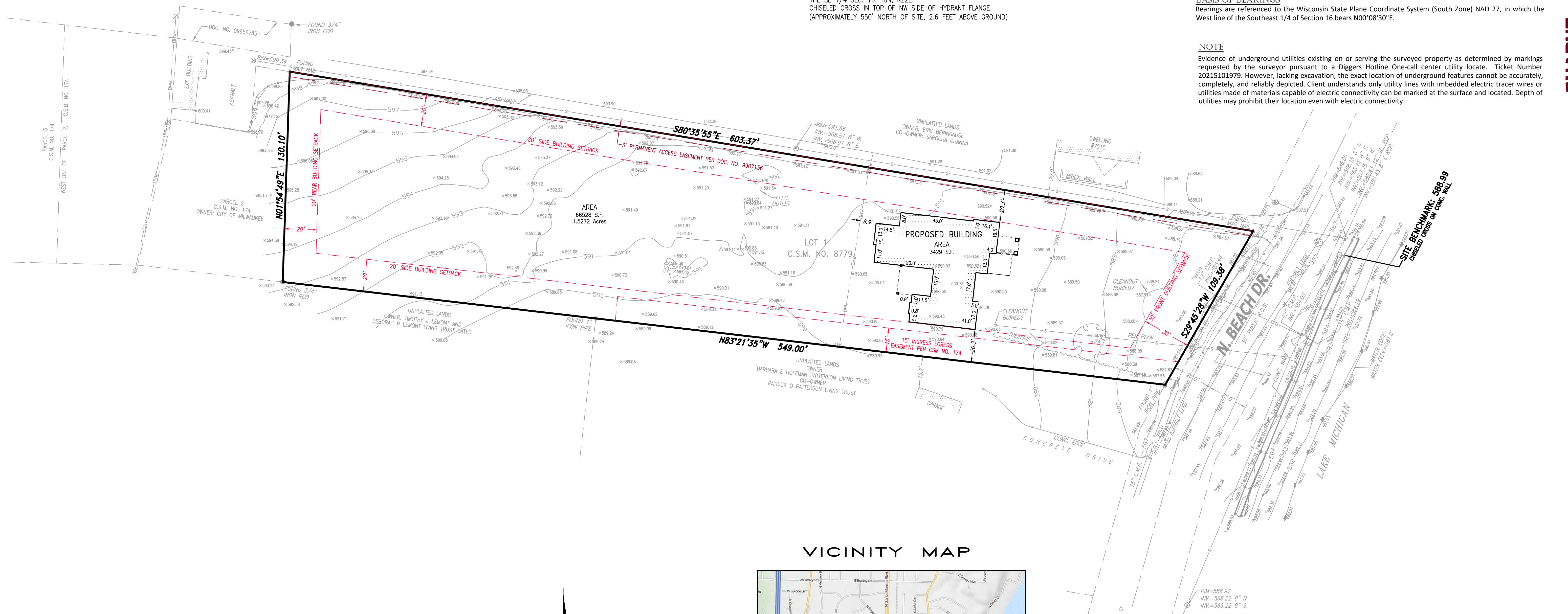
Lot One (1) of Certified Survey Map No. 8779, recorded in the Office of Register of Deeds for Milwaukee County, Wisconsin on March 10, 2016, as Document No. 10546234, a division of all of Parcel 1 and part of Parcel 2 of Certified Survey Map No. 174 in the Northwest One-quarter (1/4) and Northeast One-quarter (1/4) of the Southeast One-quarter (1/4) of Section Sixteen (16), in Township Eight (8) North, Range Twenty-two (22) East, Village of Fox Point, Milwaukee County, Wisconsin.

BEARINGS OF BEARINGS

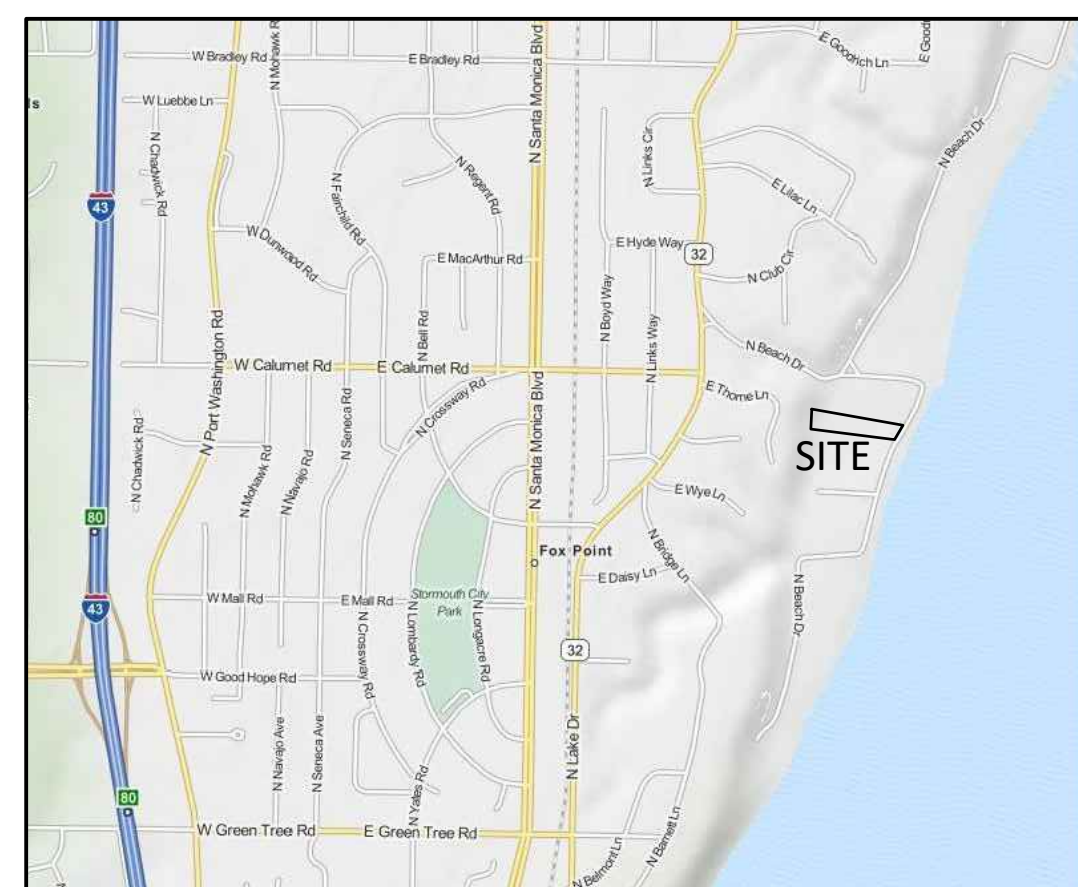
Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone) NAD 27, in which the West line of the Southeast 1/4 of Section 16 bears N00°08'30"E.

NOTE

Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20215101979. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.



VICINITY MAP



I certify that I have surveyed the above described property, and the above map is correct to the best of my professional knowledge and belief and shows the size and location of the Property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements and roadways and visible encroachments, if any. This survey is made for the exclusive use of the present owners of the Property, and also those who purchase, mortgage, or guarantee the title thereto, within one (1) year from date hereof.

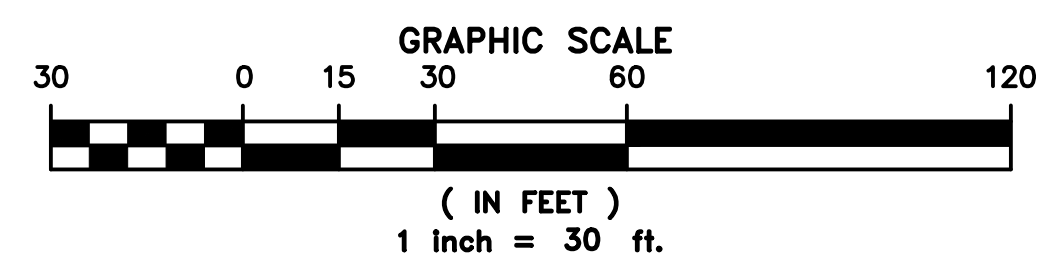
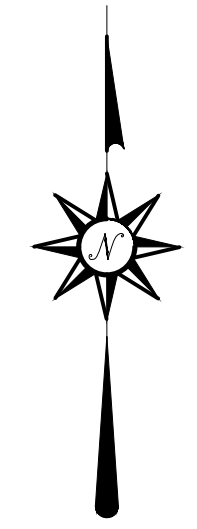
Date: November 24, 2025



John P. Konopacki
 Professional Land Surveyor
 Registration Number S-2461

LEGEND

- | | | |
|--|---|--|
| <ul style="list-style-type: none"> ● INDICATES FOUND 1" IRON PIPE ○ INDICATES SET 1" IRON PIPE + INDICATES FOUND CHISELED CROSS ⊕ SANITARY MANHOLE ⊕ SANITARY CLEANOUT OR VENT ⊕ SEPTIC TANK ACCESS COVER ● M.I.S. MANHOLE ● UNKNOWN MANHOLE ● STORM MANHOLE ● INLET (ROUND) ■ INLET (SQUARE) ▣ CURB INLET ^ STORM SEWER END SECTION ^ GAS VALVE ⊕ GAS METER ⊕ WATER VALVE ⊕ HYDRANT ⊕ WATER MANHOLE ⊕ WATER SERVICE CURB STOP ⊕ WELL HEAD ⊕ STAND PIPE | <ul style="list-style-type: none"> ⊕ WALL INDICATOR VALVE ⊕ POST INDICATOR VALVE ⊕ PARKING METER SIGN ⊕ SPOT/YARD LIGHT ⊕ UTILITY POLE ⊕ GUY POLE ⊕ GUY WIRE ⊕ ELECTRIC MANHOLE ⊕ ELECTRIC PEDESTAL ⊕ ELECTRIC METER ⊕ TELEPHONE MANHOLE ⊕ TELEPHONE PEDESTAL ⊕ CABLE PEDESTAL ⊕ CONTROL BOX ⊕ FIBER OPTIC PEDESTAL/SIGN ⊕ TRAFFIC LIGHT ⊕ COMMUNICATION MANHOLE ⊕ BOLLARD ⊕ SOIL BORING/MONITORING WELL ⊕ WATER SURFACE ⊕ WETLANDS FLAG | <ul style="list-style-type: none"> ▲ MARSH ⊕ FLAGPOLE ⊕ PARKING METER SIGN ⊕ MAILBOX ⊕ RAILROAD CROSSING SIGNAL ⊕ HANDICAP SPACE ★ CONIFEROUS TREE ⊕ DECIDUOUS TREE — S — SANITARY SEWER — STD — STORM SEWER — W — WATERLINE — G — MARKED GAS MAIN — E — MARKED ELECTRIC — O — OVERHEAD WIRES — T — MARKED TELEPHONE — TV — MARKED CABLE TV LINE — FO — MARKED FIBER OPTIC — BS — BURIED ELECTRIC SERVICE — BF — BOARD FENCE — CLF — CHAIN LINK FENCE — WF — WIRE FENCE |
|--|---|--|



CHAPUT LAND SURVEYS

710 N. Plankinton Ave. Ste 720, Milwaukee, WI 53203
 414-224-8068 www.chaputlandsurveys.com

| Date | Revision description |
|------|----------------------|
| | |
| | |
| | |

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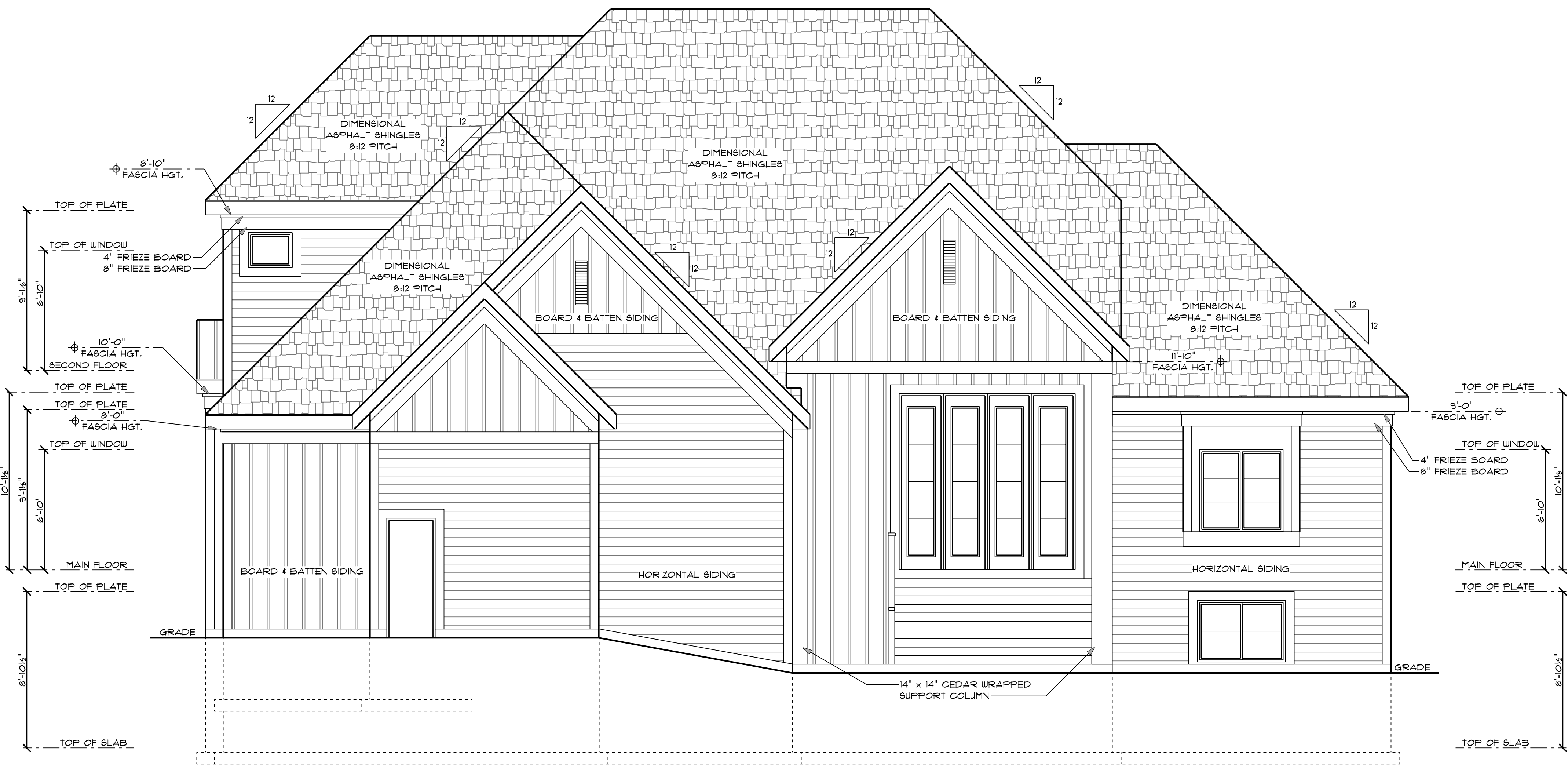
CHAPUT LAND SURVEYS

