

NOTICE OF MEETING
VILLAGE OF FOX POINT
BUILDING BOARD

***AMENDED TO INCLUDE ITEM #6**

NOTE: THIS MEETING WILL BE HELD
VIRTUALLY ONLY VIA WEBINAR.
NO IN-PERSON ATTENDANCE HELD.

Wednesday
April 8, 2026
5:00 P.M

NOTE: the Building Board will be meeting VIRTUALLY with a remote attendance option, per the hybrid meeting procedures further described in section 19-32 d. Of the Village code. This meeting is open to all citizens through the Zoom participant information shown below. Citizens are encouraged to submit any comments in writing in advance of the meeting to the Building Inspector at inspector@villageoffoxpoint.com

Join Zoom Meeting

<https://us02web.zoom.us/j/83877661472>

Meeting ID: 838 7766 1472

Dial by your location: 312.626.6799

AGENDA

- 1. Roll Call**
- 2. Approval of the minutes of the March 11, 2026 Building Board meeting.**
- 3. 8060 N Navajo Rd, proposed front porch roof overhang.**
- 4. 8330 N Links Way, proposed addition for kitchen remodel.**
- 5. 802 E Calumet Rd, proposed new single-family dwelling & plans.**
- 6. 7620 N Boyd Way, proposed patio door***
- 7. Adjourn.**

Posted and Published: April 3, 2026

Amended: April 7, 2026

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request these services, contact the Village Clerk at 414-351-8900. It is possible that members of, and possibly a quorum of members of, other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above stated meeting other than the governmental body specifically referred to above in this notice.

**VILLAGE OF FOX POINT
BUILDING BOARD MINUTES**

A meeting of the Building Board was held via Zoom, on Wednesday, March 11, 2026, at 5:00 pm. Those present included:

Justin Racinowski
William Feldman
Lucille Sells
Pat Algiers

Absent: Scott Davis

Also Present: Kevin Ausman, Assistant Village Manager

Roll Call

Discussion, corrections, and approval of the minutes of the February 11, 2026 Building Board meeting.

Motion by Feldman and second by Algiers to approve the minutes of February 11, 2026 meeting. All ayes, motion Caried.

Motion by Racinowski, and adopted by unanimous consent, to move item #4 on the agenda, 8226 N Santa Monica Blvd for a proposed addition, up on the agenda for consideration.

8226 N Santa Monica Blvd, Proposed Addition

Motion by Sells and second by Feldman to approve the project as submitted. All ayes, motion carried

7514 N Crossway Rd, proposed detached garage

Motion by Algiers and second by Sells to approve the project as submitted. All ayes, motion carried

Motion by Sells and second by Algiers, to adjourn. Meeting adjourned at 5:22 pm.

Respectfully Submitted,

Kevin Ausman
Assistant Village Manager
Village of Fox Point

6/12 ROOF PITCH
METAL ROOFING

2" X 8" RIDGE
BOARD WITH WITH
2"X6" SPF
RAFTERS, 16" O.C.

2" x 6" BEAMS

3'

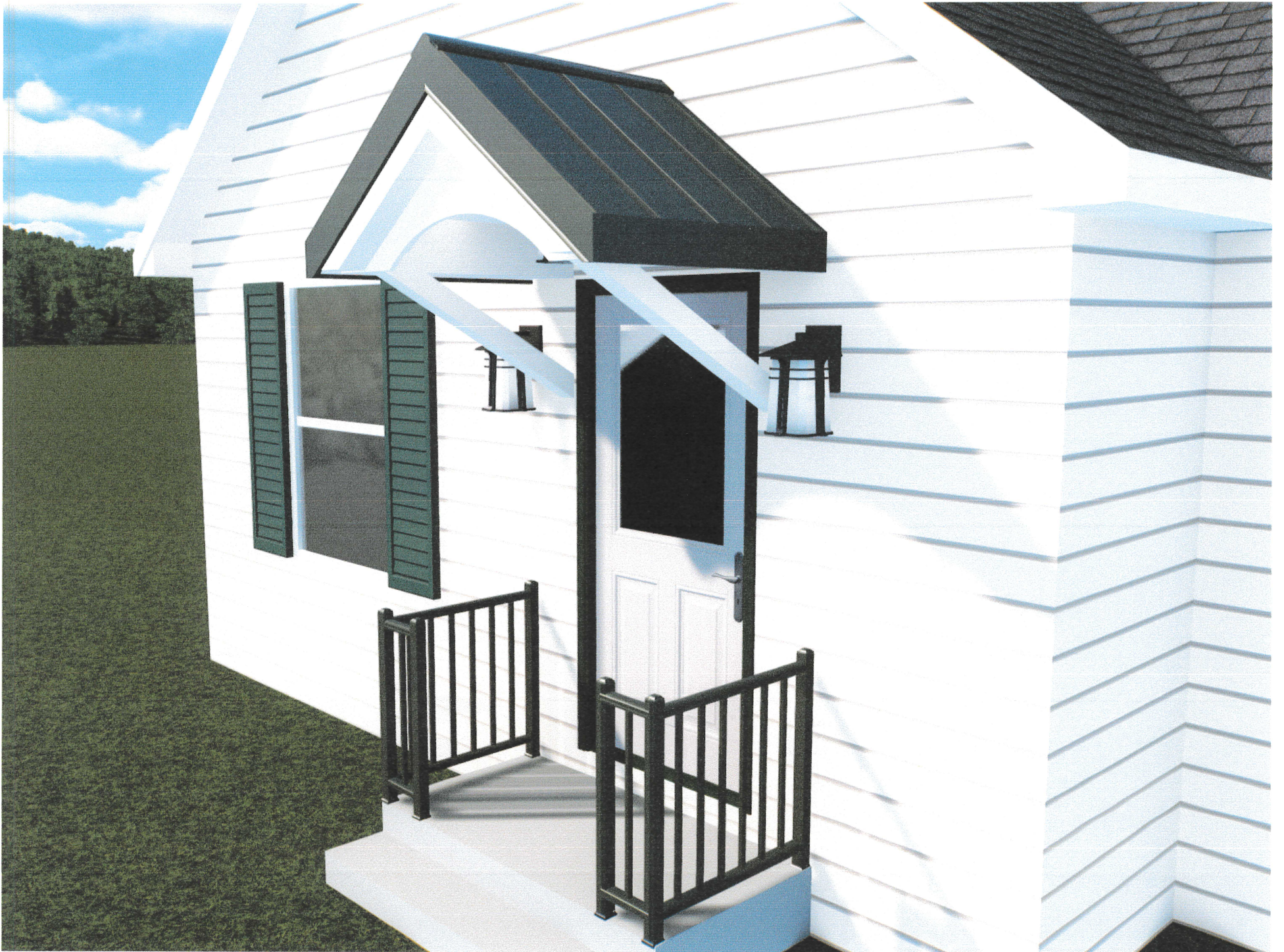
4'

1/2" OSB
SHEATHING

Bloom Porch - 8060 N Navajo Rd, Milwaukee, WI 53217

- 1) Structure conforms to UDC SPS 320-325 Appendix B
- 2) All perimeter dimensioning is to outside of deck including overhang
- 3) All framing material to be pressure/preservative treated southern pine







8060

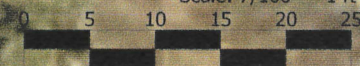
68' 3"

46' 3"

Bloom Porch - 8060 N Navajo Rd, Milwaukee,

46' 8"

Scale: 7/100" = 1 ft











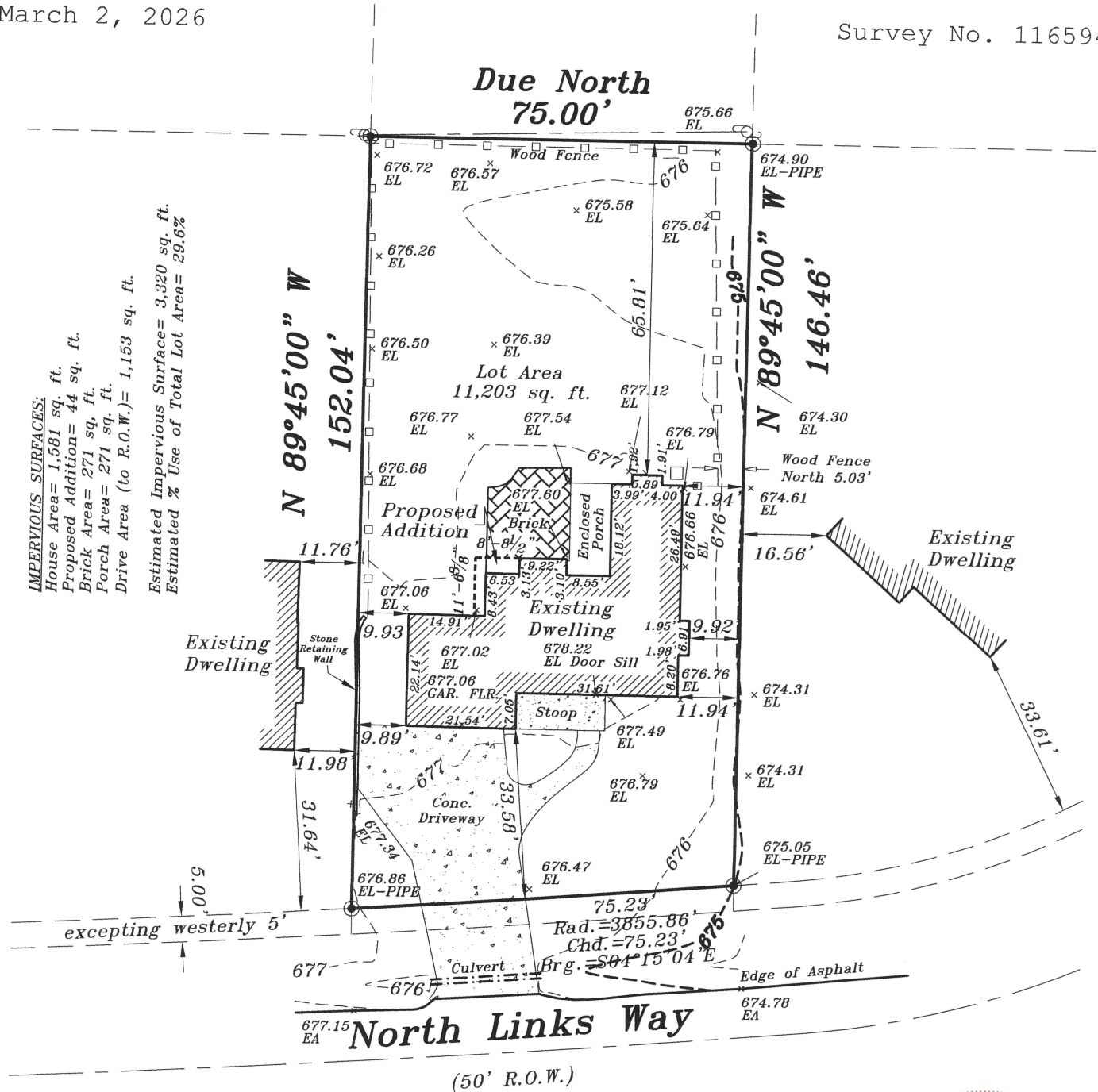
PLAT OF SURVEY

LOCATION: 8330 North Links Way, Fox Point, Wisconsin

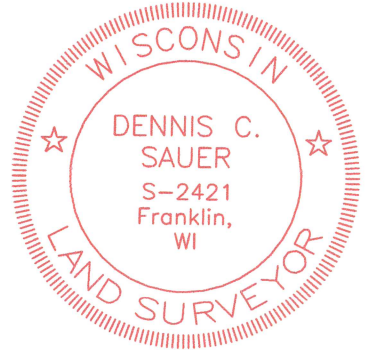
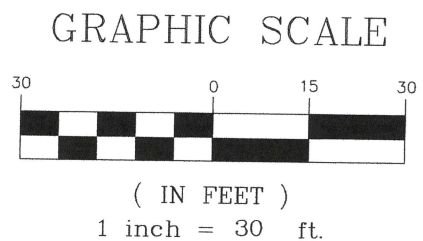
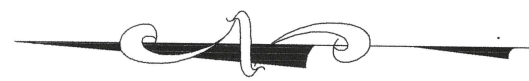
LEGAL DESCRIPTION: Lot 8 in Block 1, in **FOX POINT TERRACE**, being a Subdivision of part of the Southwest 1/4 of Section 9, Town 8 North, Range 22 East, Village of Fox Point, Milwaukee County, Wisconsin. Excepting therefrom the Westerly 5 feet dedicated for public street purposes.

March 2, 2026

Survey No. 116594



IMPERVIOUS SURFACES:
 House Area = 1,581 sq. ft.
 Proposed Addition = 44 sq. ft.
 Brick Area = 271 sq. ft.
 Porch Area = 271 sq. ft.
 Drive Area (to R.O.W.) = 1,153 sq. ft.
 Estimated Impervious Surface = 3,320 sq. ft.
 Estimated % Use of Total Lot Area = 29.6%



METROPOLITAN SURVEY SERVICE, INC.