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ALESCI HOMES
THE "ALINEA"
THE SINGER RESIDENCE

BUILDER:
BUYER:
BUYER:
DRAWN BY: KB
CHECKED BY: MF
FINAL RELEASE: 10/21/25
REVISIONS: 11/24/25 KB
JOB NO. 25-12600

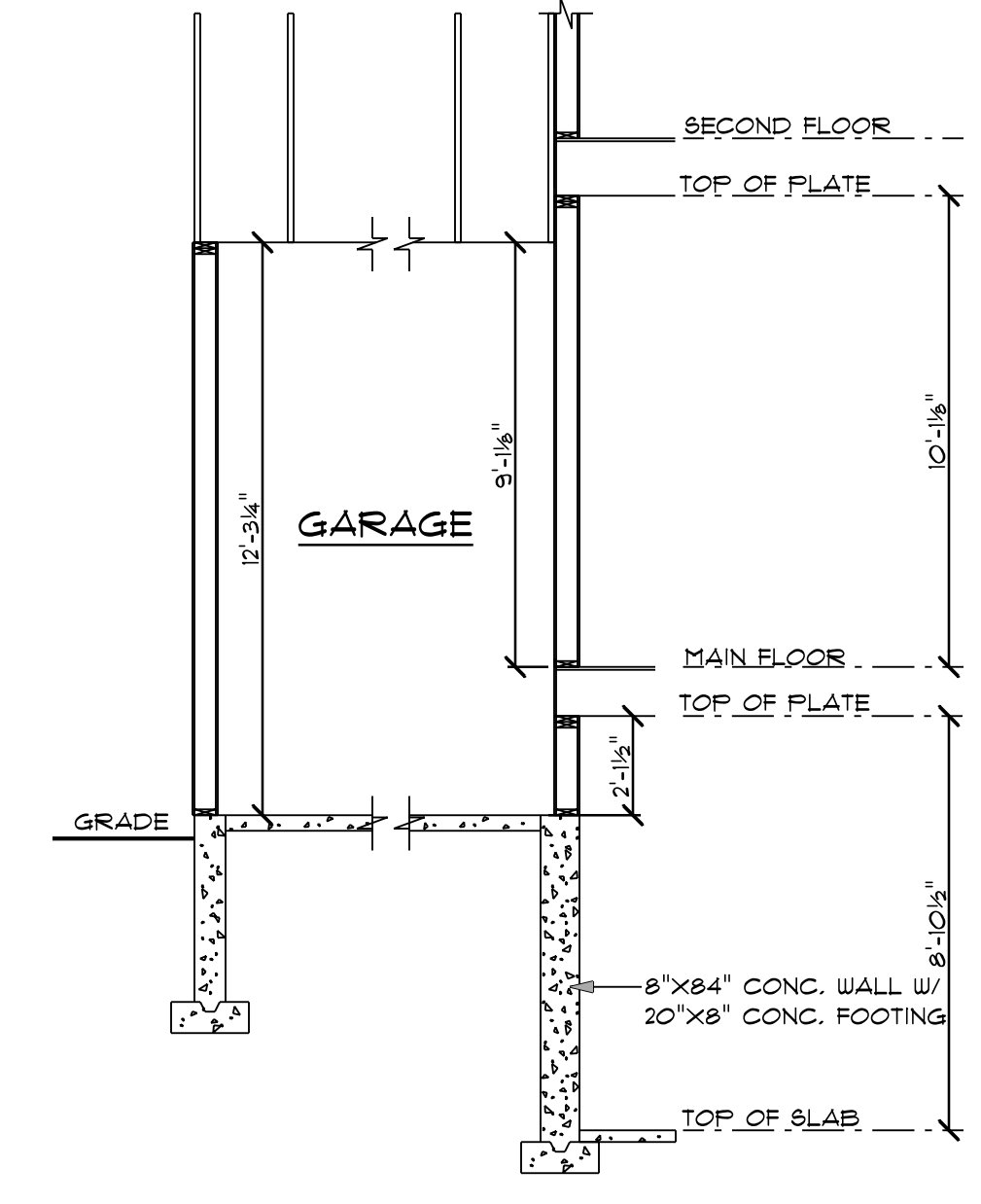


WEST ELEVATION
SCALE: 1/4" = 1'-0"

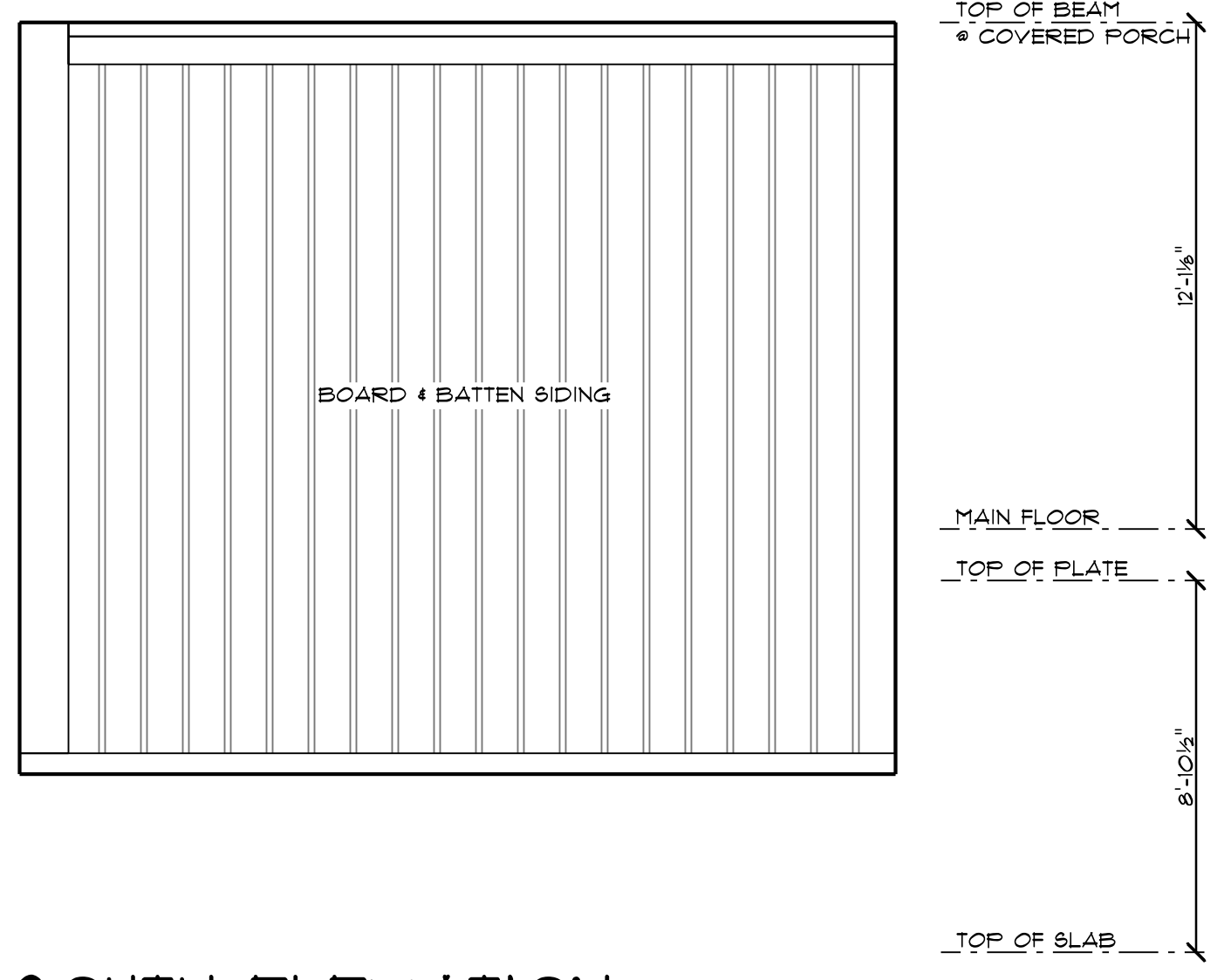


EAST ELEVATION
SCALE: 1/4" = 1'-0"

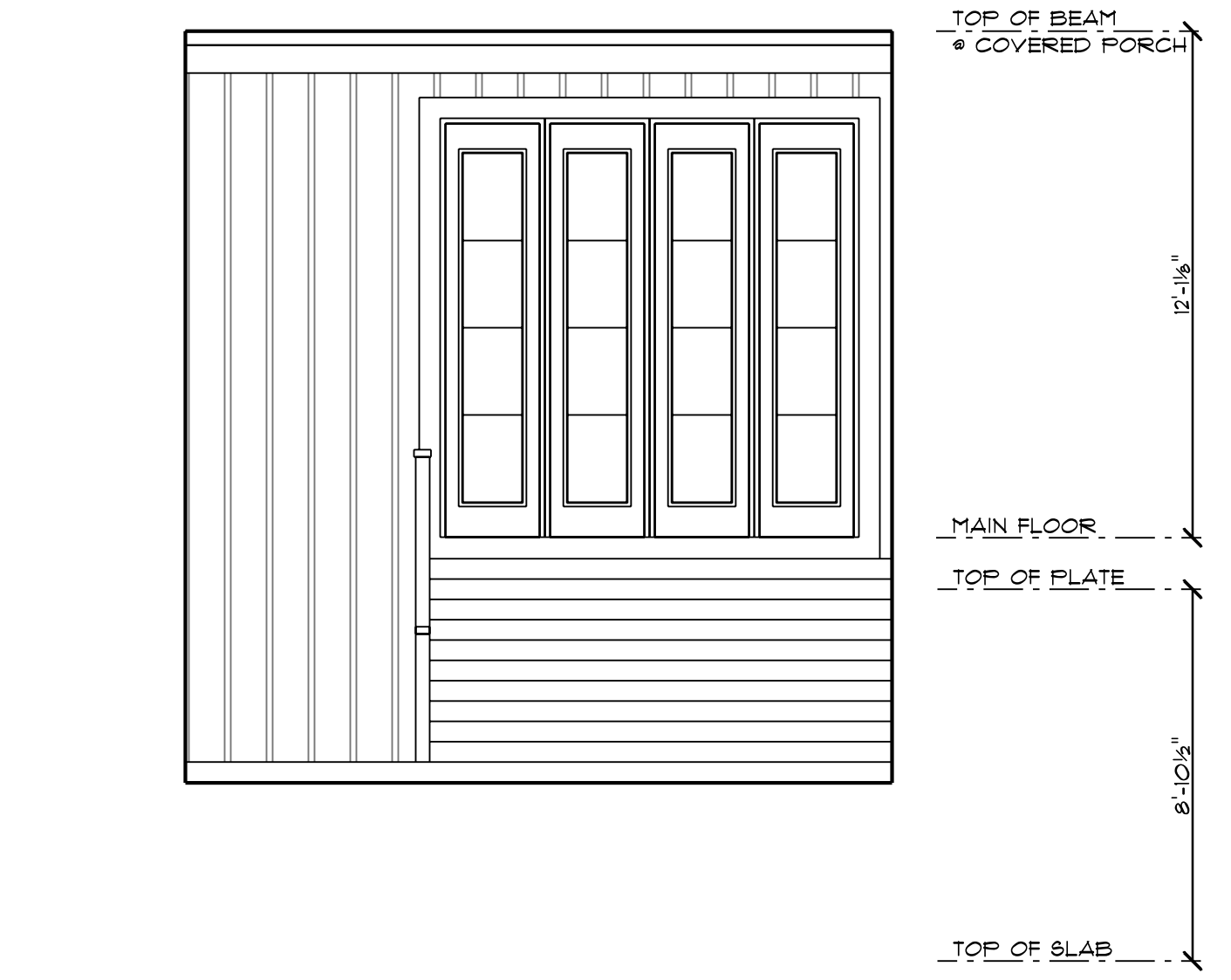
- FLASHING TO BE INSTALLED:**
1. AT WALL AND ROOF INTERSECTIONS
2. WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION
3. AROUND ROOF OPENINGS
4. AT GUTTER APRON
- ROOF DESIGN:**
1. VERIFY HEEL HGTS. ON TRUSSES. ALL HEEL HGTS. MAY NOT BE THE SAME.
2. WALL HGTS. & RAFTERED AREAS MAY NEED TO BE ADJUSTED UP OR DOWN TO MATCH HEEL & TRUSS AREAS SO FASCIA LINES MATCH UP. VERIFY HGTS. W/ TRUSS MFR.
- ROOF VENTILATION:**
1. PROVIDE RIDGE VENTS AND SCFFIT VENTS AS REQ'D BY CODE.