PROFESSIONAL LAND SURVEYORS

8482 South 76th Street
 Franklin, Wisconsin 53132
 PH. (414) 529-5380

survey@metropolitansurvey.com
 www.metropolitansurvey.com



- — Denotes Iron Pipe Found
- — Denotes Iron Pipe Set








I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE SURVEY COMPLIES WITH A-E7, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY. ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

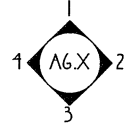
THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED

Dennis C. Sauer
 Professional Land Surveyor S-2421

DOCUMENT KEY

-  EXISTING WALLS TO REMAIN
-  WALLS TO BE REMOVED
-  CONVENTIONAL FRAME 2X WALL STUDS WITH 1/2" GYP. BD
-  MILLWORK ELEMENTS BELOW
-  MILLWORK ELEMENTS ABOVE
-  CEILING / WALL / SOFFIT ELEMENTS ABOVE
-  ITEMS TO BE REMOVED IN DEMOLITION



INTERIOR ELEVATION MARKER REFER TO SHEETS A6.X FOR ELEVATED VIEWS



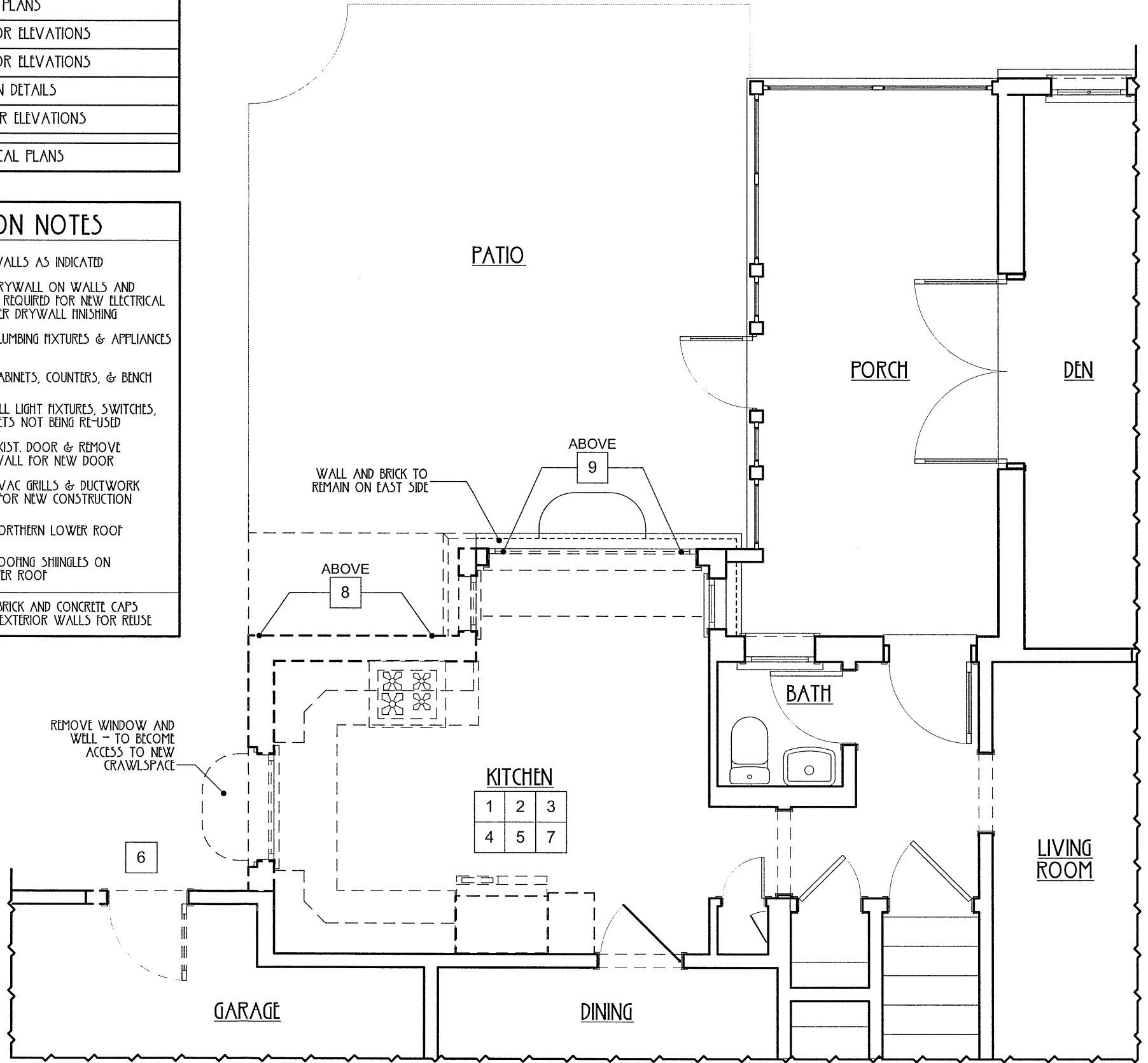
SHEET INDEX

DIJ	DEMOLITION PLANS
AIJ	FLOOR PLANS
A4J	EXTERIOR ELEVATIONS
A42	EXTERIOR ELEVATIONS
A5J	SECTION DETAILS
A6J	INTERIOR ELEVATIONS
EIJ	ELECTRICAL PLANS

DEMOLITION NOTES

- 1 REMOVE WALLS AS INDICATED
- 2 REMOVE DRYWALL ON WALLS AND CEILING AS REQUIRED FOR NEW ELECTRICAL AND PROPER DRYWALL FINISHING
- 3 REMOVE PLUMBING FIXTURES & APPLIANCES
- 4 REMOVE CABINETS, COUNTERS, & BENCH
- 5 REMOVE ALL LIGHT FIXTURES, SWITCHES, AND OUTLETS NOT BEING RE-USED
- 6 REMOVE EXIST. DOOR & REMOVE PARTIAL WALL FOR NEW DOOR
- 7 REMOVE HVAC GRILLS & DUCTWORK AS REQD FOR NEW CONSTRUCTION
- 8 REMOVE NORTHERN LOWER ROOF
- 9 REMOVE ROOFING SHINGLES ON EAST LOWER ROOF

NOTE : SAVE ALL BRICK AND CONCRETE CAPS FROM DEMOLISHED EXTERIOR WALLS FOR REUSE

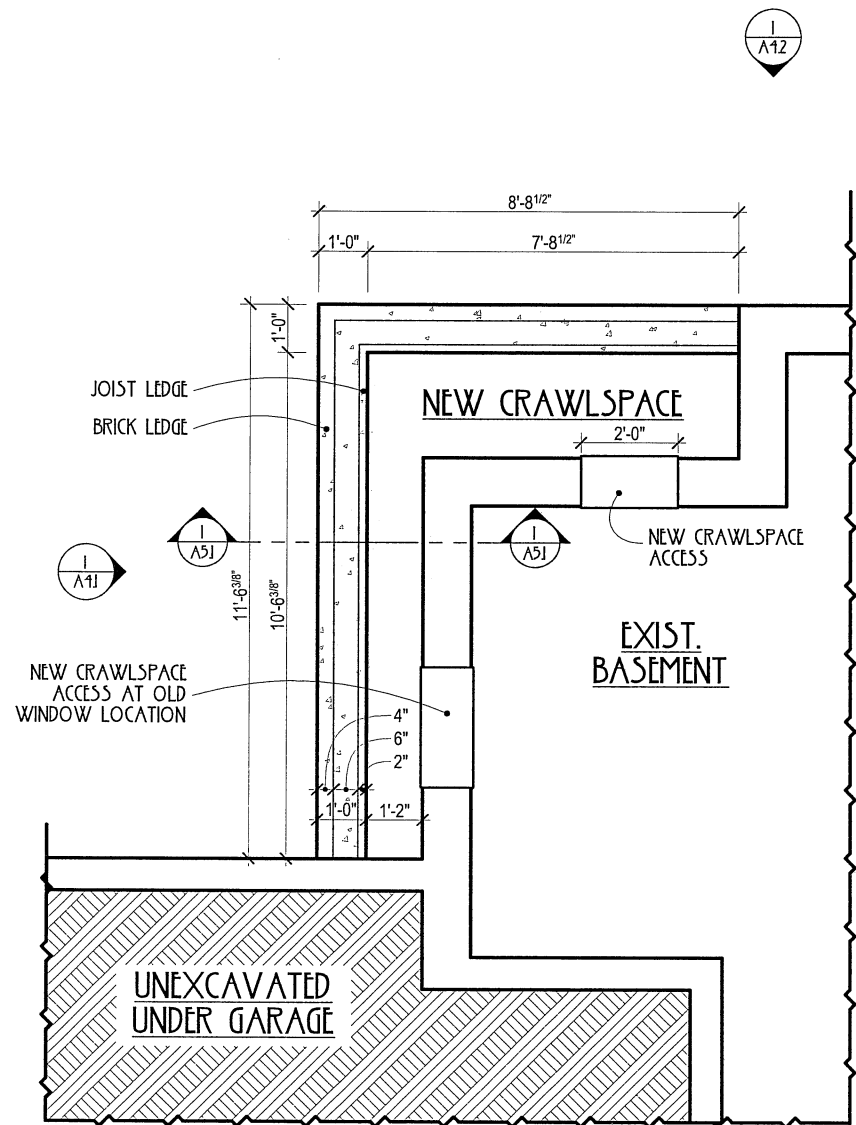


I FIRST FLOOR DEMOLITION PLAN
SCALE 1/4" = 1'-0"

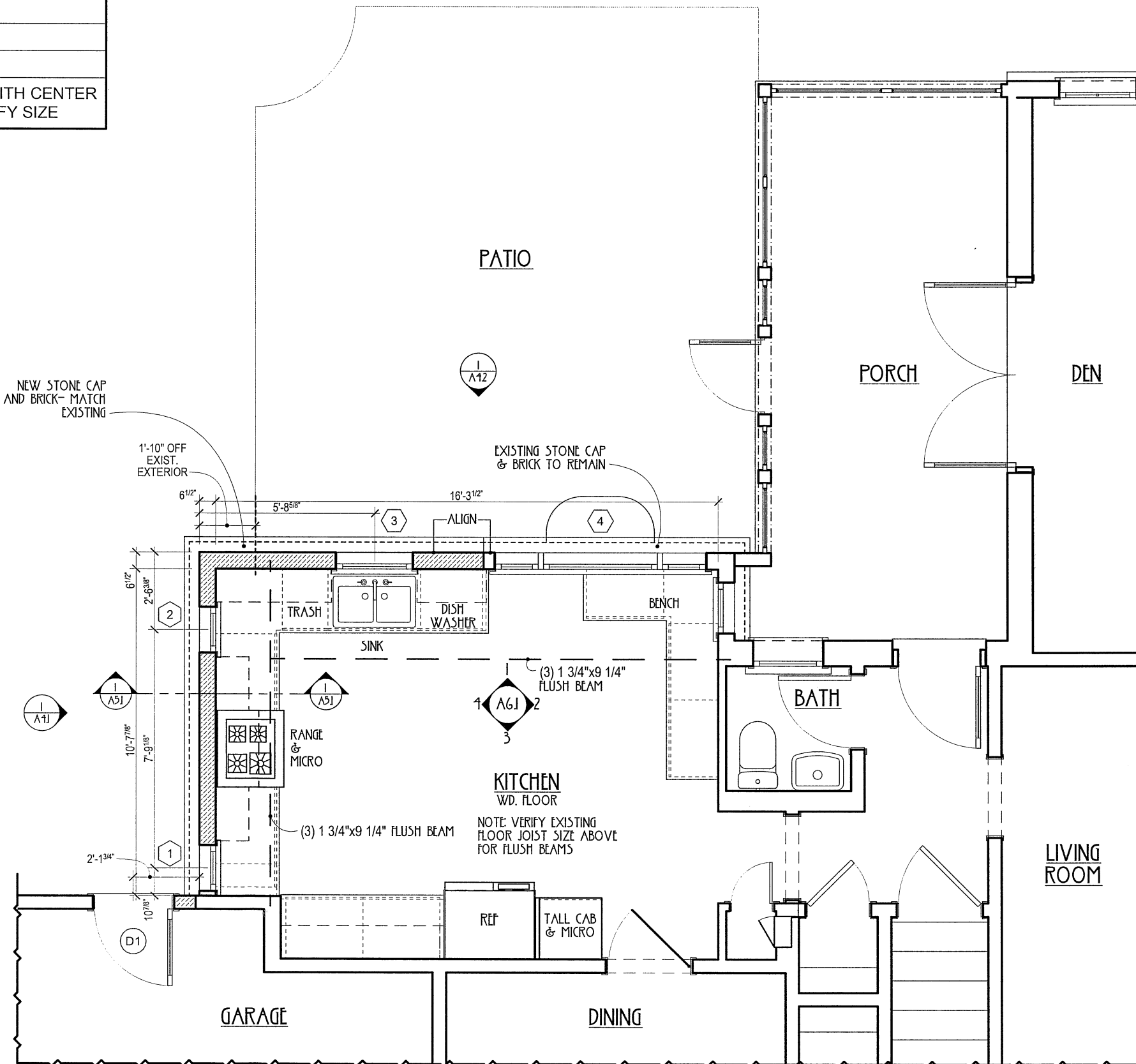


WINDOW SCHEDULE			
MARK	SIZE		NOTES
	WIDTH	HEIGHT	
1	1'-6"	3'-0"	
2	1'-6"	3'-0"	
3	2'-6"	3'-0"	
4	6'-10"	4'-6"	REPLACEMENT WINDOW - 3 PART WINDOW WITH CENTER FIXED AND 2 DBL HUNG ON SIDES - VERIFY SIZE

DOOR SCHEDULE				
MARK	SIZE			NOTES
	W	HT	THK	
D1	2'-6"	6'-8"	1 3/4"	GARAGE ACCESS DOOR REPLACED AND RELOCATED



2 LOWER LEVEL FLOOR PLAN
SCALE 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"




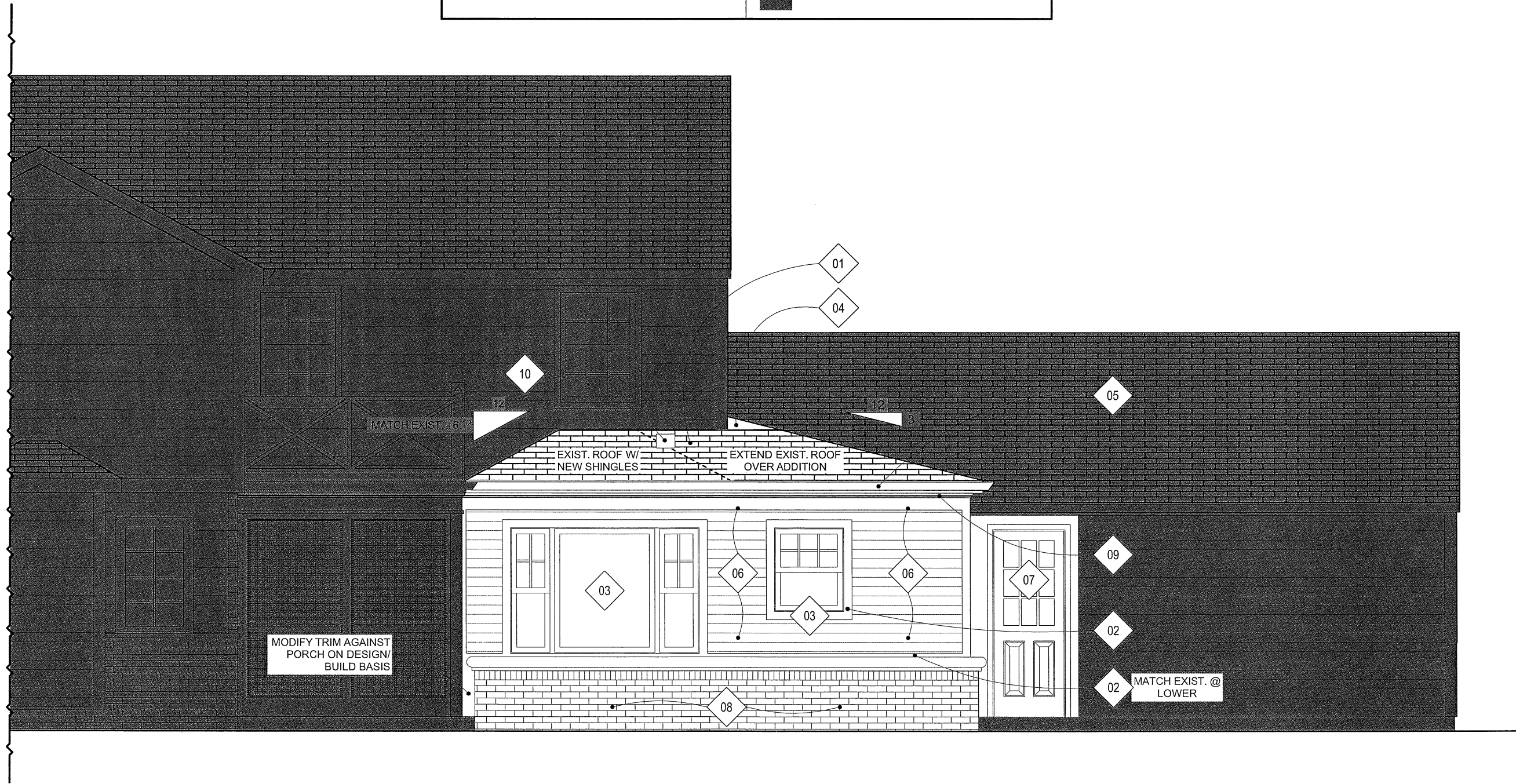
EXTERIOR ELEVATION NOTES	
01	NEW SHINGLE ROOF - MATCH EXISTING
02	IX TRIM
03	NEW WINDOW
04	METAL TRIM
05	GUTTER ON FASCIA - MATCH EXIST.
06	SIDING WITH CORNER BOARDS - MATCH EXISTING
07	NEW DOOR W 5/4" TRIM
08	BRICK KNEE WALL WITH CONCRETE CAP - MATCH EXISTING HEIGHT AND DESIGN
09	MOLDING ON 5/4 TRIM - MATCH EXISTING UPPER MOLDING
10	MUSHROOM AIR VENT
	EXISTING HOUSE UNCHANGED



I ELEVATION
SCALE 1/4" = 1'-0"

DATE	DESCRIPTION
09 JULY 2025	BID SET
15 MAR. 2026	REVISION 1

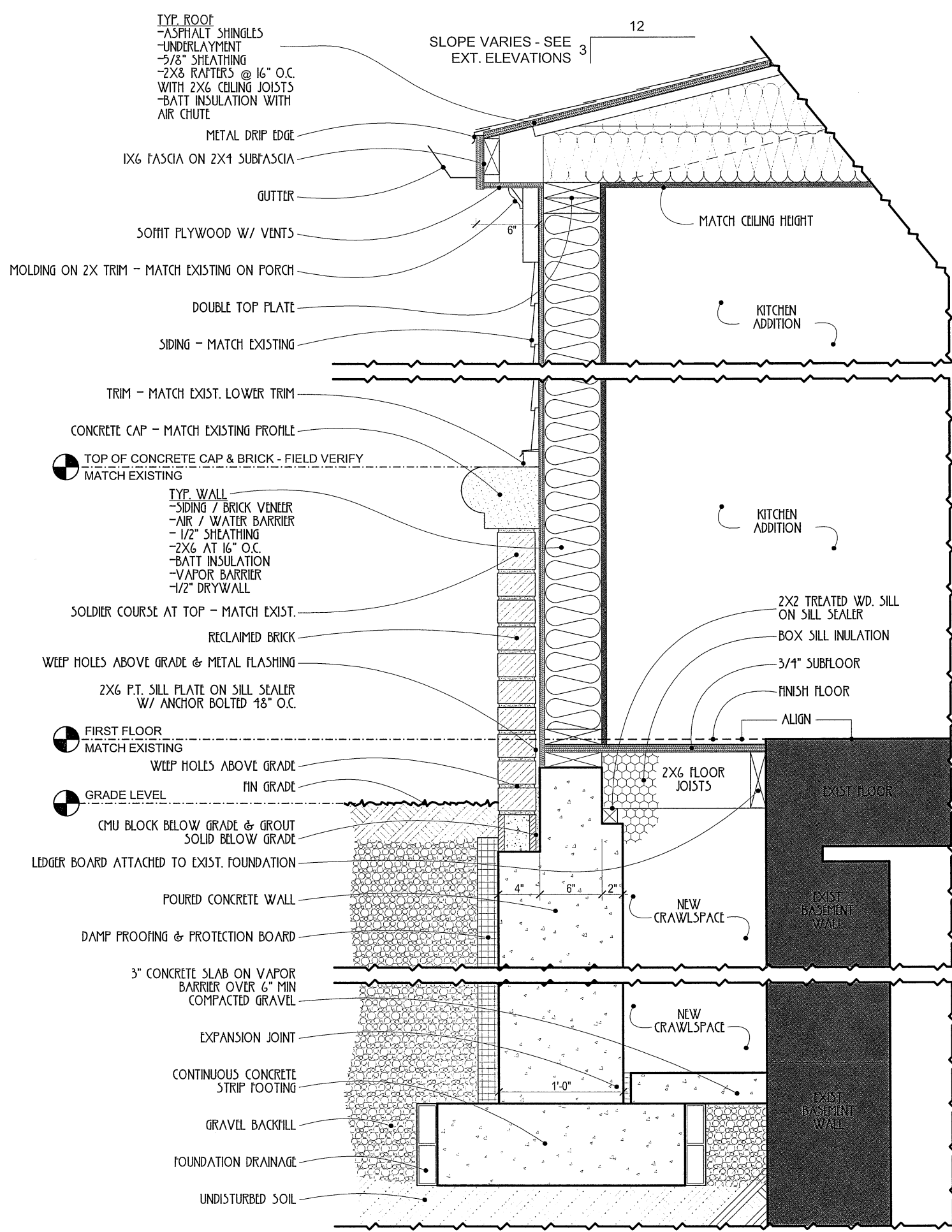
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01	NEW SHINGLE ROOF - MATCH EXISTING
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10	MUSHROOM AIR VENT
 EXISTING HOUSE UNCHANGED	



1 ELEVATION
SCALE: 1/4" = 1'-0"

DATE	DESCRIPTION
09 JULY 2025	BD SET
15 MAR. 2026	REVISION 1

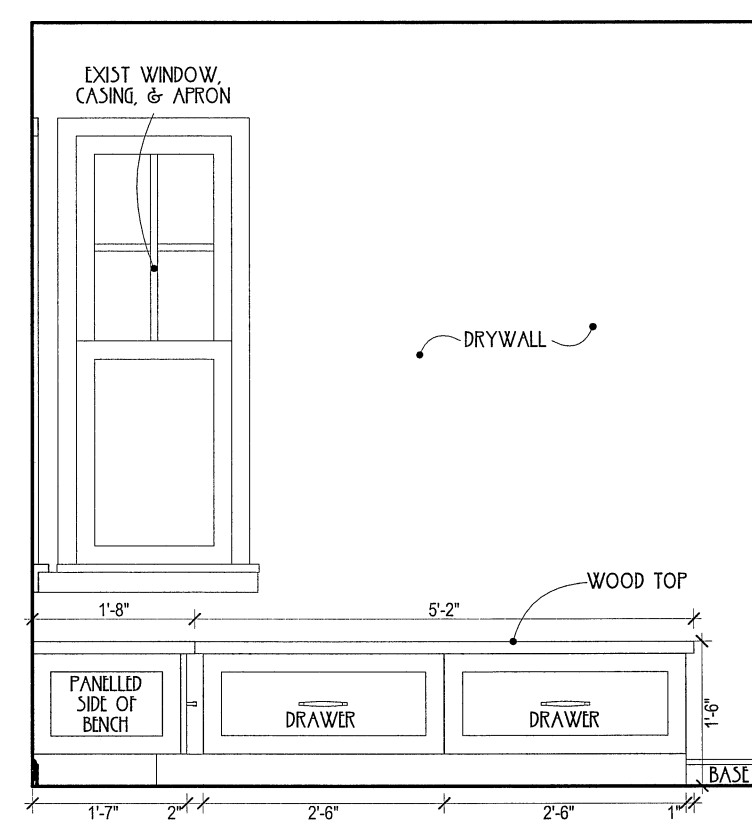
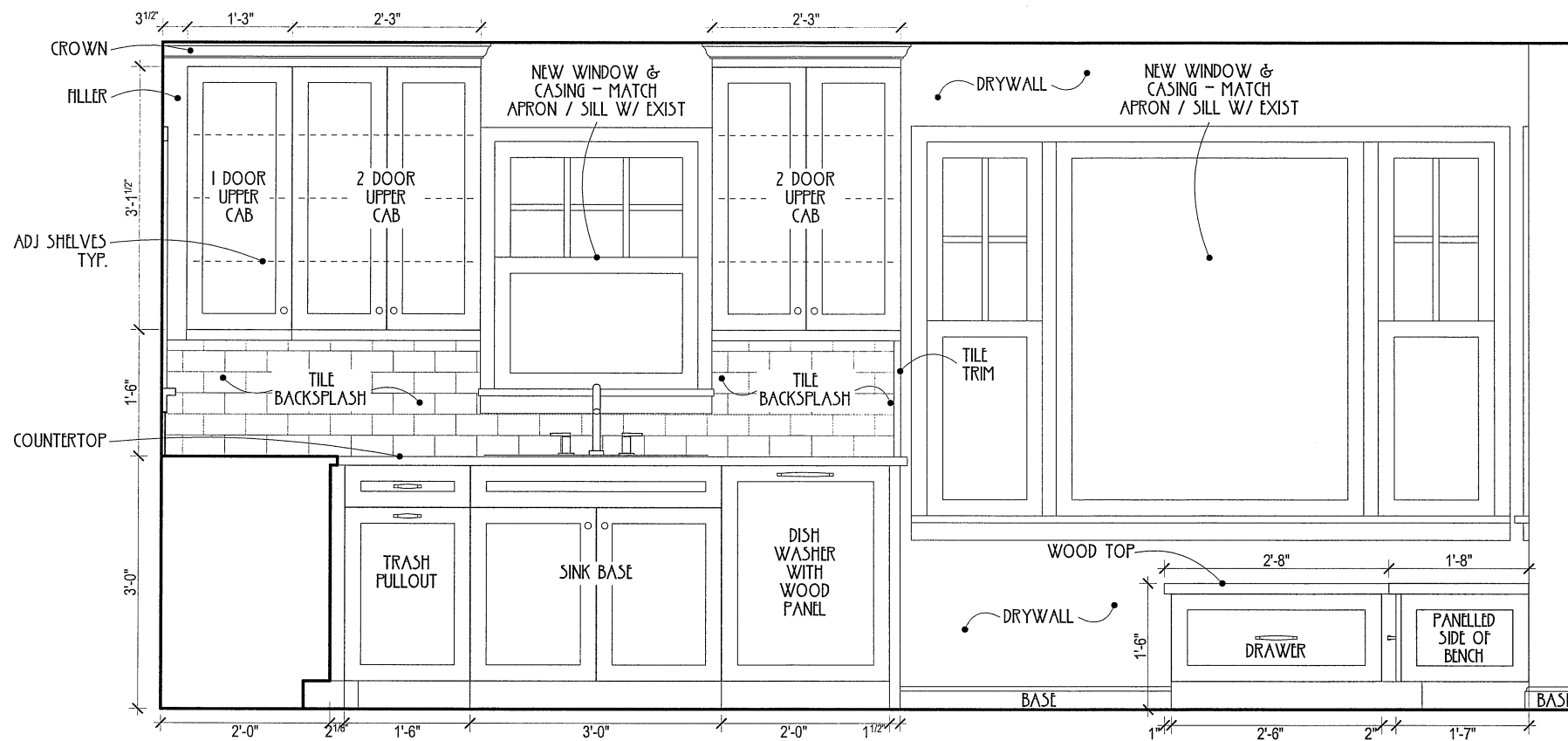
EXTERIOR ELEVATIONS
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1 TYP CONSTRUCTION SECTION
 SCALE: 1" = 1'-0"

DATE	DESCRIPTION
09 JULY 2025	BID SET
15 MAR 2026	REVISION 1

SECTION DETAILS
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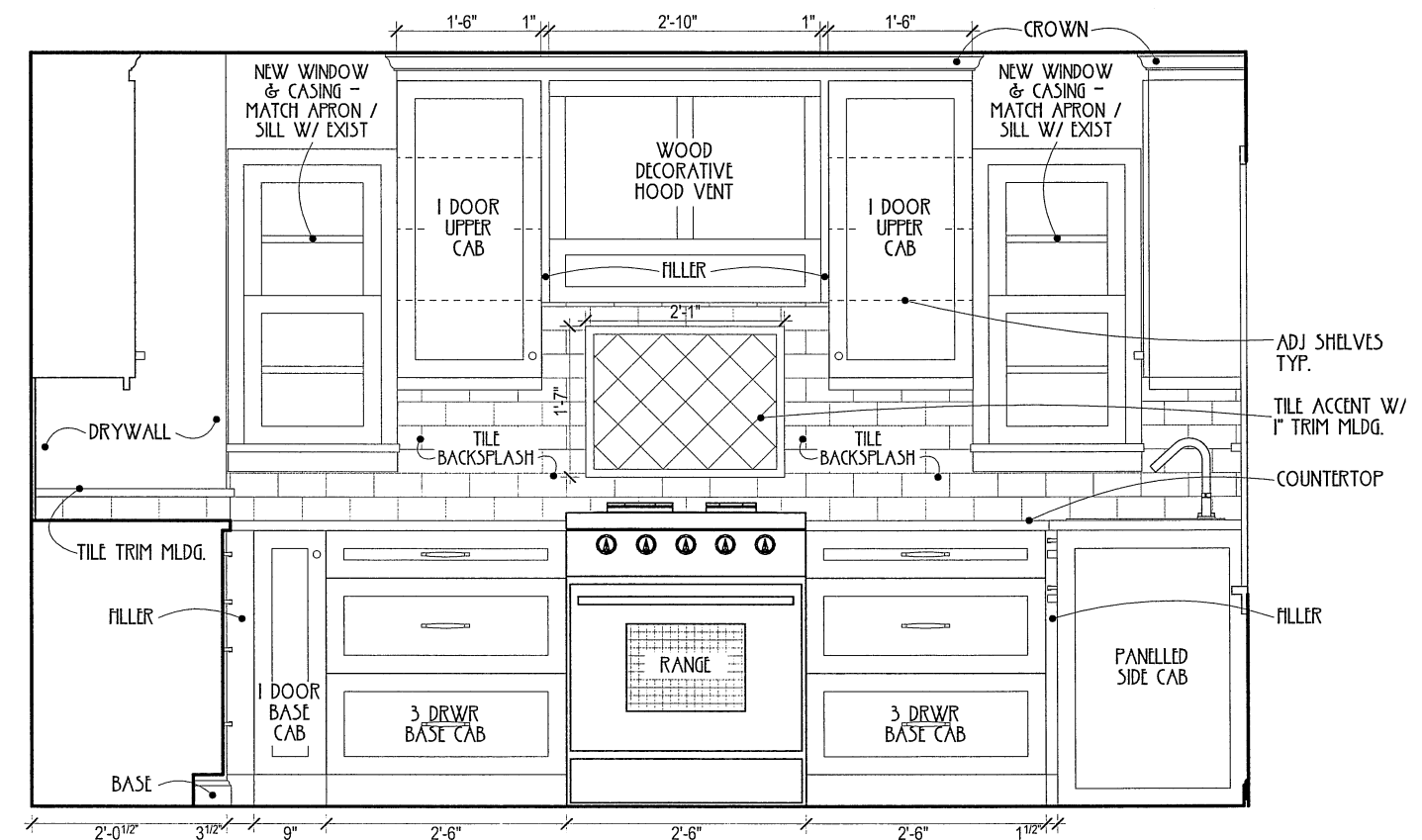
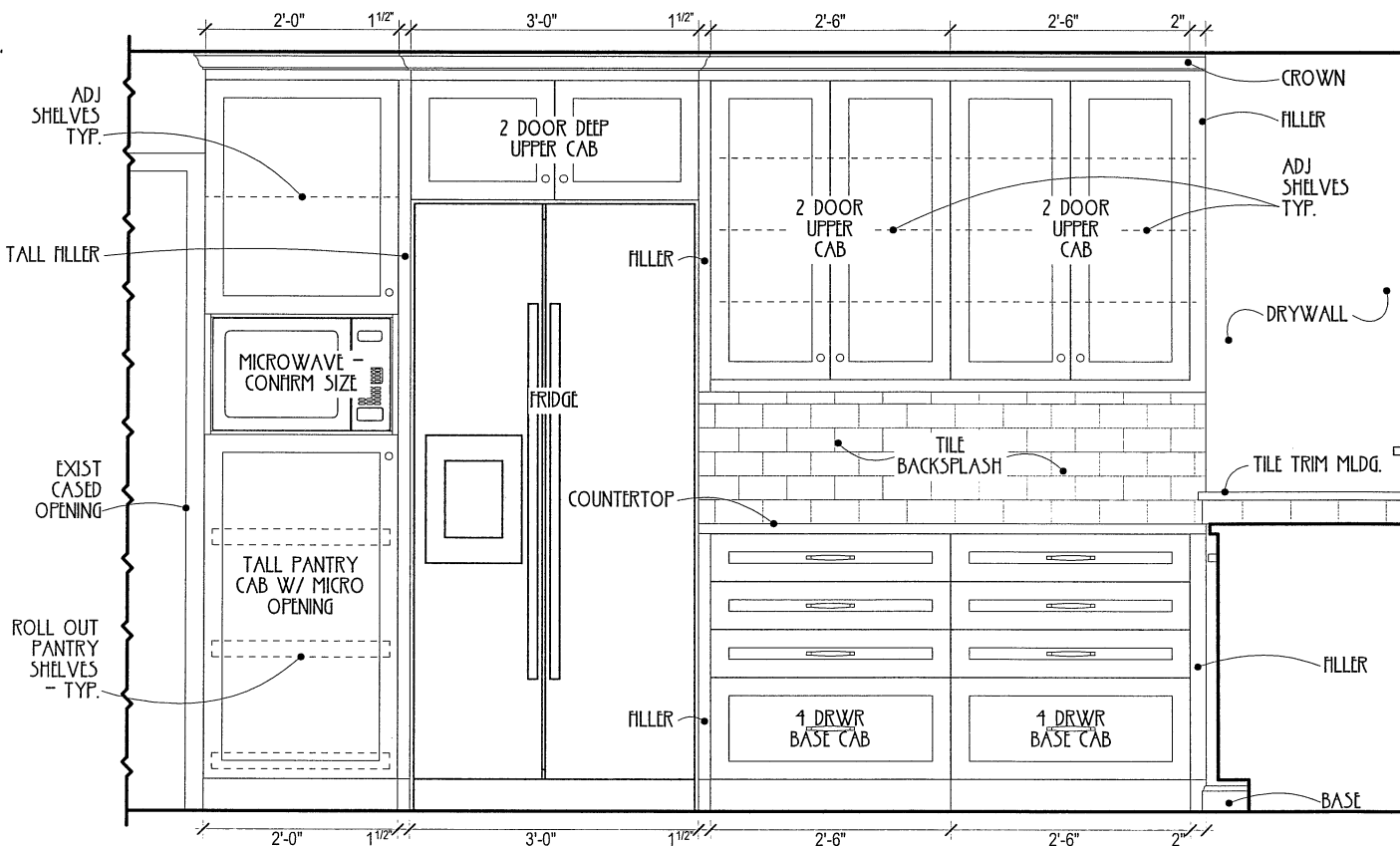
1 KITCHEN EAST