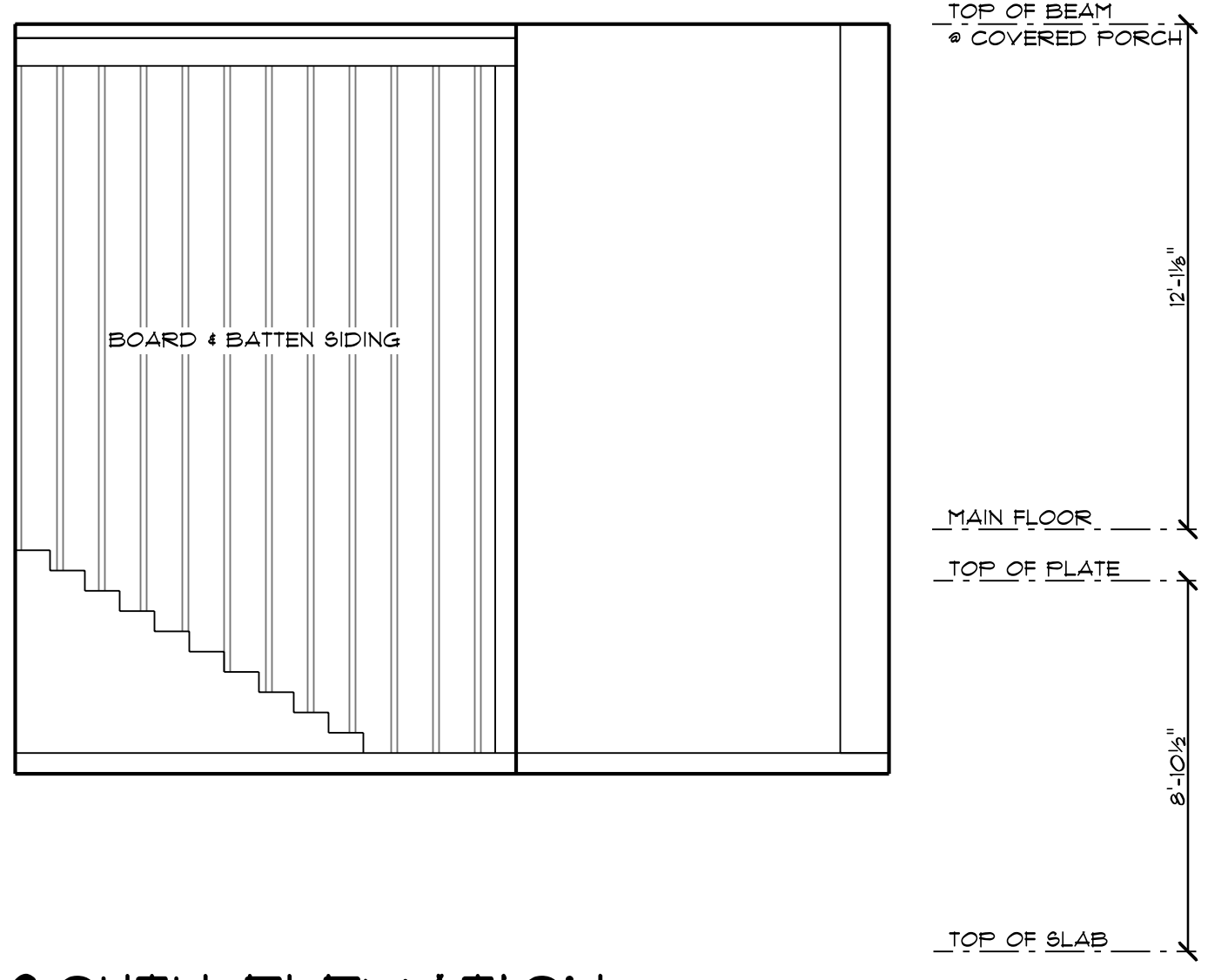
SECTION "A"
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
REAR COVERED PORCH
SCALE: 1/4" = 1'-0"



WEST ELEVATION
REAR COVERED PORCH
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
REAR COVERED PORCH
SCALE: 1/4" = 1'-0"

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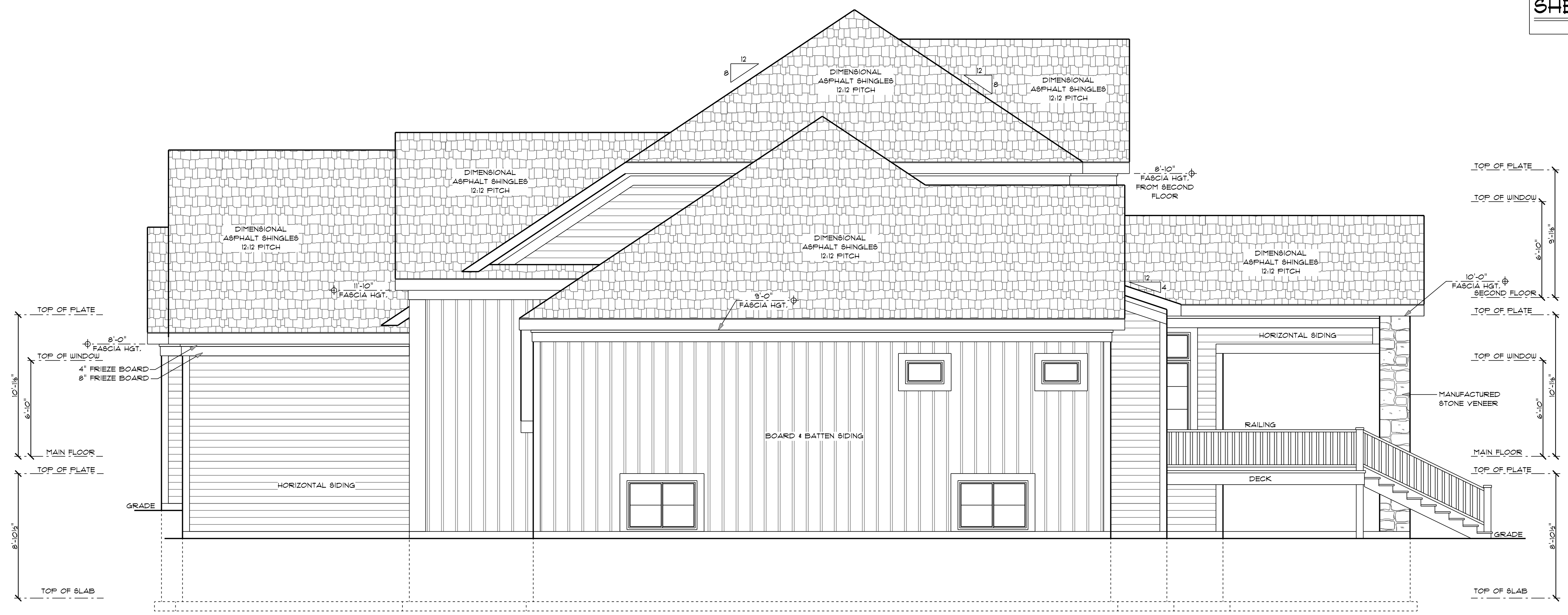
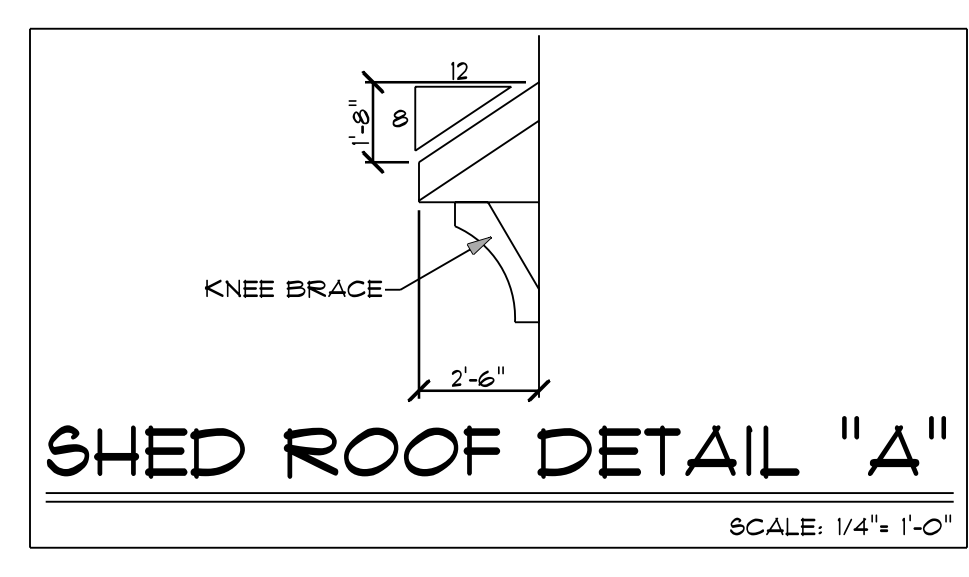
ALESCI HOMES
THE "ALINEA"
THE SINGER RESIDENCE



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

- FLASHING TO BE INSTALLED:**
1. AT WALL AND ROOF INTERSECTIONS
 2. WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION.
 3. AROUND ROOF OPENINGS
 4. AT GUTTER APRON
- ROOF DESIGN:**
1. VERIFY RISE HGT'S ON TRUSSES. ALL RISE HGT'S MAY NOT BE THE SAME.
 2. WALL HGT'S # RAFTERS AREAS MAY NEED TO BE ADJUSTED UP OR DOWN TO MATCH RISES # TRUSSED AREAS SO FASCIA LINES MATCH UP. VERIFY HGT'S W/ TRUSS MFR.
- ROOF VENTILATION:**
1. PROVIDE RIDGE VENTS AND SOFFIT VENTS AS REQ'D BY CODE.



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

| | | |
|-------------------------|--------|--------|
| BUILDER: | BUYER: | BUYER: |
| DRAWN BY: KB | | |
| CHECKED BY: MF | | |
| FINAL RELEASE: 10/21/25 | | |
| REVISIONS: 1/24/25 KB | | |
| JOB NO. 25-12600 | | |

2

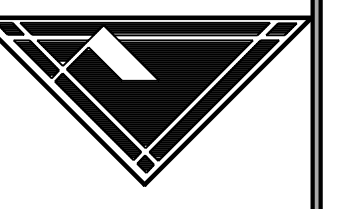
IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT AHMANN DESIGN INC. # (800) 725-6852 BEFORE CONSTRUCTION FOR CLARIFICATION. IF AHMANN DESIGN IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

FRAMING NOTES:

1. 9'-1 1/8" WALL HEIGHT UNLESS NOTED
2. ROOF TRUSSES TO BE DESIGNED & CERTIFIED BY AN ENGINEER, LICENSED IN THE STATE OR REGION OF CONSTRUCTION FOR ALL DEAD & LIVE LOADS.
3. ALL EXTERIOR WALLS 2X6 @ 16" O.C. UNLESS NOTED
4. ALL INTERIOR WALLS 2X4 @ 16" O.C. UNLESS NOTED
5. 2X6 PLUMBING WALLS AS REQ.

**SECOND FLOOR:
901 SQ. FT.**

PROVIDE SQUASH BLOCKING TO THE FOUNDATION FOR ANY EXTERIOR OPENING OVER 3'-0" WIDE



**AHMANN
DESIGN INC.**

(800) 725-6852

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**ALESCI HOMES
THE "ALINEA"
THE SINGER RESIDENCE**

BUILDER:
BUYER:
BUYER:

DRAWN BY: KB

CHECKED BY: MF

FINAL RELEASE: 10/21/25

REVISIONS: 1/24/25 KB

JOB NO. 25-12600

4



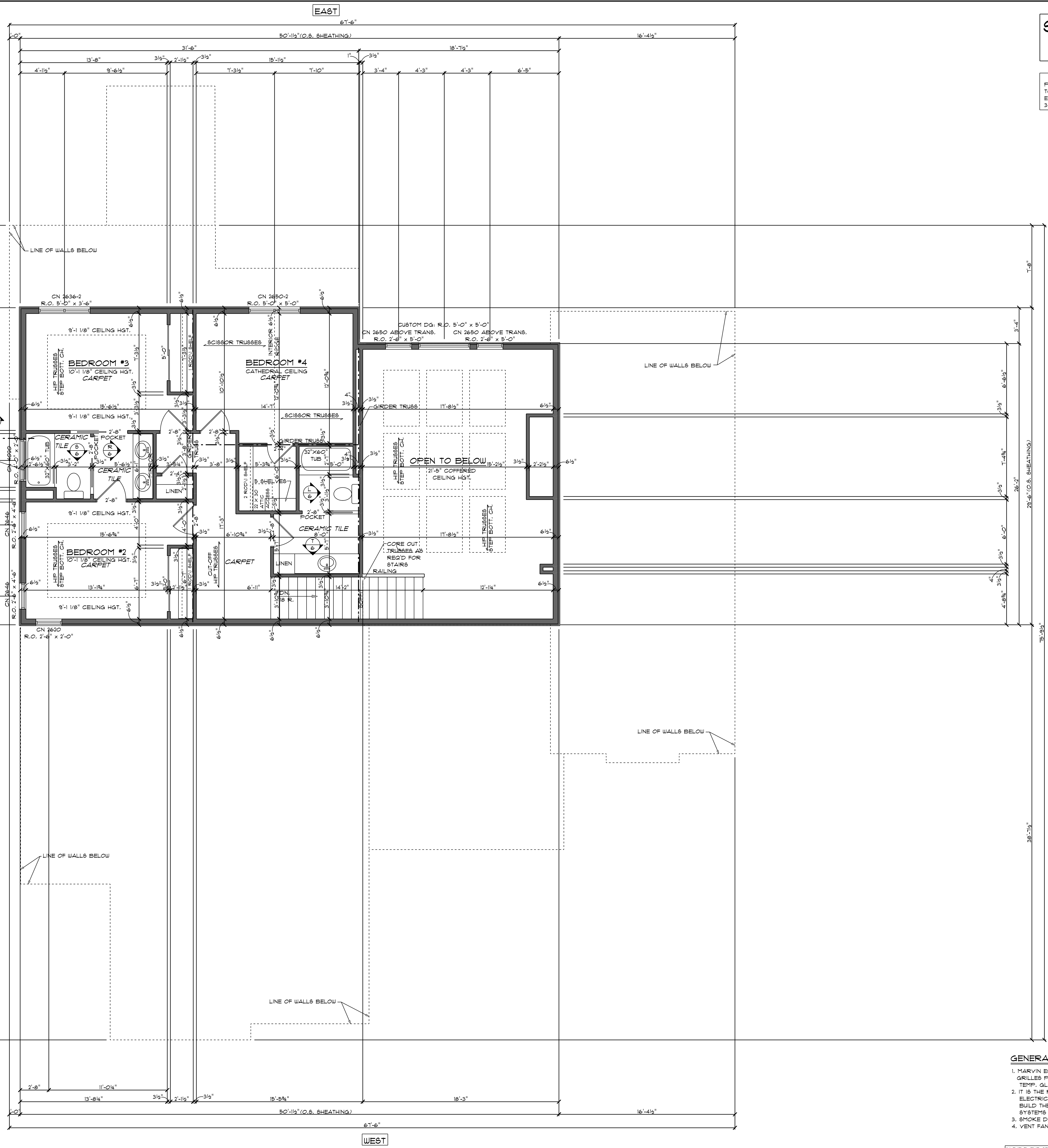
GENERAL NOTES:

1. MARVIN ESSENTIAL CASSEMENT WINDOWS/UNESS NOTED. GRILLES PER PLAN
2. IT IS THE RESPONSIBILITY OF THE PLUMBING, ELECTRICAL AND HVAC SUB-CONTRACTORS TO DESIGN/BUILD THEIR SYSTEMS AND TO INSURE THAT THESE SYSTEMS ARE INSTALLED AND OPERATING PROPERLY.
3. SMOKE DETECTOR (S)
4. VENT FAN (F)

IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT AHMANN DESIGN INC. # (800) 725-6852 BEFORE CONSTRUCTION FOR CLARIFICATION. IF AHMANN DESIGN IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



NORTH

SOUTH

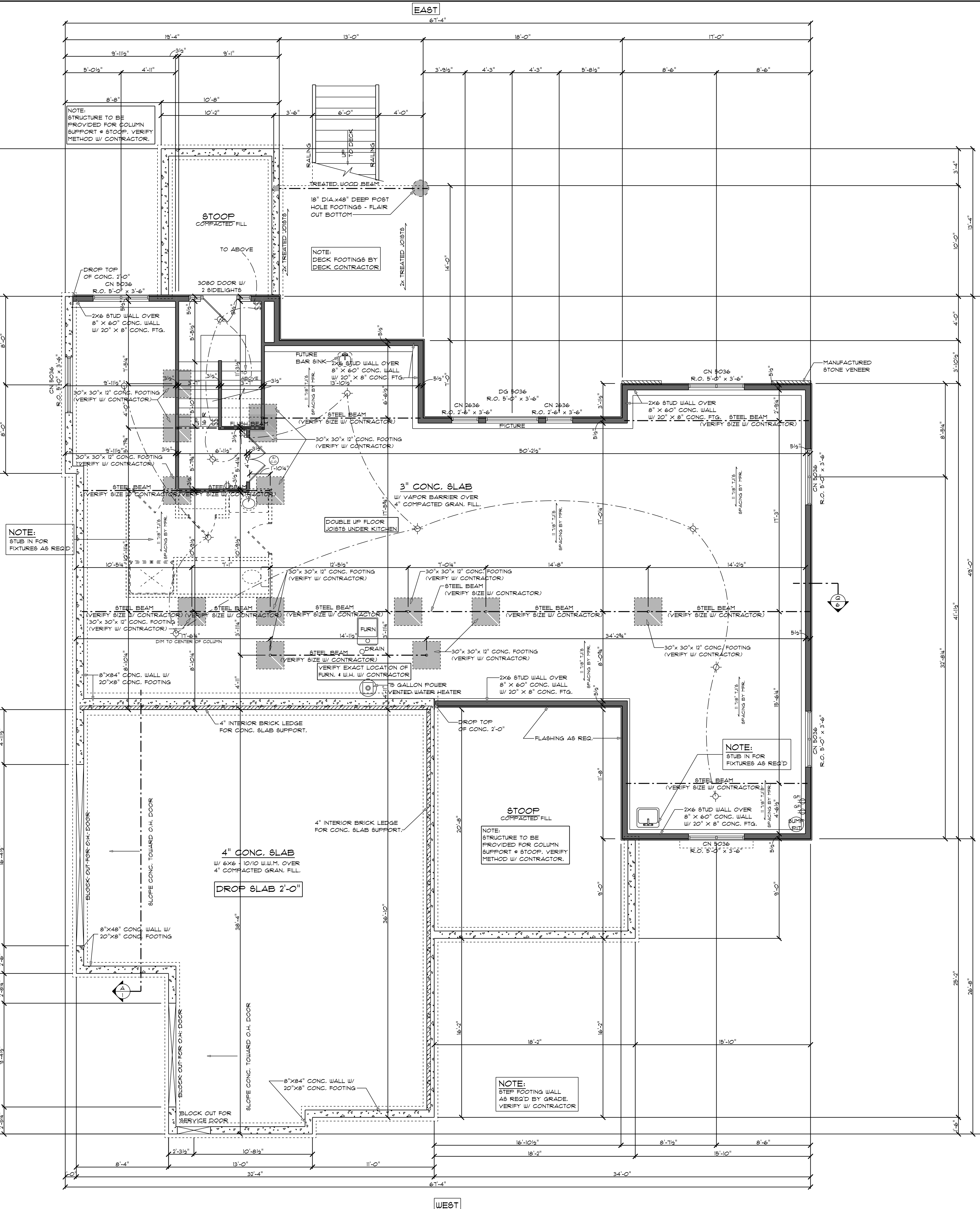
WEST

- GENERAL NOTES:**
- 8'-10 1/2" CEILING HGT.
 - VERIFY WINDOWS W/ CONTRACTOR/UNLESS NOTED. TEMP. GLASS AS REQ. BY CODE.
 - IT IS THE RESPONSIBILITY OF THE PLUMBING, ELECTRICAL AND HVAC SUB-CONTRACTORS TO DESIGN/BUILD THEIR SYSTEMS AND TO INSURE THAT THESE SYSTEMS ARE INSTALLED AND OPERATING PROPERLY.
 - SMOKE DETECTOR (S)
 - VENT FAN (F)

NOTE:
ALL EXTERIOR DIMENSIONS ARE TO O.S. CONCRETE WALLS

- ELECTRICAL NOTES:**
- ELECTRICAL PLANS ARE FOR LAYOUT PURPOSES ONLY.
 - CONSULT W/ LICENSED ELECTRICIAN FOR EXACT SPECIFICATIONS TO MEET LOCAL & GOVERNING CODES.
 - PROVIDE & INSTALL GROUND FAULT CIRCUIT INTERRUPTER AS REQUIRED BY N.E.P.A. OR AS REQUIRED BY LOCAL OR GOVERNING CODES.
 - PROVIDE & INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY LOCAL OR GOVERNING CODES.
 - NO POINT ALONG COUNTERTOP TO BE MORE THAN 24" FROM AN OUTLET (4" BETWEEN OUTLETS)
 - ALL OUTLETS ON KIT. COUNTER TO BE GFI
 - AT LEAST 1 RECEPTICAL TO BE INSTALLED @ ISLAND COUNTER SPACE
 - OUTLETS & VENT BAR TO BE GFI WHEN WITHIN 6' OF SINK
 - GFI OUTLETS ON EXT. OF HOUSE IN GARAGE & UNFINISHED BASEMENTS
- LOCATE ELECT. PANEL AS PER ELECTRICIAN
 - PROVIDE POWER AS REQUIRED FOR FURNACE, WATER HEATER, SUMP PUMP, ETC.
 - PROVIDE ELECTRICAL OUTLETS AS REQUIRED BY CODE

NOTE:
STEP FOOTING WALL AS REQ'D BY GRADE. VERIFY W/ CONTRACTOR



NORTH

SOUTH

ELECTRICAL KEY

| | |
|----------------------------|--------|
| LIGHT | ⊙ |
| RECEPTICLE | ⊕ |
| SWITCH | ⊞ |
| GFI RECEPT. | ⊕ GFI |
| 220 RECEPT. | ⊕ 220 |
| 3WAY SWITCH | ⊞ |
| VENT FAN | F |
| SMOKE DETECT. | S |
| RECESSED LIGHT | ⊕ |
| FAN/LIGHT | ⊕ |
| WEATHER PROOF RECP. | ⊕ WP |
| WEATHER PROOF SOFFIT RECP. | ⊕ WP S |