SCALE: 1/2" = 1'-0"

NOTE: ALL UPPER CABS WITH LIGHT VALENCE BELOW

2 KITCHEN SOUTH

SCALE: 1/2" = 1'-0"



4 KITCHEN NORTH

SCALE: 1/2" = 1'-0"

LINKS WAY KITCHEN
8530 N LINKS WAY
FOX POINT, WI 53217
PROJECT NUMBER: 2418

DATE DESCRIPTION
09 JULY 2025 BID SET
15 MAR. 2026 REVISION 1

INTERIOR ELEVATIONS












AGI

P E N N & P E N N A M M E R




4230 N. OAKLAND AVE #155, MILWAUKEE, WISCONSIN 53211 - 414.751.0939

ELECTRICAL KEY






LIGHT FIXTURE

-  CEILING-MOUNTED EXHAUST FAN 110 CFM QUIET SERIES
-  LED RECESSED DOWNLIGHT
-  3" DIA LED PUCK LIGHT
-  CEILING MOUNTED LIGHT
-  WALL MOUNTED LIGHT
-  LED UNDERCOUNTER LIGHT- WHITE FINISH
-  HIGH OUTPUT LINEAR STRIP LIGHT
-  PLUGMOLD OUTLET STRIP
-  ADJUSTABLE ACCENT RECESSED FIXTURE
-  WALL WASH
-  NEW LIGHT IN EXISTING






LOW VOLTAGE

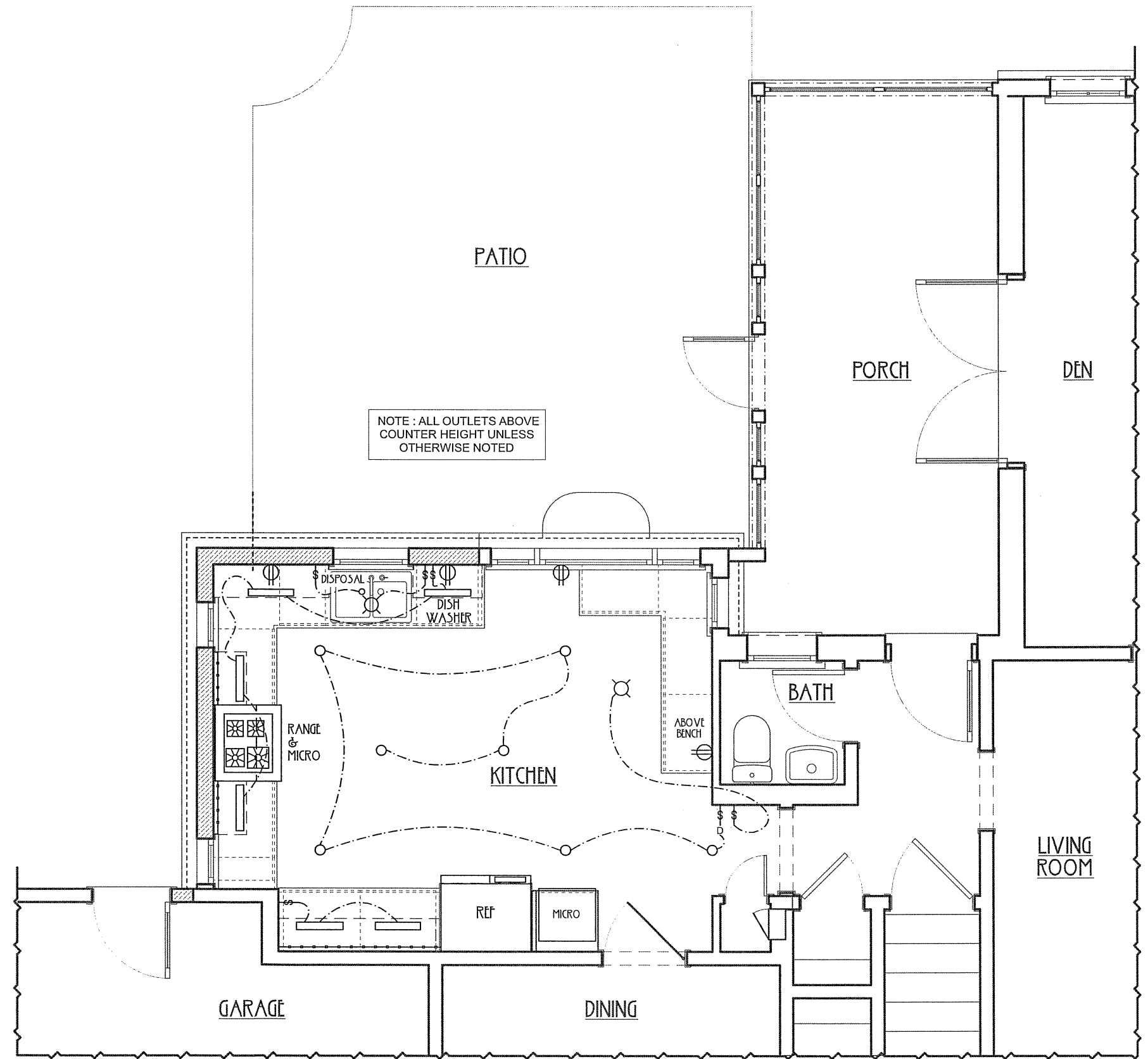
-  THERMOSTAT
-  TELEVISION JACK BY LOW VOLTAGE CONTRACTOR
-  DATA COMMUNICATIONS BY LOW VOLTAGE CONTRACTOR

POWER

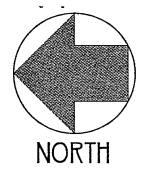
-  DUPLEX RECEPTACLE
-  SWITCHED DUPLEX RECEPTACLE
-  DUPLEX RECEPTACLE WITH DUAL USB CHARGING PORTS
-  DUPLEX FLOOR RECEPTACLE
-  DUPLEX FLOOR RECEPTACLE WITH DUAL USB CHARGING PORTS

CIRCUITRY

-  SINGLE POLE SWITCH
-  THREE WAY SWITCH
-  FOUR WAY SWITCH
-  DOOR JAMB SWITCH
-  DIMMER SWITCH SINGLE POLE

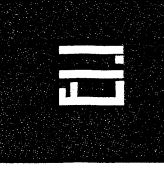


1 FIRST FLOOR ELECTRICAL PLAN
SCALE 1/4" = 1'-0"



DATE	DESCRIPTION
09 JULY 2025	RIP SET
15 MAR. 2026	REVISION 1

ELECTRICAL PLANS
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Existing Elevations

802 E Calumet, Fox Point, WI 53217



Front Elevation

South



Side Elevation

East

Existing Elevations

802 E. Calumet Road, Fox Point, WI 53217



Rear Elevation

North



Side Elevation

West

Existing Elevations

802 E. Calumet Road, Fox Point, WI 53217



Detached 2 car garage

South

Color Renderings

802 E Calumet Rd, Fox Point, WI 53217



FRONT ELEVATION



REAR ELEVATION

Color Renderings

802 E Calumet Rd, Fox Point, WI 53217



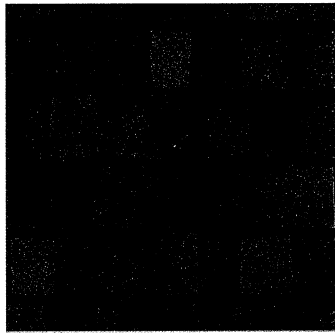
SOUTH ELEVATION



NORTH ELEVATION

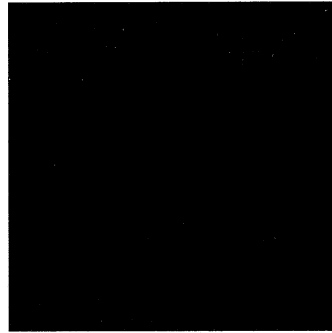
Exterior Material Selections

802 E Calumet Rd, Fox Point, WI 53217



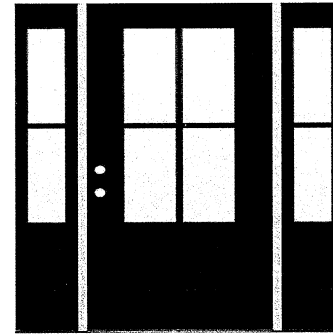
Roof Shingles

Certainteed Designer
Thunderstorm Gray



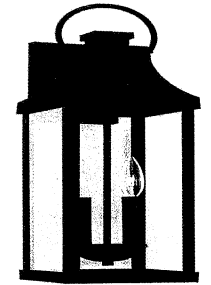
Garage Door

Clopay Bridgeport
Black Insulated



Front Door

Black French door with
Sidelights



Wall Lights

Capital Lighting 21"
Black lantern

Exterior Material Selections

802 E Calumet Rd, Fox Point, WI 53217



Stucco Color

Sherwin Williams, Shoji White
(SW 7042)



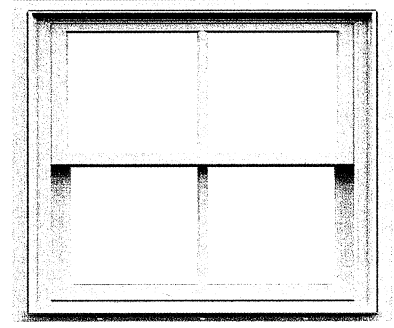
Trim Color

Sherwin Williams, Snowbound
(SW 7004)



Gutters/Downspouts

Sherwin Williams, Tricorn
Black (SW 6258)



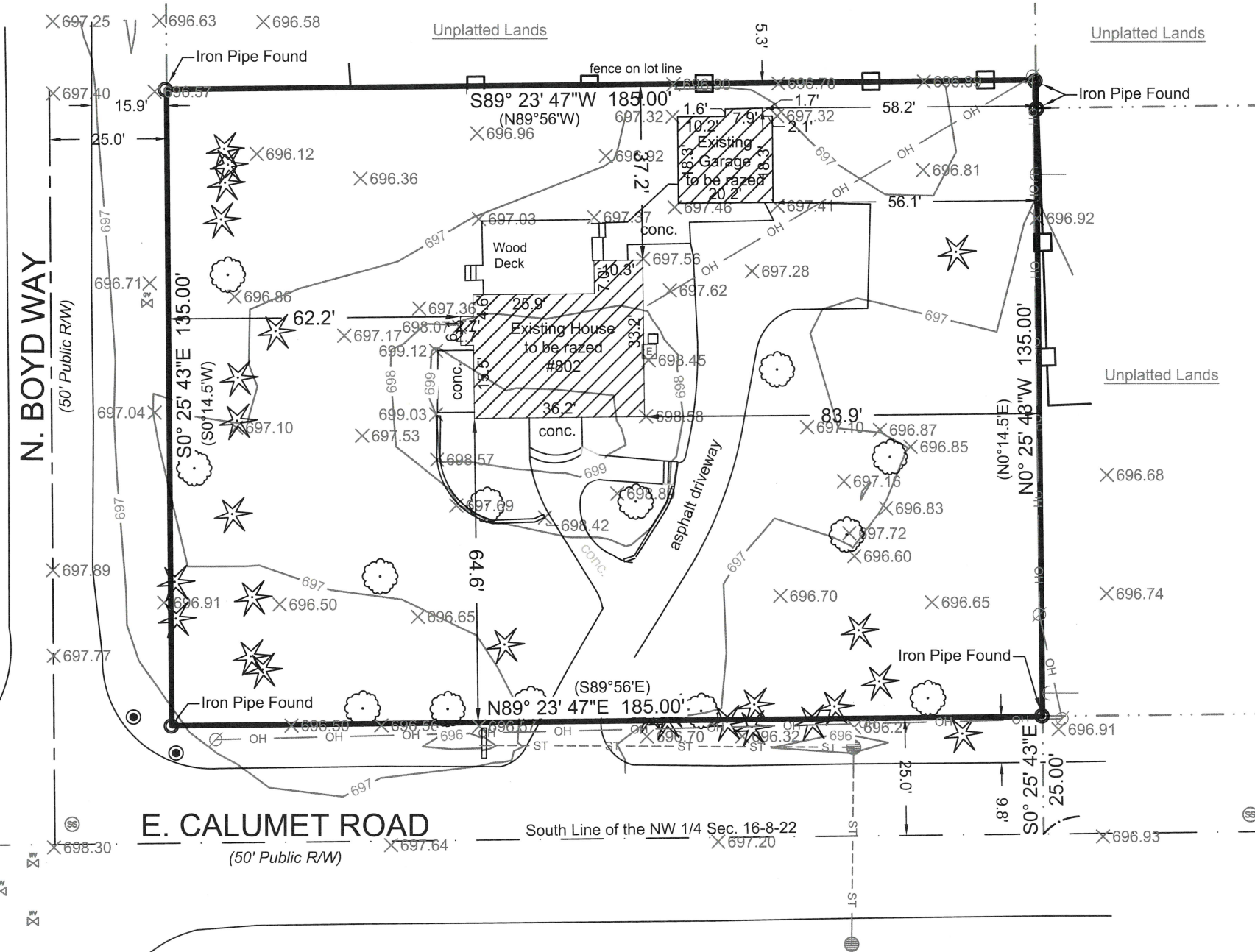
Window

Anderson double hung, White
with vertical grill

Plat of Survey

That part of the Northwest 1/4 of Section 16, Township 8 North, Range 22 East, Village of Fox Point, Milwaukee County, Wisconsin, bounded and described as follows: Commencing at a point which is in the East and West 1/4 Section 883 feet N89°56'W of the center of said Section 16 and which is the place of beginning of the lands to be described; thence N0°14.5'E, 160 feet; thence N89°56'W, 210 feet to the centerline of a reservation for highway purposes; thence S0°14.5'W and along the centerline of said reservation, 160 feet to a point in the centerline of Calumet Road; thence S89°56'E and along the centerline of said Calumet Road and said East and West 1/4 Section line, 210 feet to the place of beginning, Excepting therefrom the South 25 feet and the West 25 feet thereof.

PREPARED FOR: ELITE PROPERTY MANAGEMENT
 ADDRESS: 802 E. CALUMET ROAD
 TAX KEY: 092-9909-000
 AREA: 24,975 sq.ft. / 0.57335 acres ±



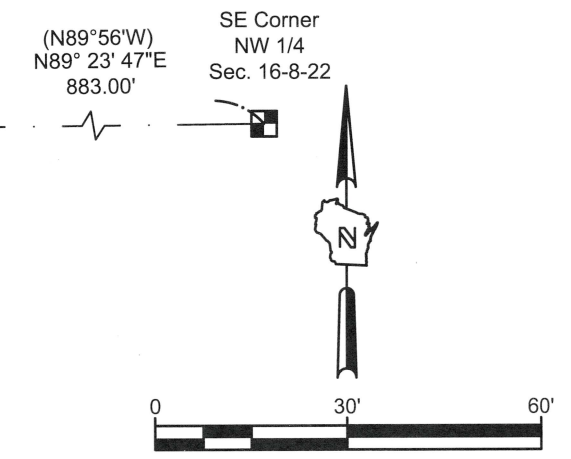
- General Notes:**
- Bearings are referenced to Wisconsin State Plane Coordinate System, South Zone, Datum NAD83 (2011)
 - () Denotes recorded bearing per deed.



I, Kevin A. Slotke, Professional Land Surveyor, certify that I have surveyed the above described property, to the best of my knowledge and ability, and that the map shown hereon is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures thereon, boundary fences, apparent easements, roadways and encroachments, if any.

Property Area Statistics:

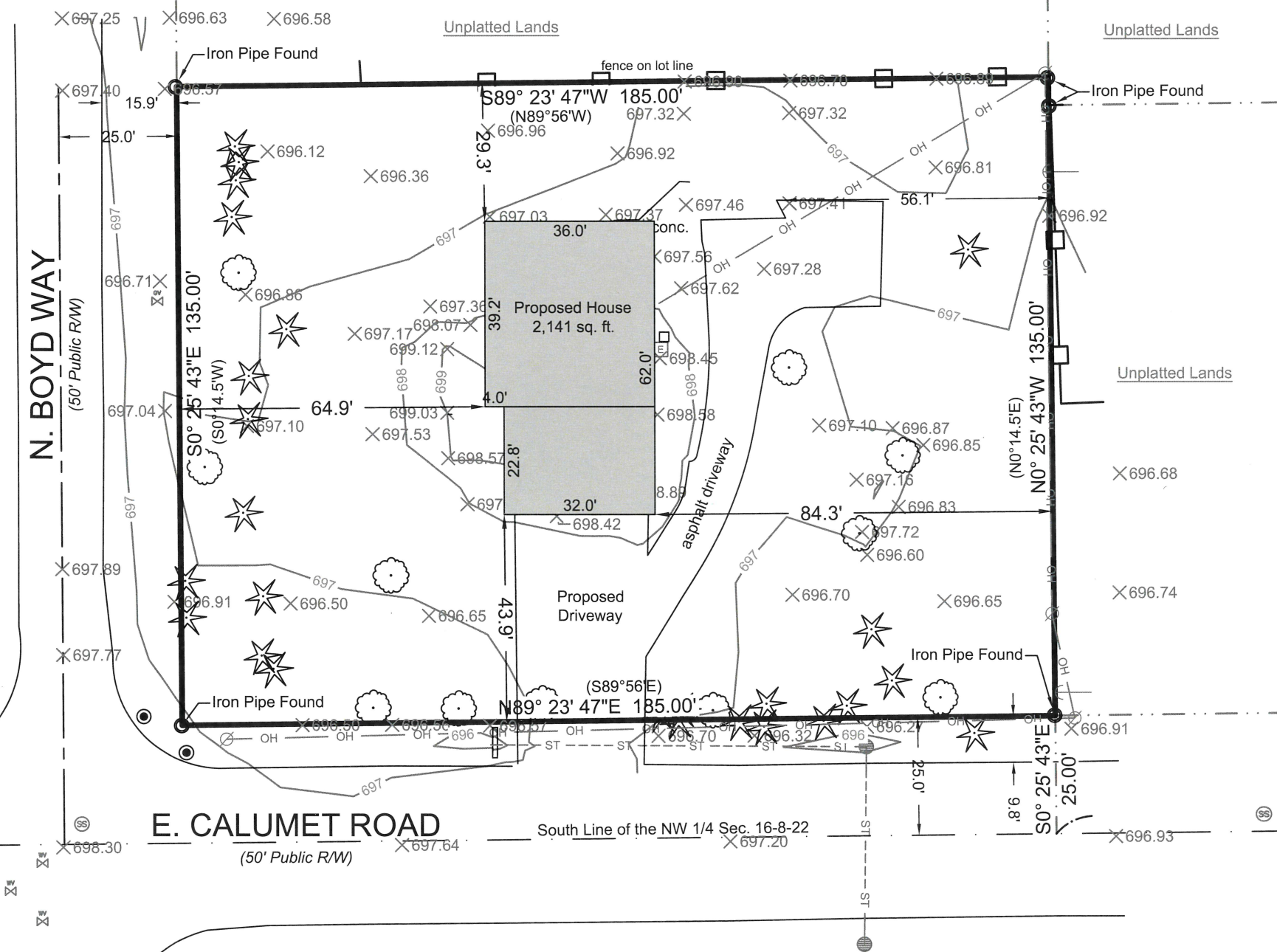
Total Property Area = 24,975 sq. ft./0.573 acres (100%)
 Current Impervious Area = 4,486 sq. ft./0.103 acres (18%)
 Current Open Space Area = 20,489 sq. ft./0.470 acres (82%)



Plat of Survey

That part of the Northwest 1/4 of Section 16, Township 8 North, Range 22 East, Village of Fox Point, Milwaukee County, Wisconsin, bounded and described as follows: Commencing at a point which is in the East and West 1/4 Section 883 feet N89°56'W of the center of said Section 16 and which is the place of beginning of the lands to be described; thence N0°14.5'E, 160 feet; thence N89°56'W, 210 feet to the centerline of a reservation for highway purposes; thence S0°14.5'W and along the centerline of said reservation, 160 feet to a point in the centerline of Calumet Road; thence S89°56'E and along the centerline of said Calumet Road and said East and West 1/4 Section line, 210 feet to the place of beginning, Excepting therefrom the South 25 feet and the West 25 feet thereof.

PREPARED FOR: ELITE PROPERTY MANAGEMENT
 ADDRESS: 802 E. CALUMET ROAD
 TAX KEY: 092-9909-000
 AREA: 24,975 sq.ft. / 0.57335 acres ±

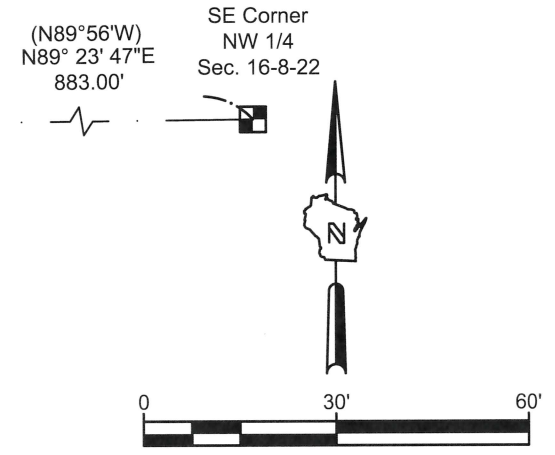


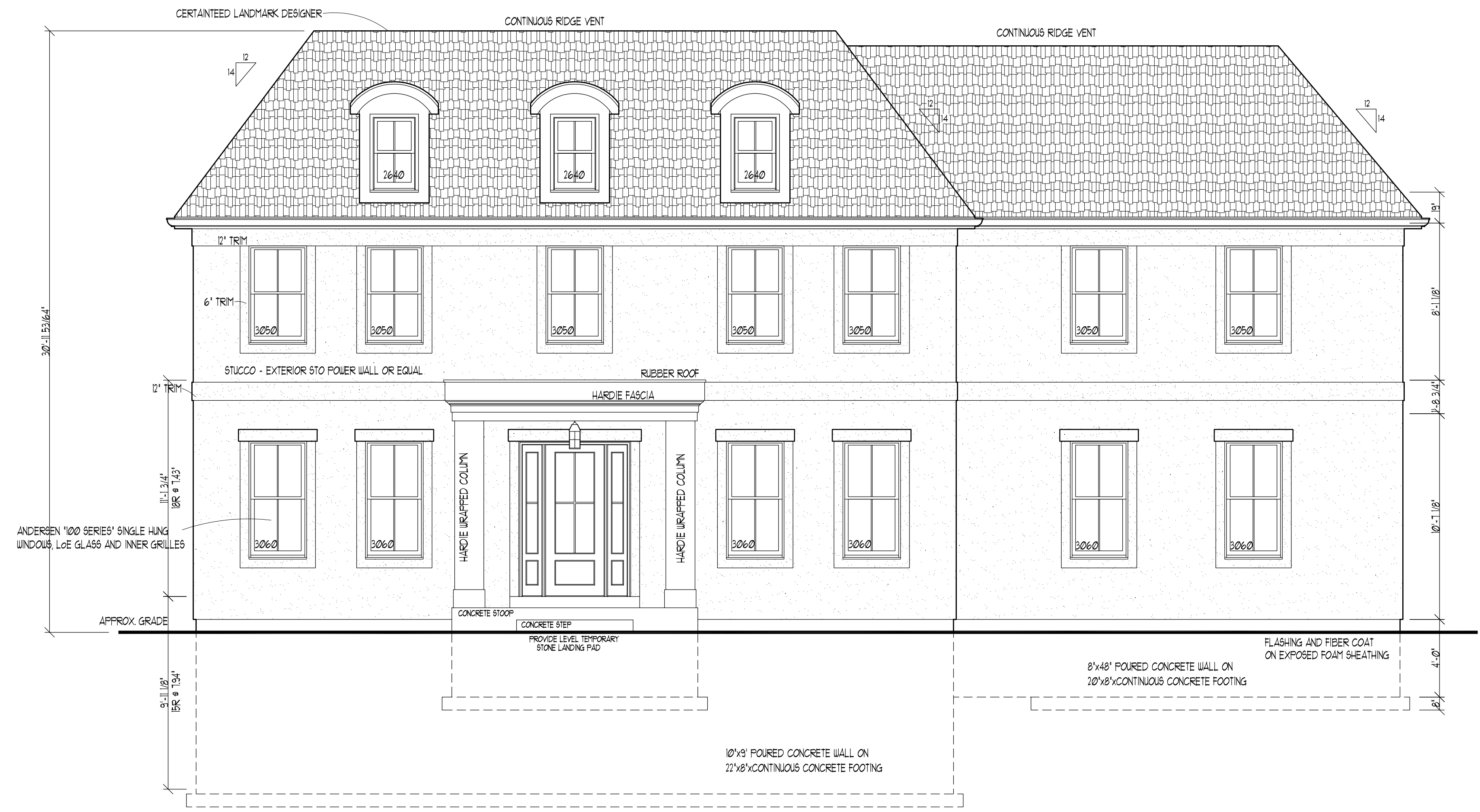
- General Notes:**
- Bearings are referenced to Wisconsin State Plane Coordinate System, South Zone, Datum NAD83 (2011)
 - () Denotes recorded bearing per deed.



I, Kevin A. Slotke, Professional Land Surveyor, certify that I have surveyed the above described property, to the best of my knowledge and ability, and that the map shown hereon is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures thereon, boundary fences, apparent easements, roadways and encroachments, if any.

Property Area Statistics:
 Total Property Area = 24,975 sq. ft./0.573 acres (100%)
 Proposed Impervious Area = 4,903 sq. ft./0.113 acres (20%)
 Proposed Open Space Area = 20,072 sq. ft./0.460 acres (80%)





FRONT ELEVATION

SCALE 1/4"=1'-0"

AREA DEFINITION:

FIRST FLOOR AREA:	1404 SQUARE FEET
SECOND FLOOR AREA:	2063 SQUARE FEET
TOTAL LIVING AREA:	3467 SQUARE FEET
FUTURE FINISHED BASEMENT AREA:	911 SQUARE FEET
GARAGE AREA:	136 SQUARE FEET
EXTERIOR COVERED PORCH AREA:	54 SQUARE FEET

ELS DESIGNS, INC.
 CEDARBURG, WISCONSIN 53012
 (262) 376-1150
 (262) 376-1153 FAX
 EMAIL: esldesigns@elsdesignsinc.com
 www.elsdesignsinc.com

PRELIMINARY PLANS FOR
FOX POINT MODEL
 802 CALUMET
 FOX POINTE, WISCONSIN
ELEVATIONS
 SHEET CONTENTS

NOTE:
 ALL DOWNPOUT LOCATIONS TO BE SITE VERIFIED AND
 AND ANY TRENCHING OR BURYING IS BY OWNER.