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

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ALESCI HOMES
THE "ALINEA"
THE SENGER RESIDENCE

BUILDER: _____ BUYER: _____ BUYER: _____

DRAWN BY: KB

CHECKED BY: MF

FINAL RELEASE: 10/21/25

REVISIONS: 1/24/25 KB

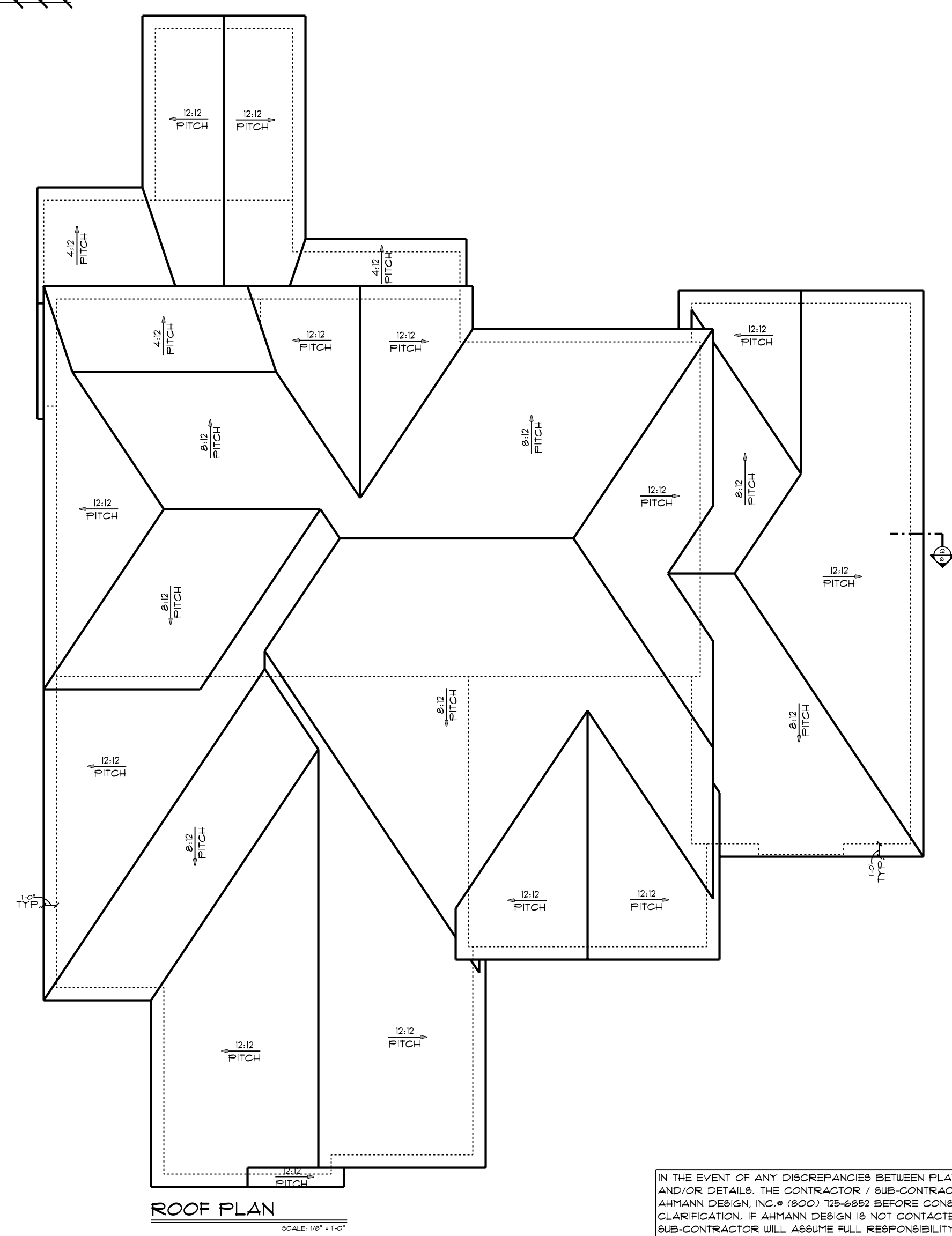
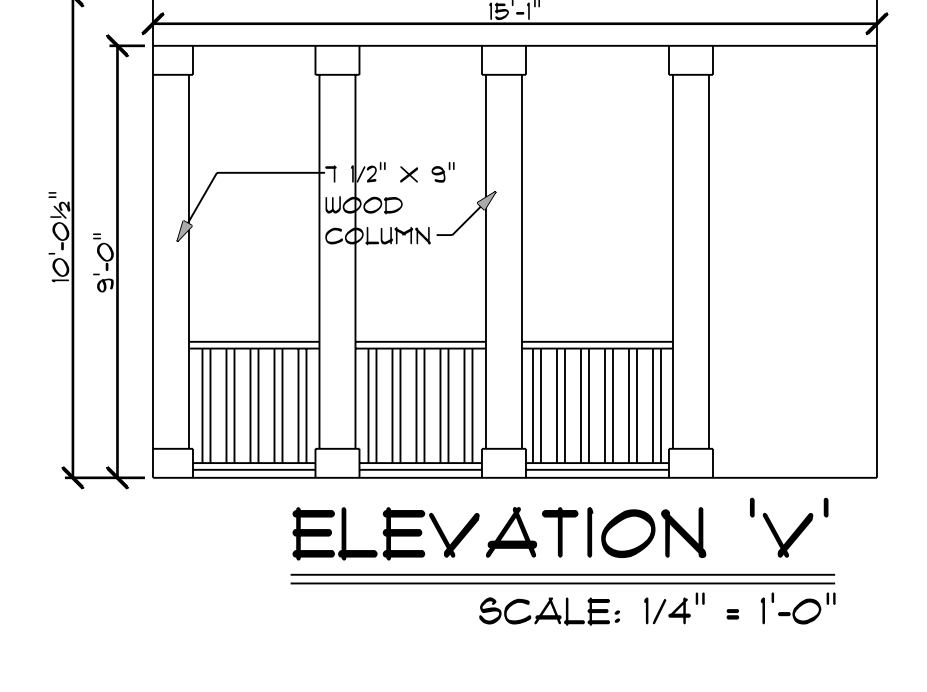
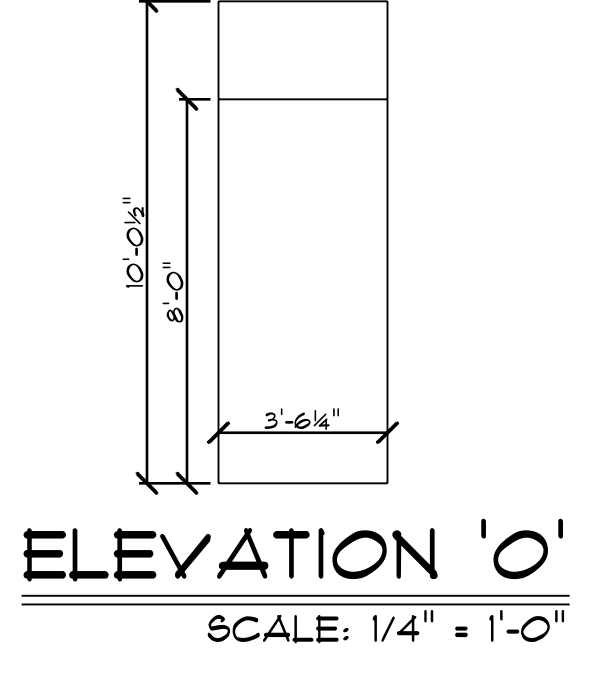
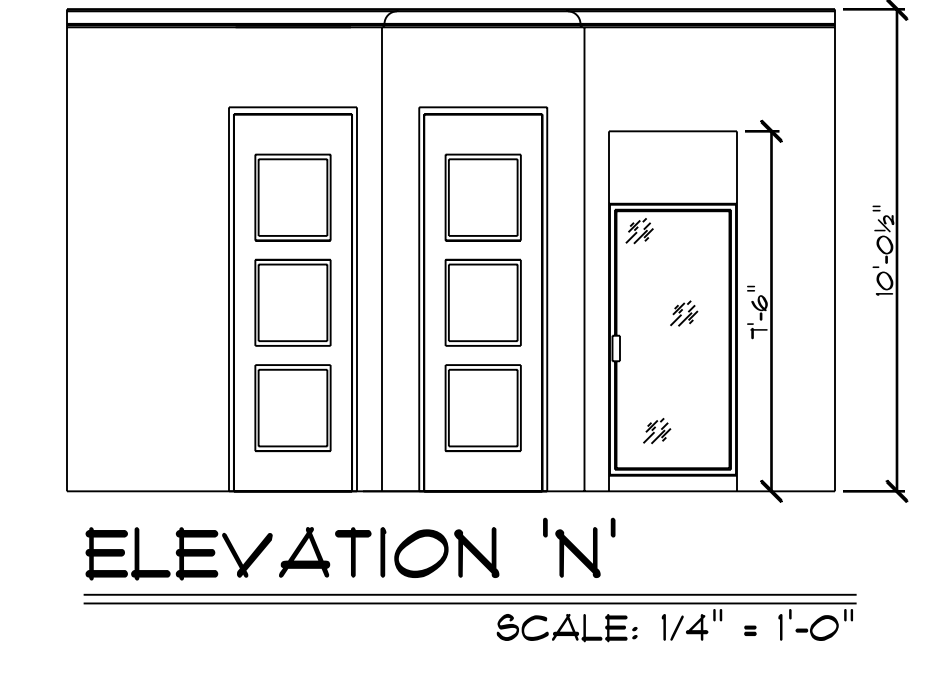
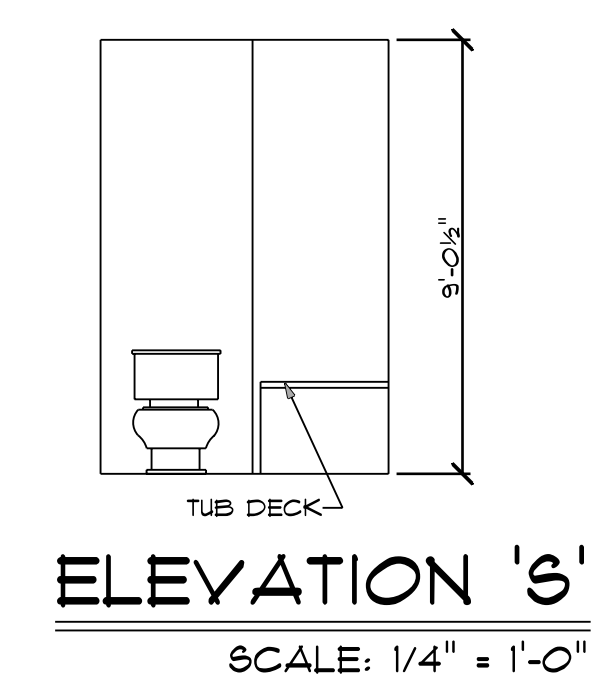
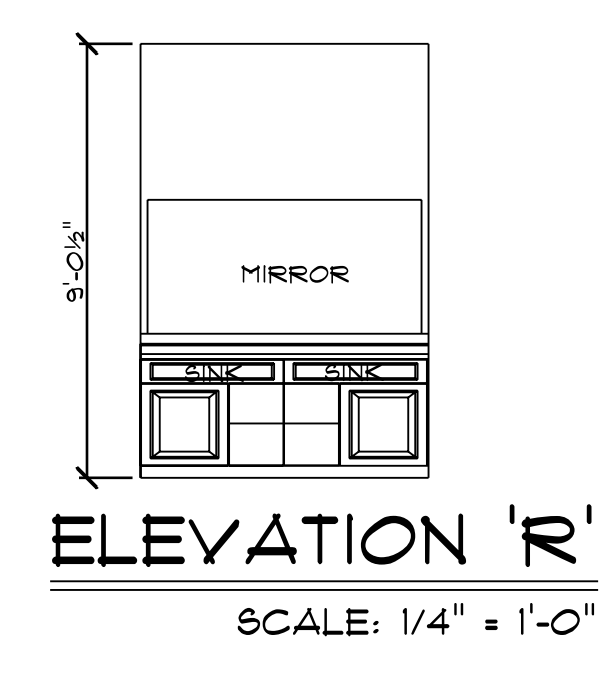
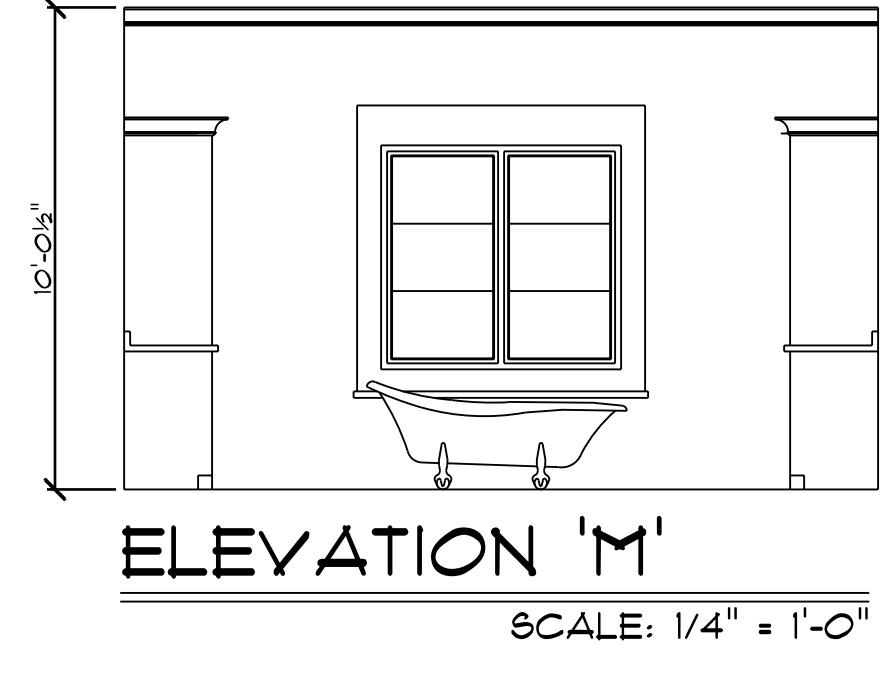
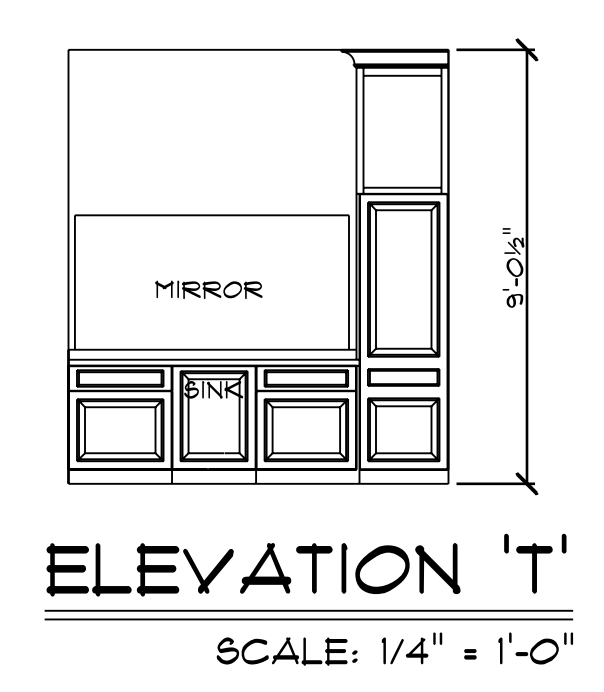
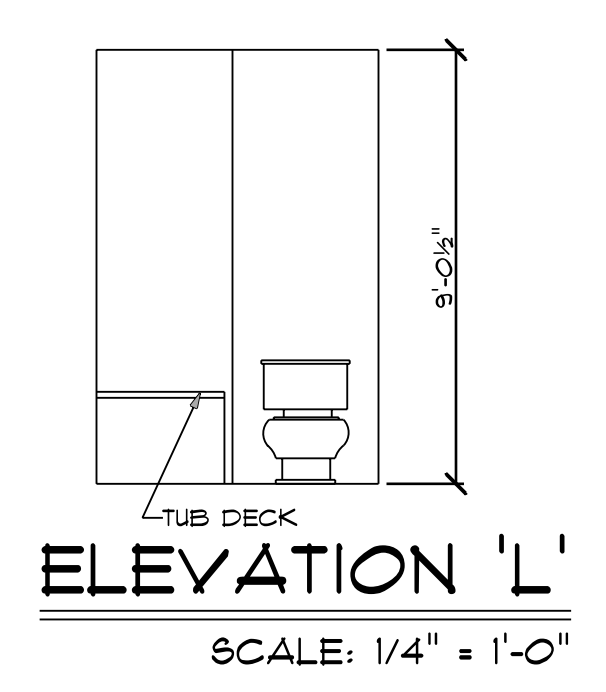
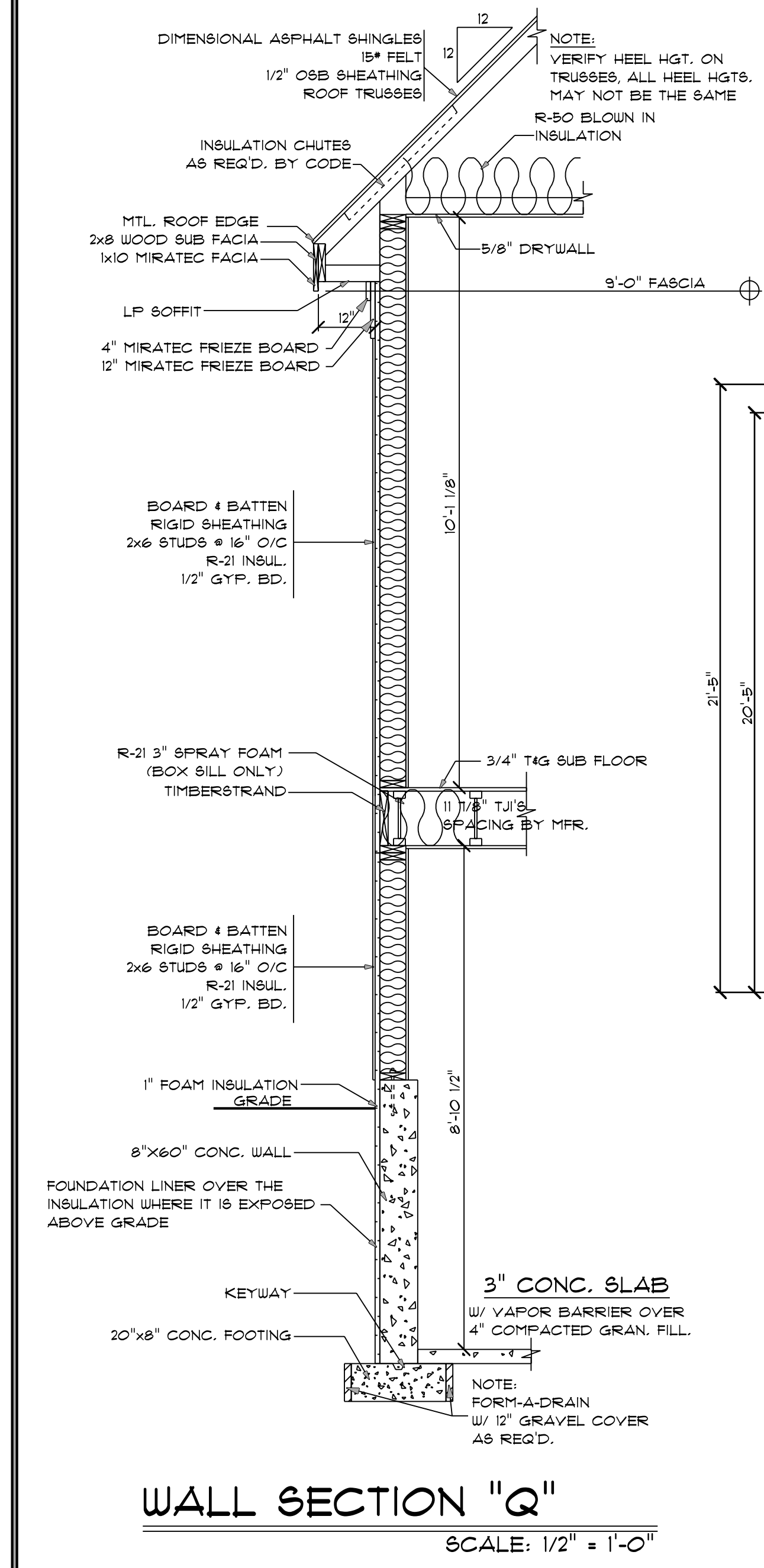
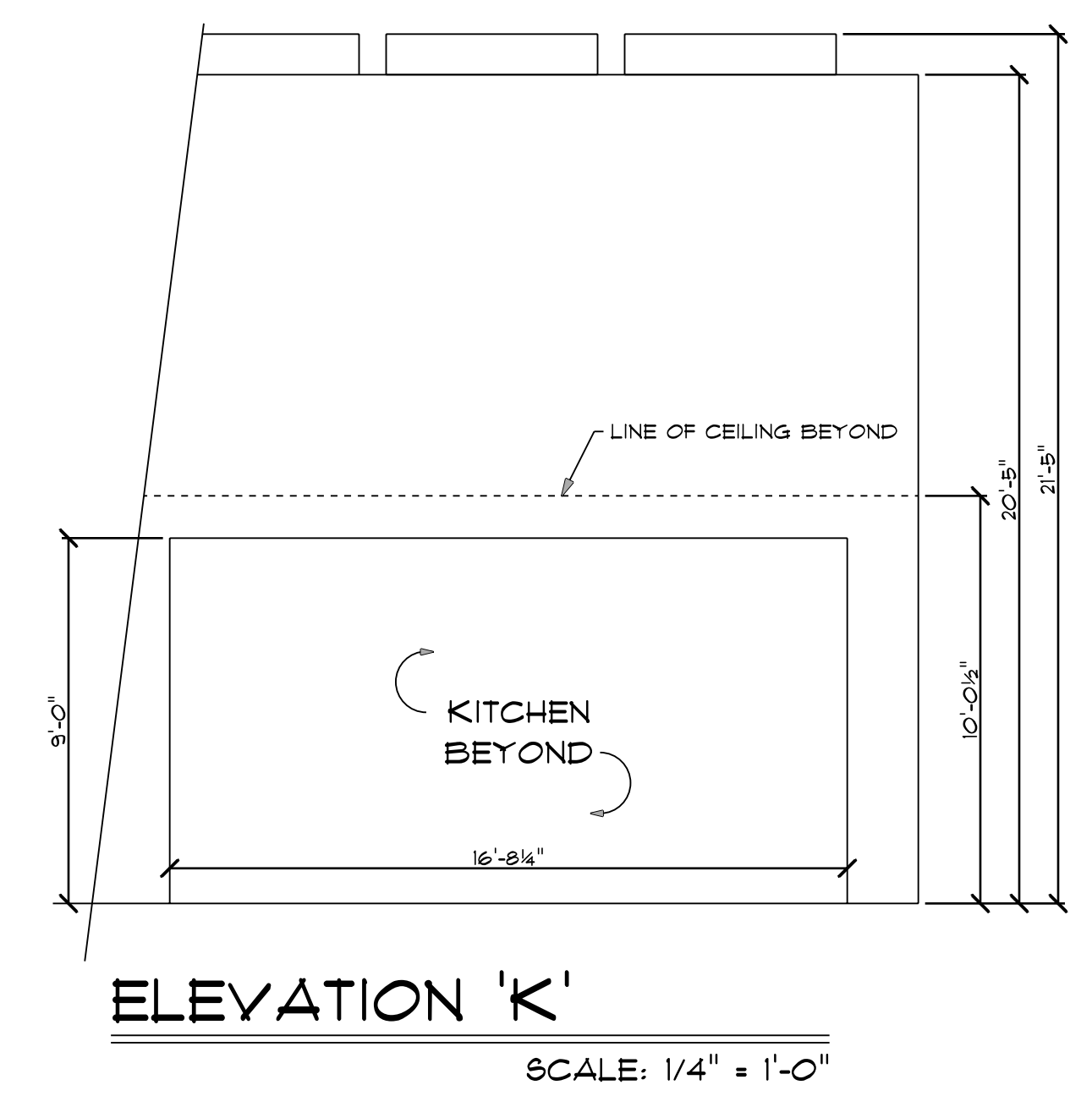
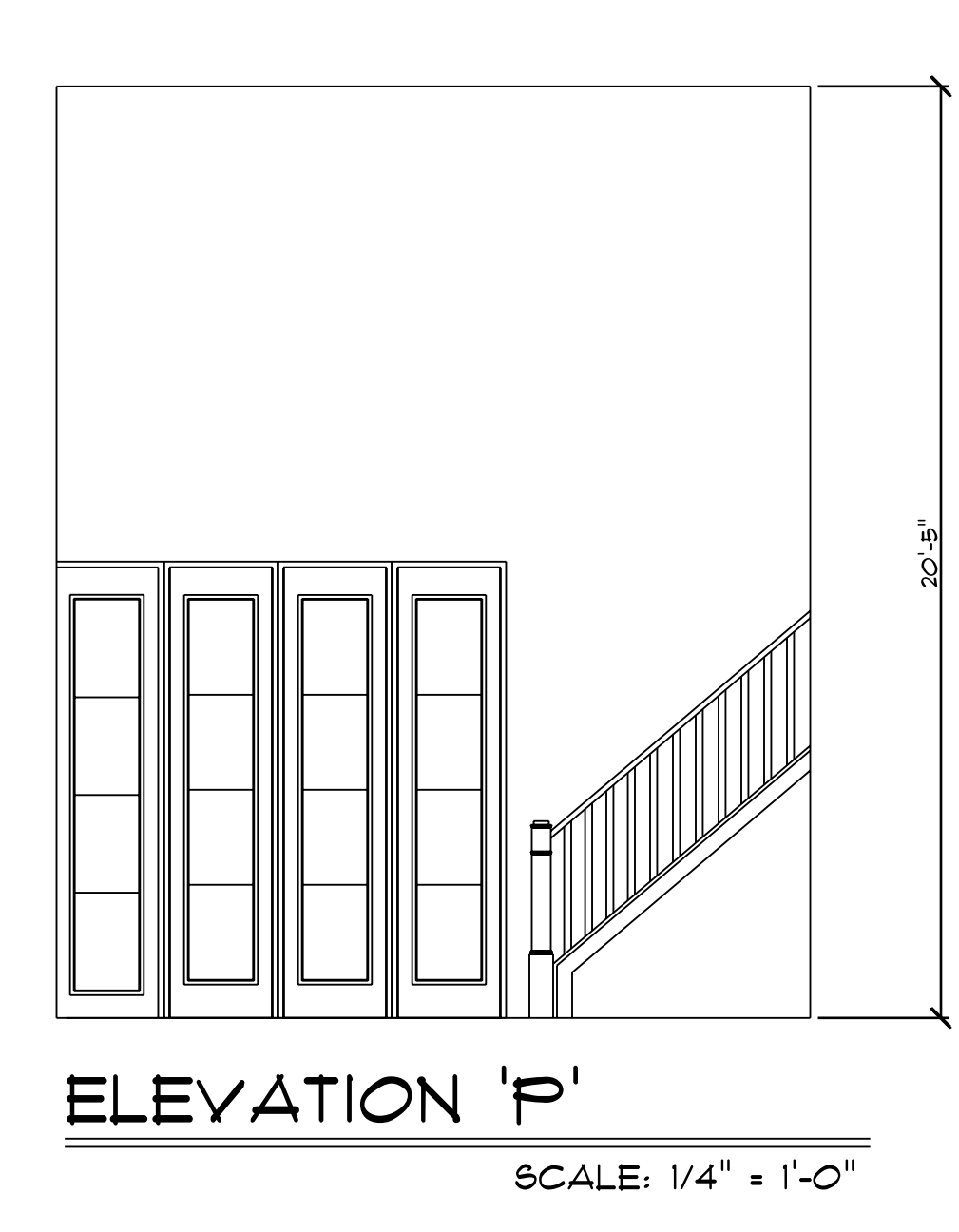
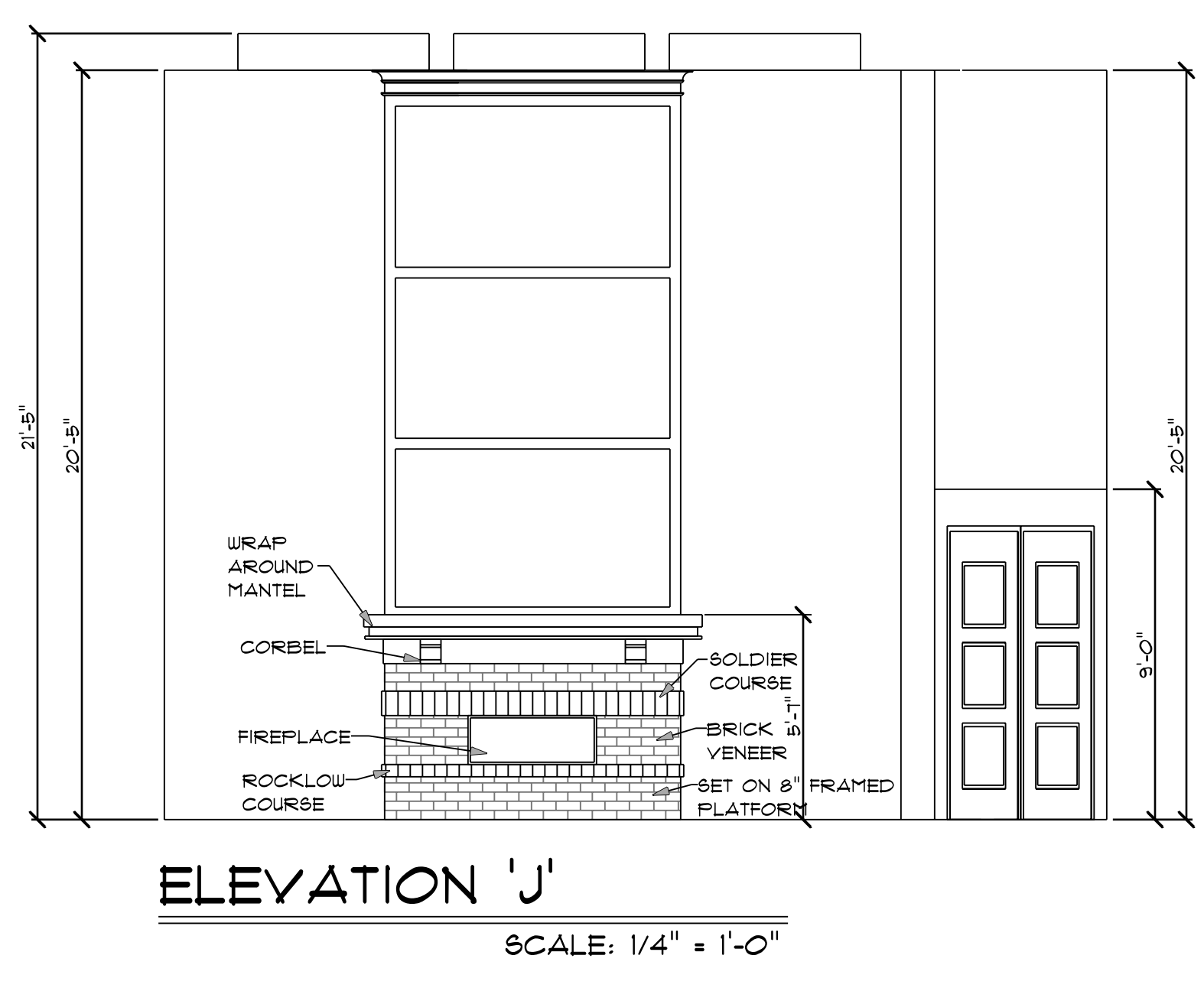