NOTE:
 ALL WINDOWS AND DOORS TO BE FLASHED PER CODE AND SEALED
 WITH A SELF-ADHERED FLASHING. PER MANUFACTURER'S INSTALLATION INSTRUCTIONS
 THIS ALSO TO INCLUDE A SILL FLASHING.

SHEET INDEX:

SHEET A1	FRONT ELEVATION, SHEET INDEX
SHEET A2	PROJECT DATA, NOTES, FOUNDATION PLAN
SHEET A3	FIRST FLOOR PLAN
SHEET A4	SECOND FLOOR PLAN
SHEET A5	RIGHT AND LEFT ELEVATIONS
SHEET A6	REAR ELEVATION, SECTIONS, AND DETAILS

KEY TO MATERIALS

[Pattern]	EARTH	[Pattern]	ROUGH WOOD FRAMING (PLAN/VIEW)
[Pattern]	CONCRETE	[Pattern]	FRAMING (SECTION)
[Pattern]	GRAVEL	[Pattern]	BATT/BLOWN INSULATION
[Pattern]	CONCRETE BLOCK	[Pattern]	STONE (ELEVATION)
[Pattern]	BRICK	[Pattern]	STONE (PLAN)

PROJECT DATA:

OWNERS:
 ELITE PROPERTY MANAGEMENT, LLC.
 2501 W. CEDAR LANE
 RIVER HILLS, WI 53211
 414-305-8142

BUILDER/GENERAL CONTRACTOR:
ELS Designs, Inc.
 3801 Thomas Park Drive
 WESTBEND, WI 53095
 262-719-0548

AREA:
 3467 SQUARE FEET

TYPE:
 WOOD FRAMED - RESIDENTIAL I/LHR 20-25



VICINITY MAP

NO SCALE

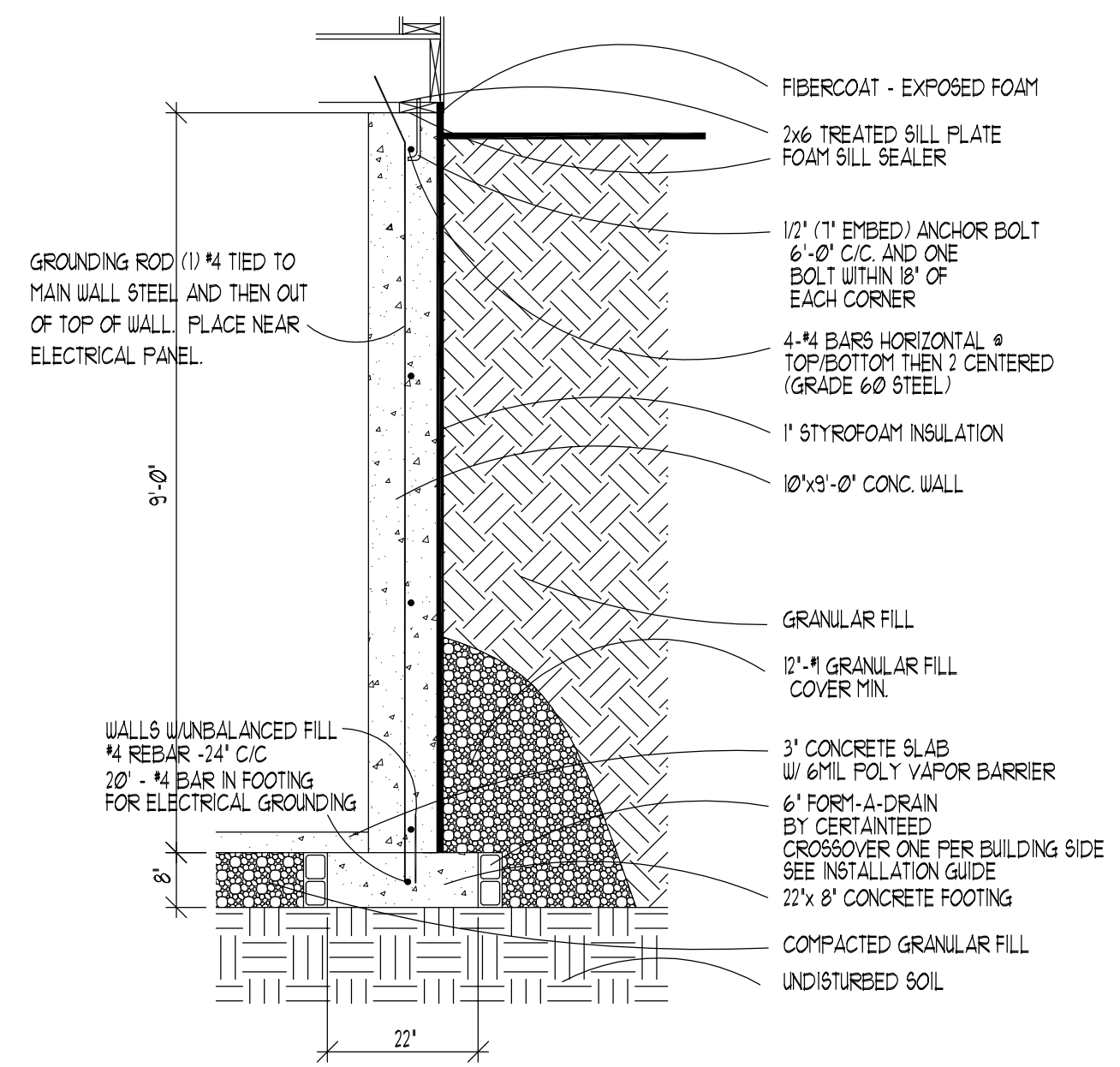
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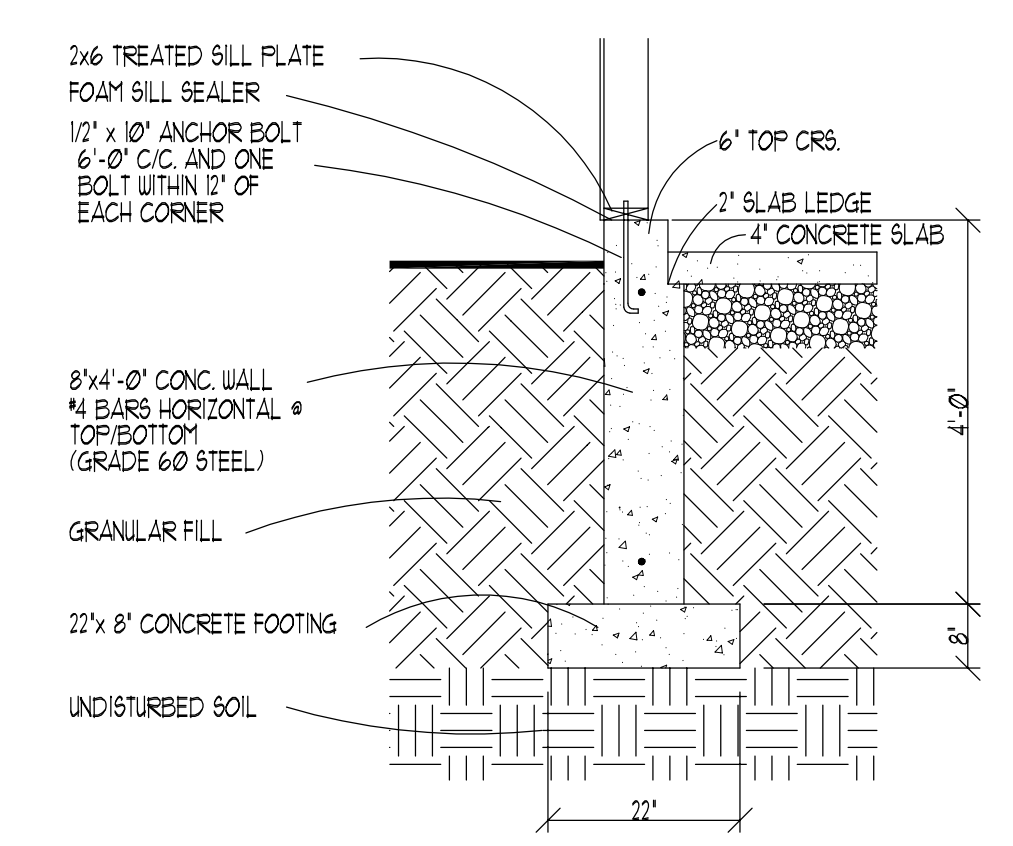
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SHEET NUMBER
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DETAIL SECTION "A"
 SCALE 1/2"=1'-0"

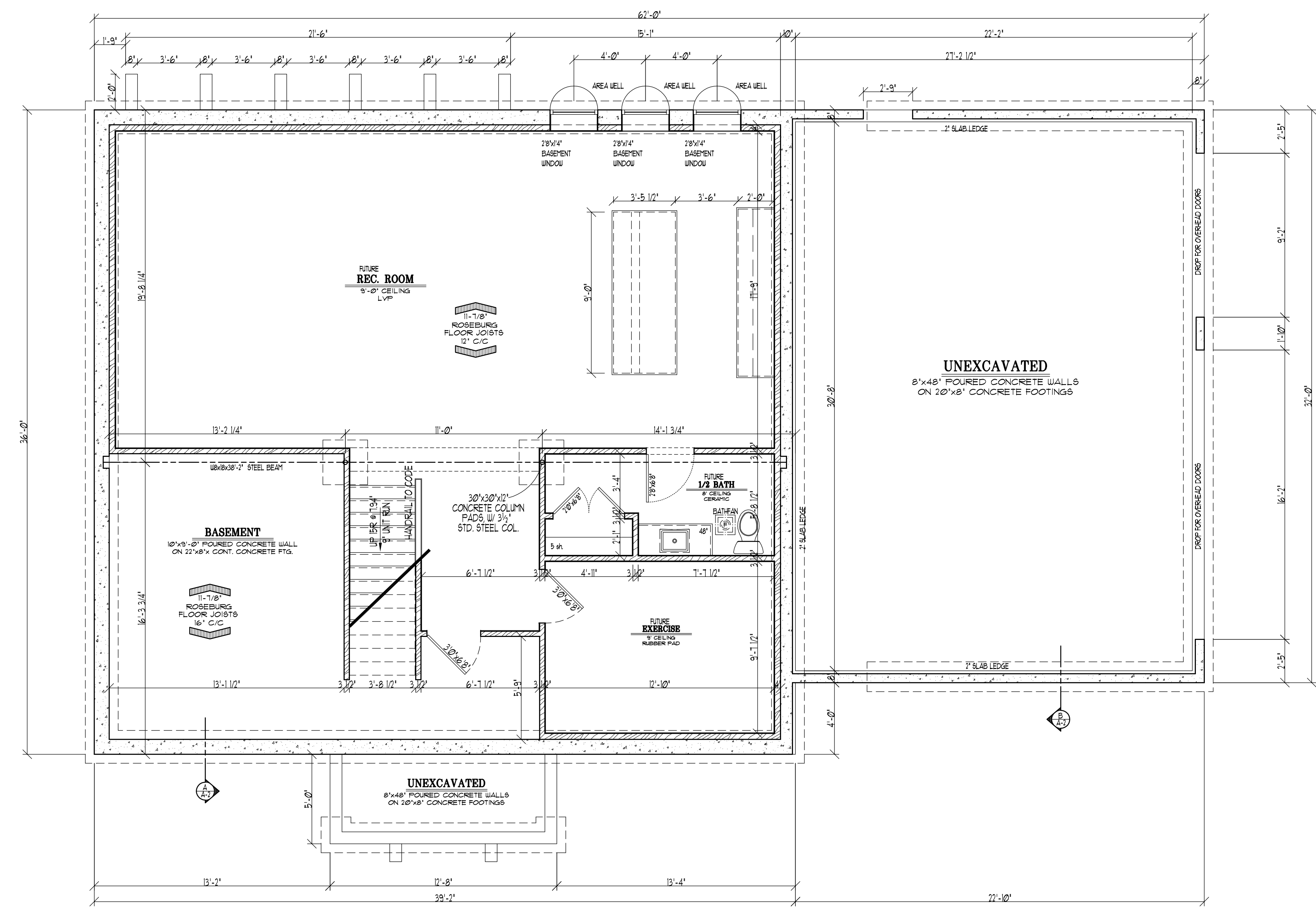


DETAIL SECTION "B"
 SCALE 1/2"=1'-0"

NOTE:
 ALL MECHANICAL LOCATIONS WILL BE FIELD VERIFIED BY THEIR RESPECTIVE INSTALLERS. THEY MAY NEED TO BE RELOCATED FOR OPTIMAL EFFICIENCY, PER SITE.

NOTE:
 LEVELING MAY BE NEEDED FOR CONCRETE PITCH IN BASEMENT WHEN USING VINYL, LAMINATE, TILE OR HARDWOOD FLOORINGS.

NOTE:
 JOIST LAYOUTS TO BE PROVIDED BY JOIST SUPPLIER. SUPPLIER TO RE-CALC ALL BEAMS, HEADERS, AND JOISTS. PLAN LAYOUT SHALL CONFORM TO ALL ARCHITECTURAL DIMENSIONS OF THIS PLAN, AND SHALL BE CONSIDERED THE STRUCTURAL PLAN HENCEFORTH FOR BUILDING PURPOSES.

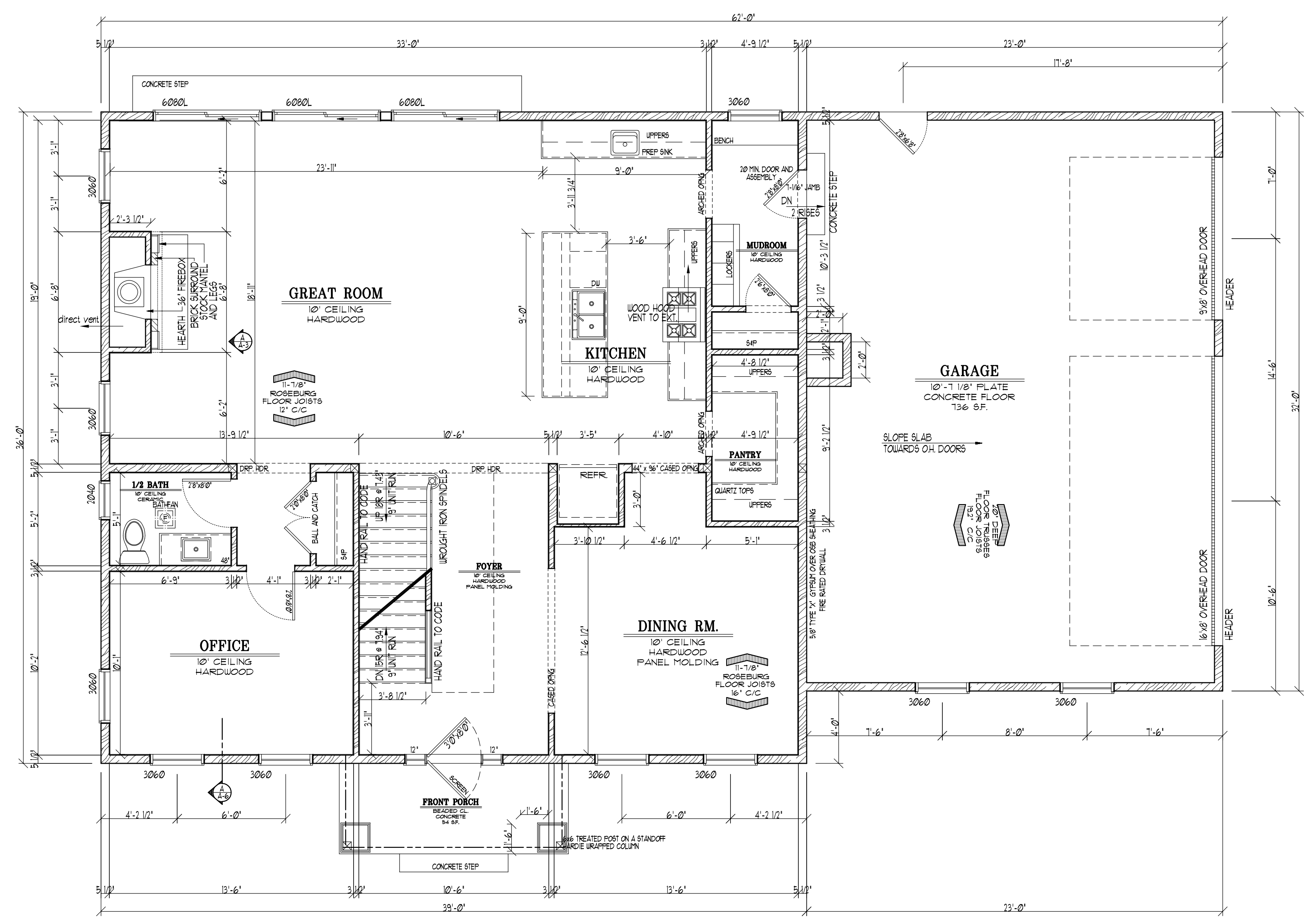


BASEMENT PLAN
 911 SF. FUTURE FINISH BASEMENT
 SCALE 1/4"=1'-0"

PRELIMINARY PLANS FOR
FOX POINT MODEL
 802 CALLIET
 FOX POINTE, WISCONSIN
BASEMENT PLAN
 SHEET CONTENTS

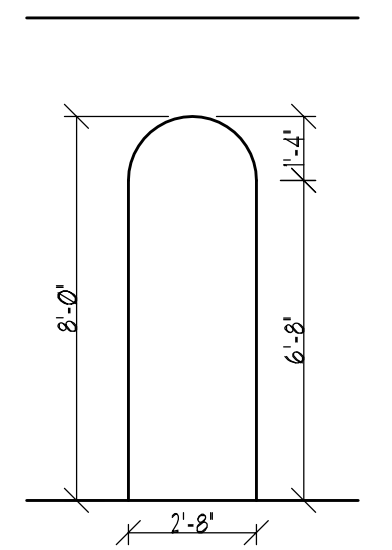
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FIRST FLOOR PLAN
 1404 SQUARE FEET

SCALE 1/4"=1'-0"

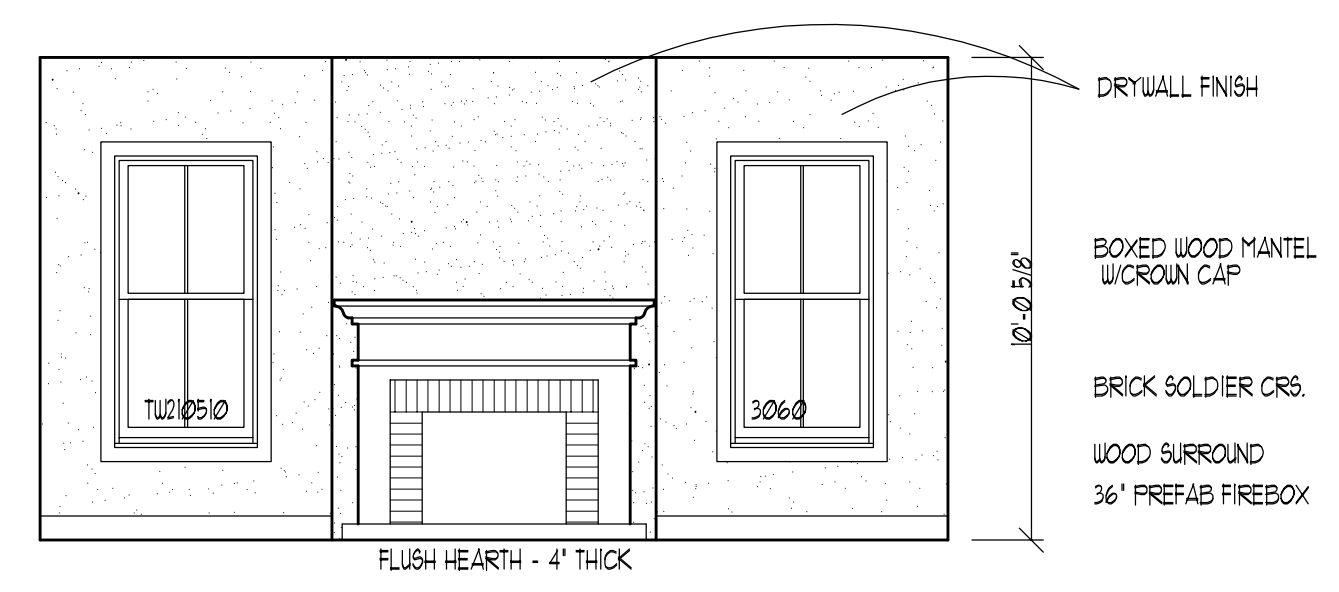


ARCHED
OPENING
 SCALE 1/4"=1'-0"

NOTE:
 2x4 AND 2x6 WALLS MAY NOT EXCEED 10'-0"
 ANY WALL EXCEEDING 10'-0" WILL NEED ENGINEERING BY MANUFACTURER.
 THE SUPPLIER MUST FURNISH THOSE DOCUMENTS.

NOTE:
 JOIST LAYOUTS TO BE PROVIDED BY JOIST SUPPLIER.
 SUPPLIER TO RE-CALC ALL BEAMS, HEADERS, AND JOISTS.
 PLAN LAYOUT SHALL CONFORM TO ALL ARCHITECTURAL DIMENSIONS
 OF THIS PLAN, AND SHALL BE CONSIDERED THE STRUCTURAL PLAN
 HENCEFORTH FOR BUILDING PURPOSES.

NOTE:
 ALL WINDOWS AND DOORS TO BE FLASHED PER CODE AND SEALED
 WITH A SELF-ADHERED FLASHING PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 THIS ALSO TO INCLUDE A SILL FLASHING.



FIREPLACE DETAIL-A
 SCALE 1/4"=1'-0"

GENERAL NOTES:

- ALL CONTRACTORS ARE RESPONSIBLE FOR CLEANING THEIR OWN DEBRIS TO A CENTRAL SCRAP PILE OR DUMPSTER IF PROVIDED, AND ARE TO BROOM CLEAN THE BUILDING UPON COMPLETION OF THEIR WORK.
- ALL CONTRACTORS ARE COMPLETELY RESPONSIBLE FOR THE QUALITY AND INTEGRITY OF ANY AND ALL MATERIALS, AND / OR LABOR THEY SUPPLY, AND ARE RESPONSIBLE FOR ALL FEDERAL, STATE, AND LOCAL CODE COMPLIANCE, OR FOLLOWING MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION AND ARE TO PROVIDE A ONE YEAR WARRANTY FROM THE DAY OF COMPLETION OR OCCUPANCY, WHICHEVER COMES FIRST.
- ALL CONTRACTORS AND / OR SUPPLIERS ARE TO INCLUDE ANY AND ALL TAXES, DELIVERY, HANDLING CHARGES, AND OVERHEAD COSTS IN ANY PROPOSAL SUBMITTED TO THE BUILDER. A CERTIFICATE OF LIABILITY AND WORKMAN'S COMPENSATION COVERAGES ARE REQUIRED, ALONG WITH LEND WAIVERS FOR ALL WORK PERFORMED AND / OR MATERIALS SUPPLIED, AT THE TIME OF INVOICING AND PAYMENT.
- DOUBLE EVERY JOIST UNDER CERAMIC TILE AREAS WHEN NOT USING AN I-JOIST TYPE PRODUCT.
- ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL ROUGH AND FINISH OPENINGS FOR WINDOWS, DOORS, FIREPLACES, STAIRS AND STAIRWELL. MAKING SURE THEY MEET OR EXCEED CODE COMPLIANCE
- CARPENTER IS RESPONSIBLE FOR CRANE COSTS IF REQUIRED
- HVAC CONTRACTOR IS TO PROVIDE ALL HEAT CALCULATIONS
- DRYWALL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DRYWALL DEBRIS FROM SITE.
- TRUSS SUPPLIER TO PROVIDE ALL DRAWINGS, LAYOUTS, AND STRUCTURAL SPECIFICATIONS FOR TRUSSES THEY SUPPLY AND ARE RESPONSIBLE FOR THE STRUCTURAL ACCURACY FOR THIS PLAN.
- MASON CONTRACTOR IS RESPONSIBLE FOR ALL FOUNDATION INSPECTION CALLS, BRACING OF THE BASEMENT WALLS PRIOR TO BACKFILL, HAYING OF FOOTINGS FOR FROST PROTECTION AS REQUIRED.
- 1" DOW POLYISOCYANURATE FOAM BOARD FOR WIND WASH PANEL ON ATTIC SIDE OF STUD WALLS FOR CEILING HEIGHT CHANGES.
- OWNER & CONTRACTOR IS RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS & EXISTING DIMENSIONS FOR ACCURACY. CONTRACTOR IS REQ'D TO OBTAIN CLARIFICATION FROM THE OWNER BEFORE PROCEEDING WITH ANY WORK IN QUESTION. THESE PLANS WERE DESIGNED & DRAFTED TO MEET AVERAGE CONDITIONS AND CODES. BECAUSE CODES & REQUIREMENTS CAN CHANGE & MAY VARY FROM JURISDICTION THERE IS NO GUARANTEE OF COMPLIANCE WITH ANY SPECIFIC CODE OR REGULATION. CONSULT YOUR LOCAL BUILDING PROFESSIONAL TO DETERMINE THE SUITABILITY OF THESE PLANS FOR SPECIFIC SITE & APPLICATION.
- IT IS THE SOLE RESPONSIBILITY OF THE PURCHASER / OR BUILDER OF THIS PLAN TO SEE THAT THE STRUCTURE IS BUILT IN STRICT COMPLIANCE WITH ALL GOVERNING MUNICIPAL CODES (CITY/COUNTY/STATE) & FEDERAL. THE DESIGNER SHALL HAVE NO LIABILITY FOR FAILURE OF COMPLIANCE.
- DRAWINGS ARE PROVIDED 'AS IS' WITH ALL FAULTS'. E.L.S. DESIGNS, INC. THE DESIGNER/ DRAFTER HEREBY DISCLAIMS ANY & ALL WARRANTIES, EXPRESS OR IMPLIED, INCLUDING THE IMPLIED WARRANTY OF FITNESS FOR A PARTICULAR PURPOSE. THE PURCHASER, / OR BUILDERS OF THIS PLAN RELEASE & WAIVE THE DESIGNER, ITS OFFICERS, OWNERS, EMPLOYEES FROM ANY & ALL CLAIMS OR LAWS SUITS AGAINST THAT MAY ARISE DURING THE CONSTRUCTION OF THIS STRUCTURE OR AT ANY TIME THEREAFTER.
- IF ANY UNFORESEEN AESTHETIC OR STRUCTURAL ISSUES ARISE FOR THE OWNER DURING THE CONSTRUCTION OF THE CUSTOM PLAN DESIGN DESCRIBED IN THIS CONTRACT WILL BE THE OWNERS RESPONSIBILITY FOR ANY SUCH REMEDIES AS THEY SEE FIT.

STANDARD NOTE:

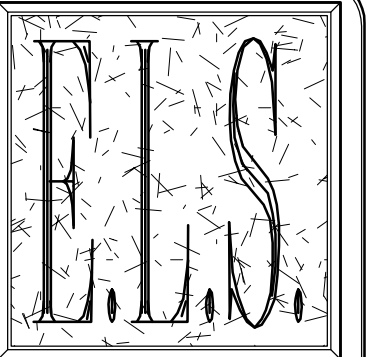
- SMOKE DETECTORS TO BE WIRED INTO HOUSE CURRENT W/BATTERY BACK-UP, INTERCONNECT SO IF ONE SOUNDS, THEY ALL SOUND. TYP. # EVERY FLOOR AND EACH BEDROOM.
- VENT ALL BATH EXHAUST FANS TO OUTSIDE, TYPICAL.
- VENT ALL MICROWAVE OR STOVE HOODS TO OUTSIDE, TYPICAL.
- SET ALL WINDOW HEAD HEIGHTS # 8'-0" ABOVE FIRST FLOOR AND 6'-11" ABOVE THE SECOND FLOOR UNLESS NOTED.
- ALL INTERIOR DIMENSIONS ARE MEASURED FROM THE DRYWALL FACE.
- ALL EXTERIOR DIMENSIONS ARE FROM THE STUD FACE.
- HEADERS OVER 6' LONG SHALL HAVE DOUBLE SHOULDER STUDS AT EACH END, UNDER 6' LONG SHALL HAVE SINGLE SHOULDER UNDER EACH END.
- MULTIPLE FLY SAUN LUMBER HEADERS ARE TO BE NAILED TOGETHER WITH ROLLS OF 10D COMMONS AT 16" C/C. 4 PER ROW FOR 2' x 10" MEMBERS AND LARGER.
- HEADERS HAVE BEEN IDENTIFIED IN ALL BEARING WALLS. HEADERS IN NON-BEARING WALLS SHALL BE A MINIMUM OF (2) 2" x 6" MEMBERS.
- THE NUMBER OF SHOULDER STUDS SUPPORTING A GIRDER TRUSS SHALL MATCH THE NUMBER OF FLYS MAKING UP THE GIRDER TRUSS.
- PROVIDE JOIST WEB STIFFENERS AND NAILING PER MANUFACTURERS RECOMMENDATIONS AT INTERIOR BEARING POINTS.