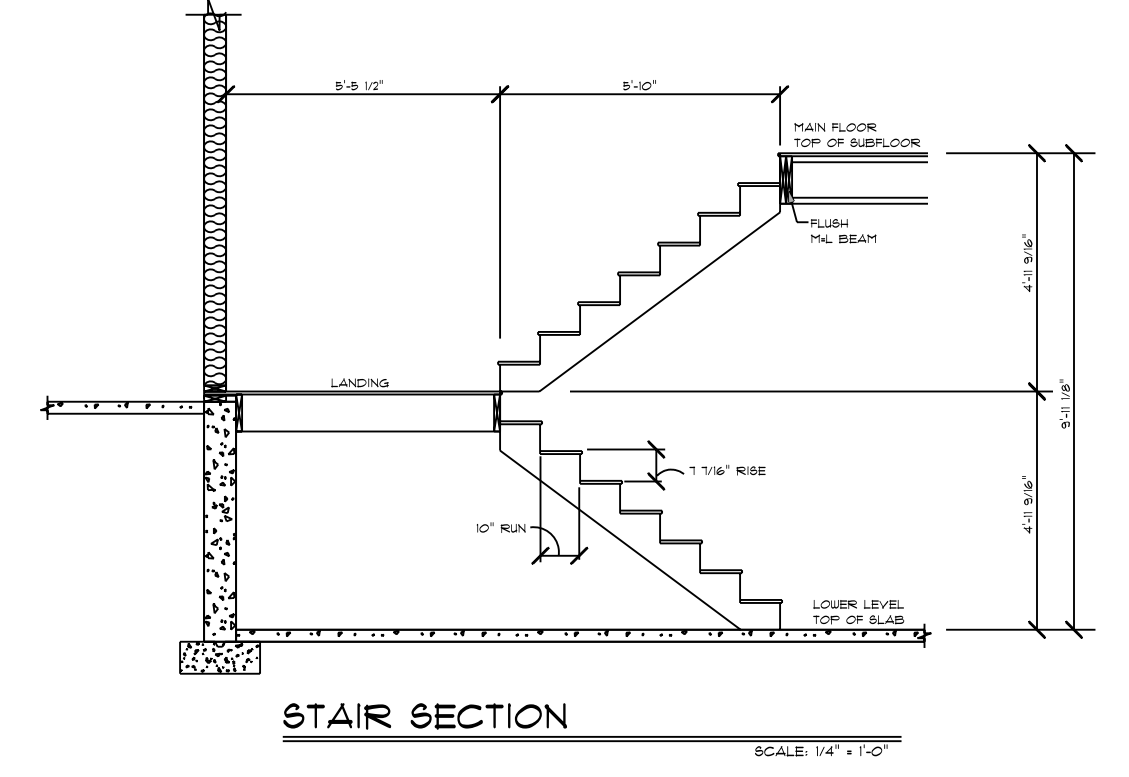
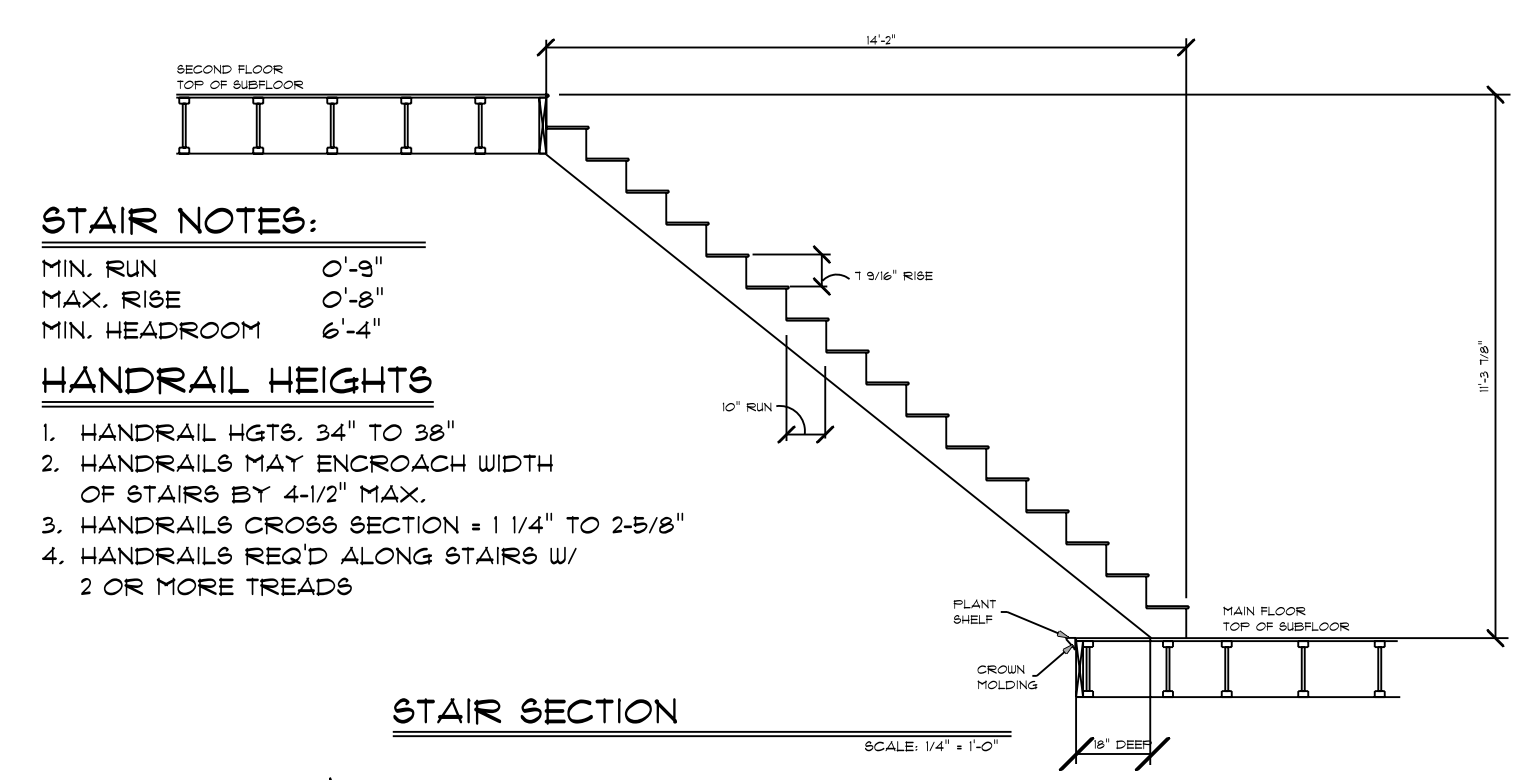
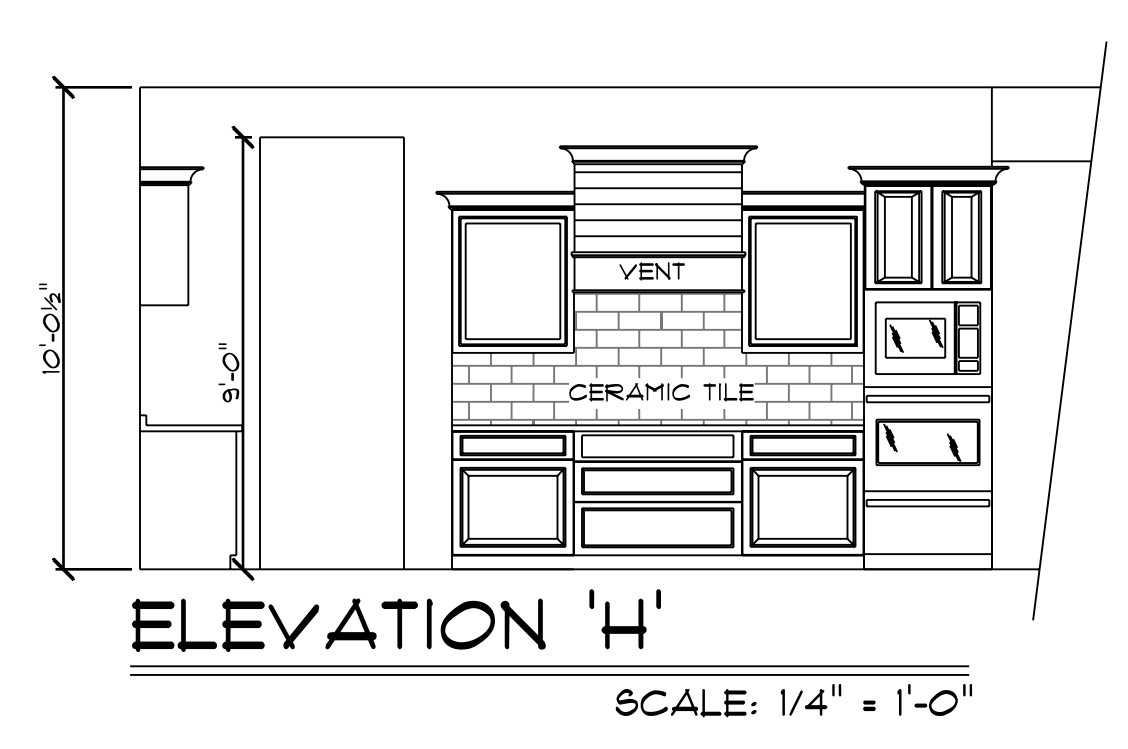
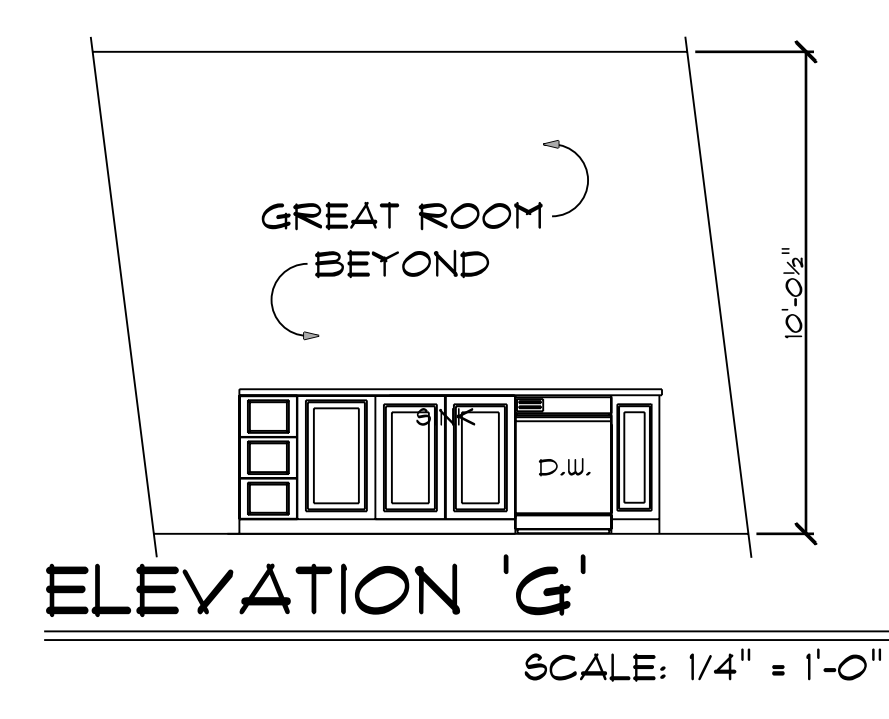
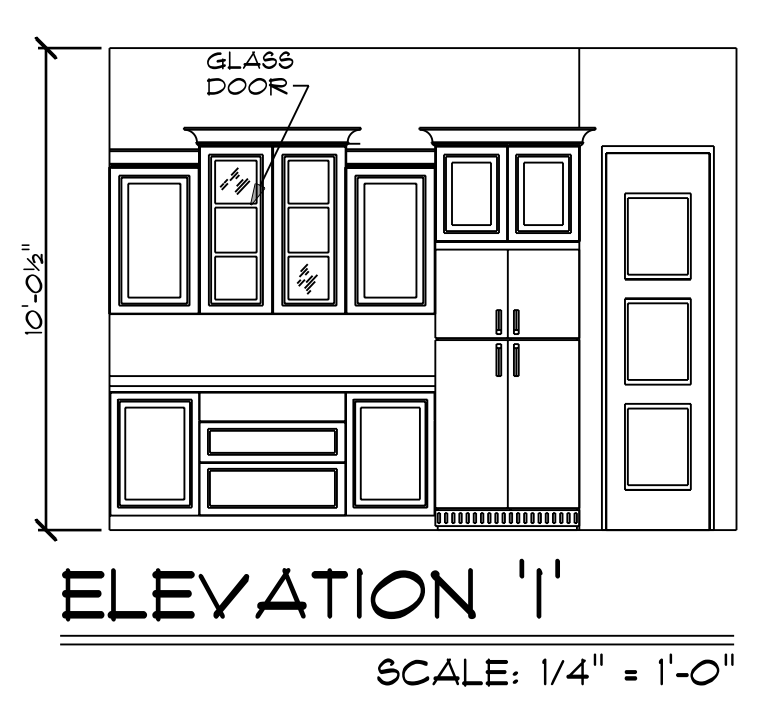
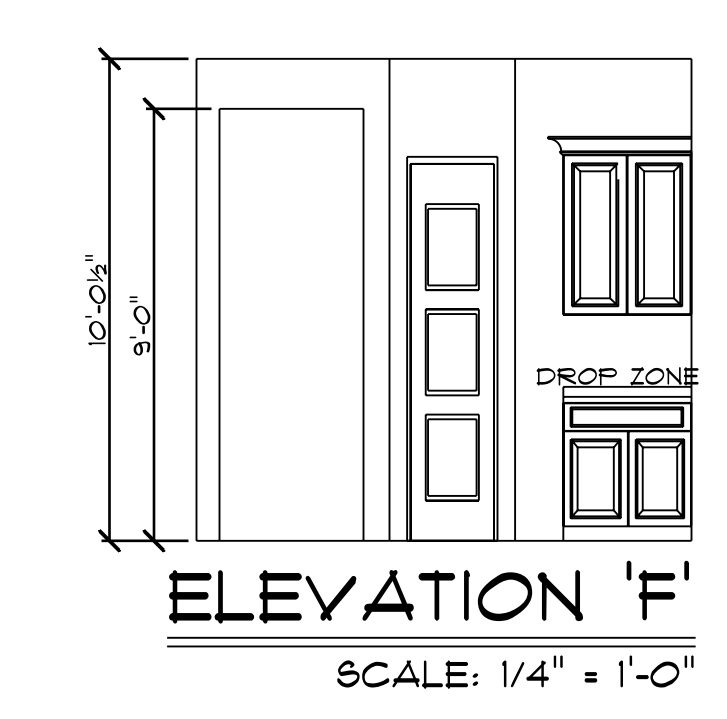
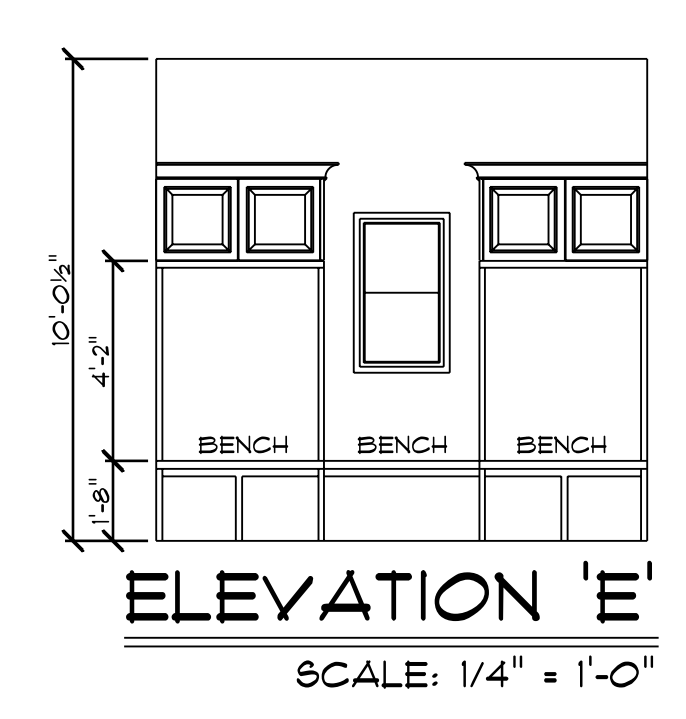
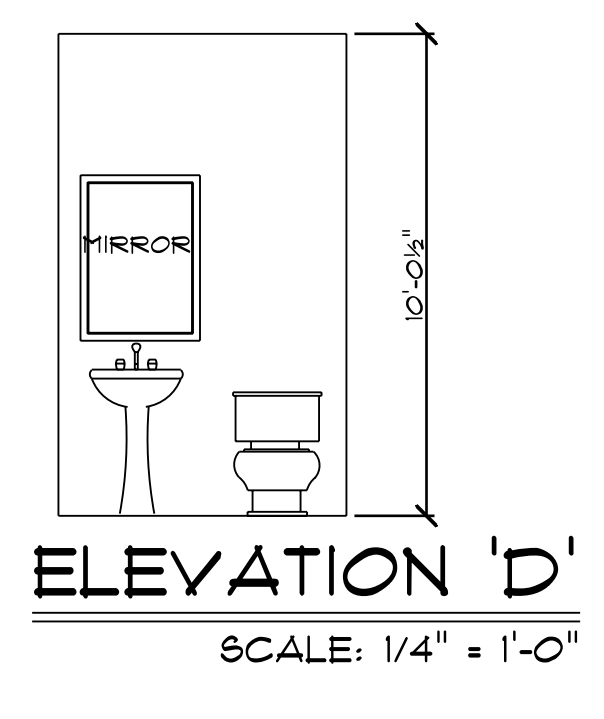
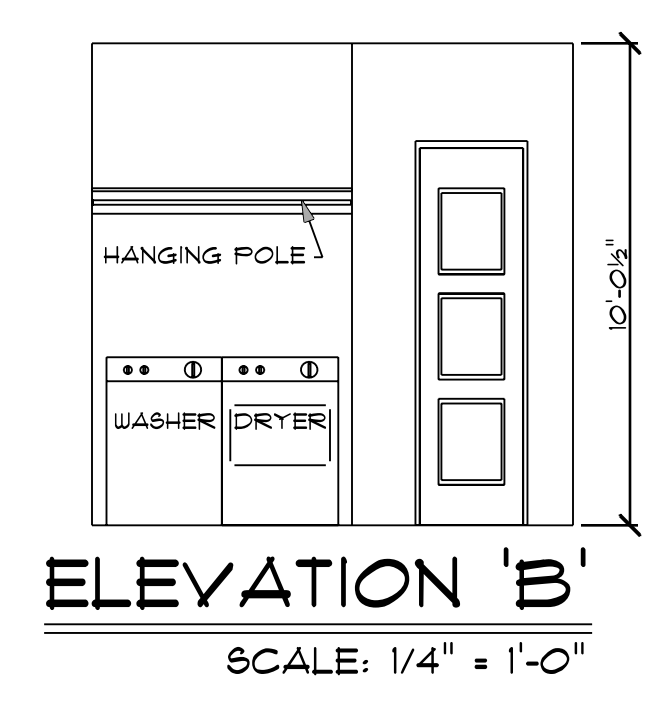
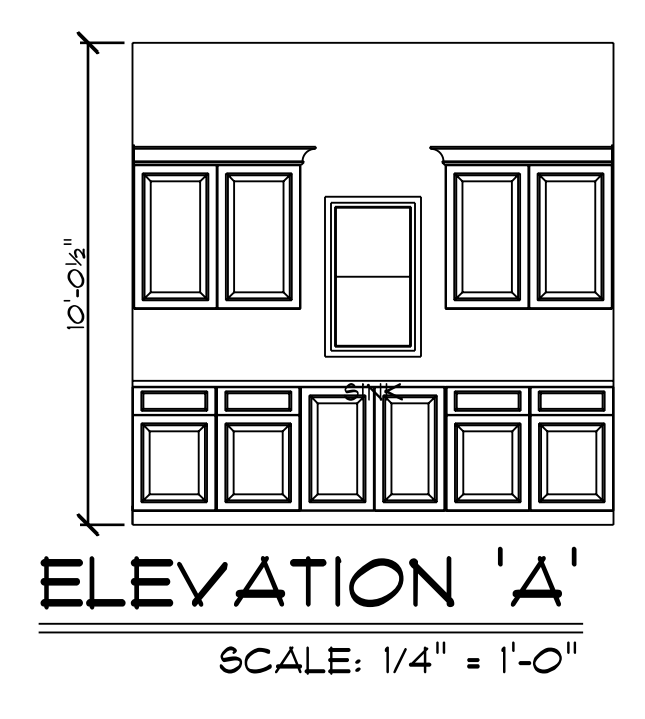
JOB NO. 25-12600

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**ALESCI HOMES
THE "ALINEA"
THE SINGER RESIDENCE**

| | |
|----------------|------------|
| BUILDER: | |
| BUYER: | |
| BUYER: | |
| DRAWN BY: | KB |
| CHECKED BY: | MF |
| FINAL RELEASE: | 10/21/25 |
| REVISIONS: | 1/24/25 KE |
| JOB NO.: | 25-12600 |



IN THE EVENT OF ANY DISCREPANCIES BETWEEN PLANS, ELEVATIONS, AND/OR DETAILS, THE CONTRACTOR / SUB-CONTRACTOR SHALL CONTACT AHMANN DESIGN, INC. # (800) 725-6852 BEFORE CONSTRUCTION FOR CLARIFICATION. IF AHMANN DESIGN IS NOT CONTACTED, THE CONTRACTOR / SUB-CONTRACTOR WILL ASSUME FULL RESPONSIBILITY.

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**ALESCI HOMES
THE "ALINEA"
THE SINGER RESIDENCE**

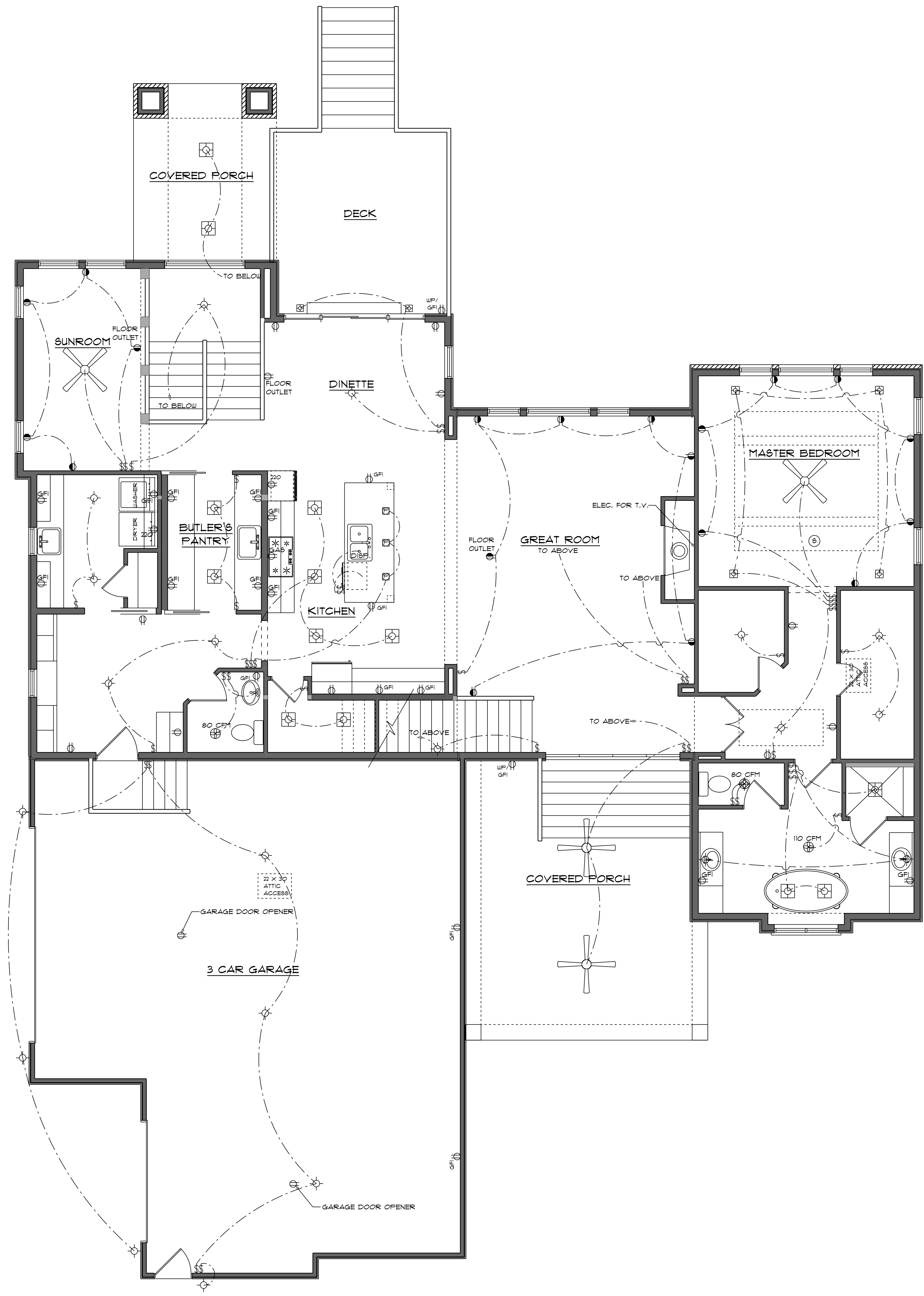
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| BUILDER: | |
| BUYER: | |
| BUYER: | |
| BUYER: | |
| DRAWN BY: | KB |
| CHECKED BY: | MF |
| FINAL RELEASE: | 10/21/25 |
| REVISIONS: | 1/24/25 KE |
| JOB NO. | 25-12600 |

ELECTRICAL KEY

- LIGHT
- RECEPTACLE
- SWITCH
- GFI RECEPT.
- 220 RECEPT.
- 3WAY SWITCH
- VENT FAN
- SMOKE DETECT.
- RECESSED LIGHT
- PENDANT LIGHT
- WALL SCONCE
- FAN/LIGHT
- WEATHER PROOF RECP.
- WEATHER PROOF SOFFIT RECP.

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- AT LEAST 1 RECEPTACLE TO BE INSTALLED
- * ISLAND COUNTER SPACE
- OUTLETS * UET BAR TO BE GFI WHEN WITHIN 6" OF SINK
- GFI OUTLETS ON EXT. OF HOUSE, IN GARAGE & UNFINISHED BASEMENTS



MAIN FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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Metal Roof

Gutter/Downspout

Window

Garage Door

Trim at Window Dormer

Brandywine

SW 7710

Iron Ore

E80

SW 7069

Gable Vent

Ext. Masonry

Tricorn Black

SW 6258

Siding

Board & Batten Siding

Trim/Fascia/Soffit

Deck

Entry Door

Front Entry Sidelights

Roof

Exterior Millwork

Cider Mill

SW 3512

RAINWARE
SELECTION

made Clayar



3044 S. 92nd Street
 West Allis, WI 53227
 414-321-6500
www.alescihomes.com

Exterior Color Selections

NAME: Andrew and Cristina Senger
 JOB ADDRESS: 7505 N. Beach Drive Fox Point
 MODEL: "The Alinea"
 Date: October 20, 2025

Please return your exterior color selections to Alesci Homes, Inc. on or before:

November 3, 2025

Email to: cahrens@alescihomes.com

| Area | Brand/Product | Color Selection | Initials | Date |
|--|--|---|----------|----------------------------|
| Windows: | Marvin | Ebony | CS DS | 11/17/2025 11:27:28 AM PST |
| Roof: | GAF | Charcoal | CS DS | 11/17/2025 11:27:28 AM PST |
| Roof: | Metal UNA-CLAD -or- CMG (Coated Metal Group) | Deep Black | CS DS | 11/17/2025 11:27:28 AM PST |
| Masonry: Matt Adams, Kate Todd or Patti Brehm Champion Brick 1850 S Calhoun Rd New Berlin Work (262) 786-8260 Cell (414) 379-3401 www.championbrick.com | Main Exterior Stone: Manufactured Stone | The Brickyard - Boulder Creek - S6135-16 Southeastern Ledgestone Misty Gray | CS DS | 11/17/2025 11:27:28 AM PST |
| | Interior Fireplace Stone: Manufactured Stone | The Brickyard - Boulder Creek - S6135-16 Southeastern Ledgestone Misty Gray | CS DS | 11/17/2025 11:27:28 AM PST |
| | Interior Fireplace Hearthstone: Per Model | Bedford Limestone - Light Grey | CS DS | 11/17/2025 11:27:28 AM PST |
| | <i>Note: Additional charges will be incurred for colored mortar. Additional charges will also be incurred if an application method, such as "dry stacking", or any other method other than that shown at our model is chosen. Please contact Alesci Homes, Inc. for pricing information.</i> | | | |
| Siding: (Pre-Finished) | James Hardie ColorPlus | Arctic White | CS DS | 11/17/2025 11:27:28 AM PST |
| Board & Batten: (Pre-Finished) | James Hardie ColorPlus | Arctic White | CS DS | 11/17/2025 11:27:28 AM PST |
| Trim, Fascia, Soffit, Garage Service Door: (Painted) | | Paint color match to Arctic White siding | CS DS | 11/17/2025 11:27:28 AM PST |
| Gable Vents: (Painted) | | Sherwin Williams SW7069 Iron Ore | CS DS | 11/17/2025 11:27:28 AM PST |
| Trim at Window Dormer: (Painted) | | Sherwin Williams SW7710 Brandywine | CS DS | 11/17/2025 11:27:28 AM PST |
| Cedar Columns, Knee Braces at Windows, Ceiling of Covered Porches: (Stained) | | Sherwin Williams SW3512 Cider Mill | CS DS | 11/17/2025 11:27:28 AM PST |
| Front Entry Sidelights: (Painted) Exterior Side | | Sherwin Williams SW6258 Tricorn Black | CS DS | 11/17/2025 11:27:28 AM PST |
| Front Entry Door: Inside & outside (Painted) | | Sherwin Williams SW6258 Tricorn Black | CS DS | 11/17/2025 11:27:28 AM PST |
| Overhead Garage Door: | Haas | Cedar Plank | CS DS | 11/17/2025 11:27:28 AM PST |
| Gutters/Downspouts: | ABC Rainware | Black | CS DS | 11/17/2025 11:27:28 AM PST |
| Deck: | https://www.timbertech.com/product/azek-harvest-collection/ | Vintage Collection: Cypress | CS DS | 11/17/2025 11:27:28 AM PST |
| Deck Railing: | https://www.decksdirect.com/deck-railing/metal-deck-railing/westbury-aluminum-railing-system | Black Fine Textured | CS DS | 11/17/2025 11:27:28 AM PST |

All exterior selections must be completed prior to submission of your building permit. In some instances, these selections must also be completed for ACC Approval in your subdivision. Please see the guidelines in your subdivision covenants.

Some color selections may require a second coat of paint for proper coverage. This pertains to most "white" color selections. Samples will be installed on the house prior to exterior painting work for your approval. If a second coat is required, a quote will be provided at that time. If you wish to consider this prior to exterior painting, please communicate this at your exterior color selection appointment.

When selecting dark exterior siding and trim colors, it is important to understand that the likelihood of blemishes, nicks, scratches, dirt, and other imperfections will be visible. The Builder cannot guarantee that these imperfections will not be present and Builder is not obligated to correct, repair, clean, or replace siding or trim. Colors included but not limited to black, charcoal, dark blue, dark brown, dark green, and red.