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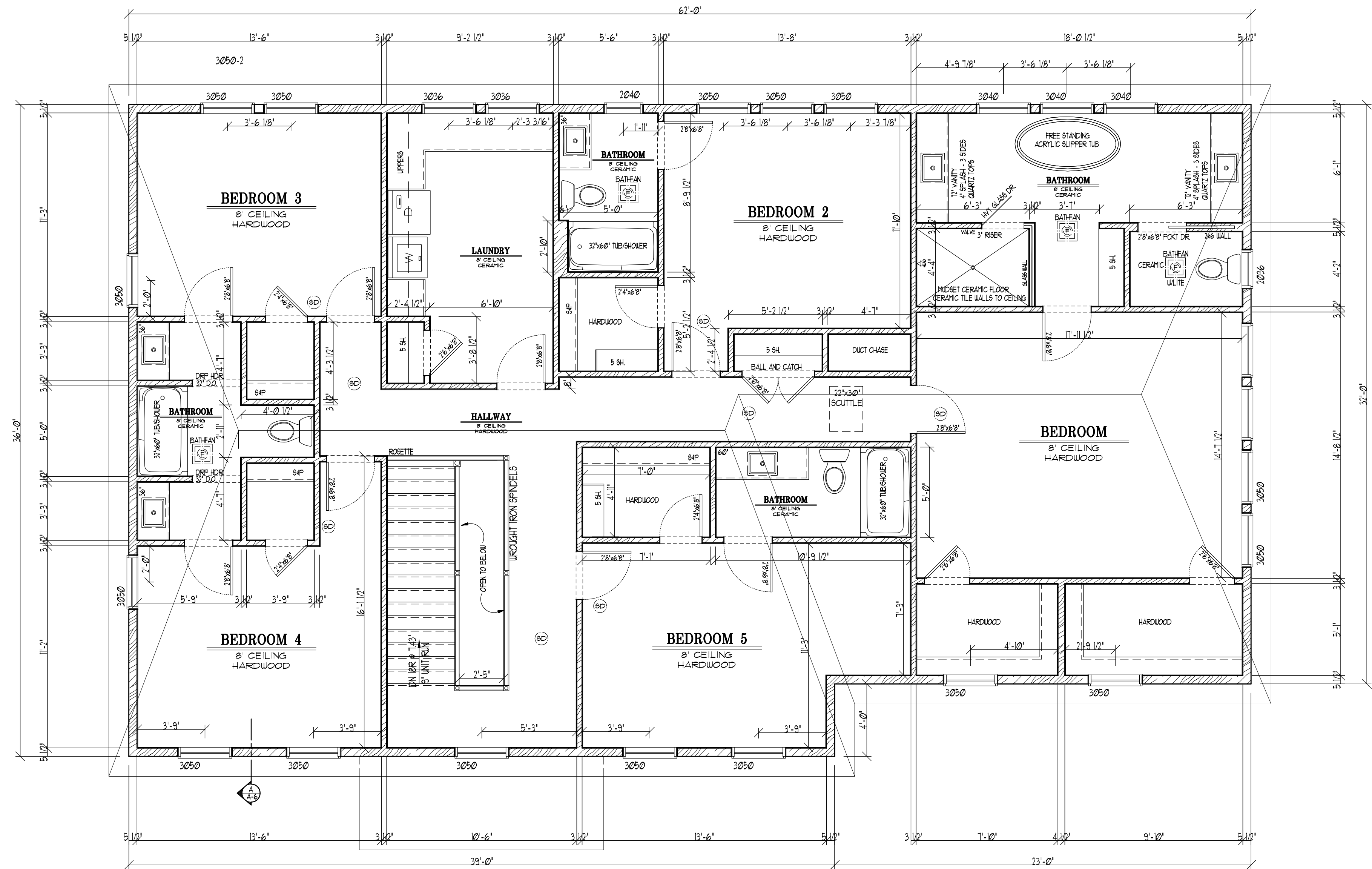
PROJECT DATA
 02.28.2016
 REVISIONS

JOB NUMBER
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 SHEET NUMBER

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 CEDARBURG, WISCONSIN 53012
 (262) 376-1150
 (262) 376-1152 FAX
 EMAIL: esludak@elsdesignsinc.com
 www.elsdesignsinc.com

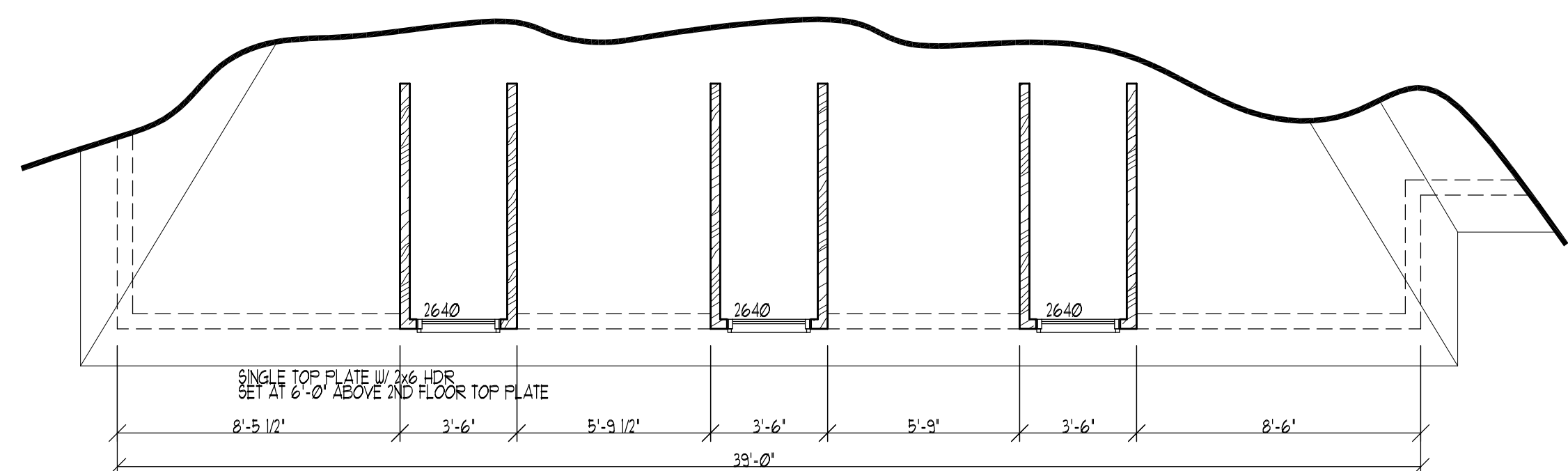


SECOND FLOOR PLAN
 2063 SQUARE FEET

SCALE 1/4"=1'-0"

NOTE:
 ROOF TRUSS LAYOUT TO BE PROVIDED BY LICENSED SUPPLIER TRUSS COMPANY TO VERIFY ALL LOADS TO STRUCTURAL FRAMING. TRUSS MANUFACTURER SHALL CONFORM TO ALL ARCHITECTURAL DIMENSIONS OF THIS PLAN, AND SHALL BE CONSIDERED THE STRUCTURAL PLAN HENCEFORTH FOR BUILDING PURPOSES.

NOTE:
 ALL WINDOWS AND DOORS TO BE FLASHED PER CODE AND SEALED WITH A SELF-ADHERED FLASHING. PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. THIS ALSO TO INCLUDE A SILL FLASHING.



DORMER LEVEL

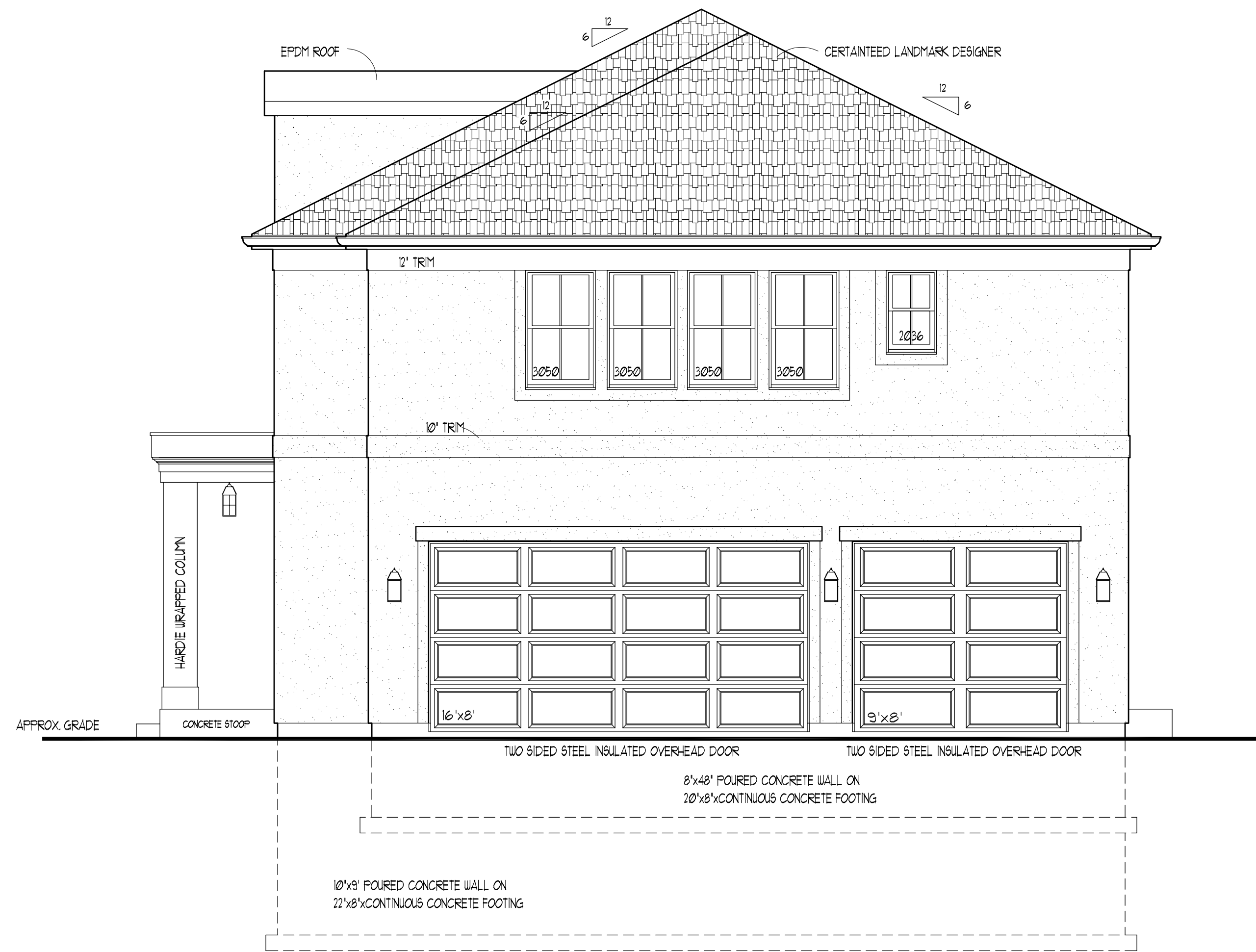
SCALE 1/4"=1'-0"

FREEMAN PLANS FOR:
FOX POINT MODEL
 802 CALUMET
 FOX POINTE, WISCONSIN
SECOND FLOOR PLAN

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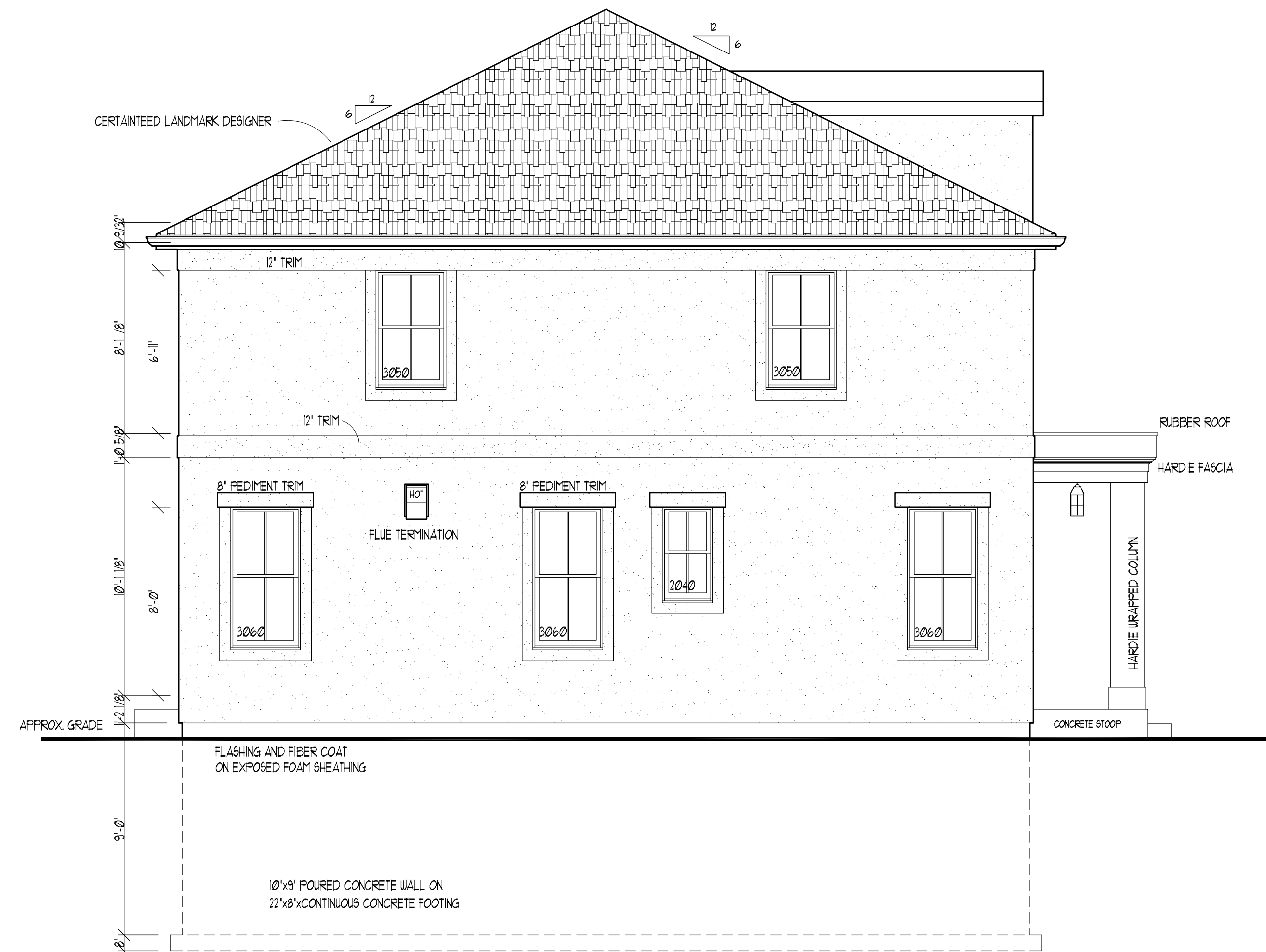
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LEFT ELEVATION

SCALE 1/4"=1'-0"



RIGHT ELEVATION

SCALE 1/4"=1'-0"

NOTE:
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E.L.S. DESIGNS, INC.
CEDARBURG, WISCONSIN 53012
(262) 376-1150
(262) 376-1152 FAX
EMAIL - esludsk@elsdesignsinc.com
www.elsdesignsinc.com

PRELIMINARY PLANS FOR:
FOX POINT MODEL
802 CALUMET
FOX POINTE, WISCONSIN
ELEVATIONS

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 CEDARBURG, WISCONSIN 53002
 (262) 376-1750
 (262) 376-1752 FAX
 EMAIL: esludak@elsdesignsinc.com
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PRELIMINARY PLANS FOR
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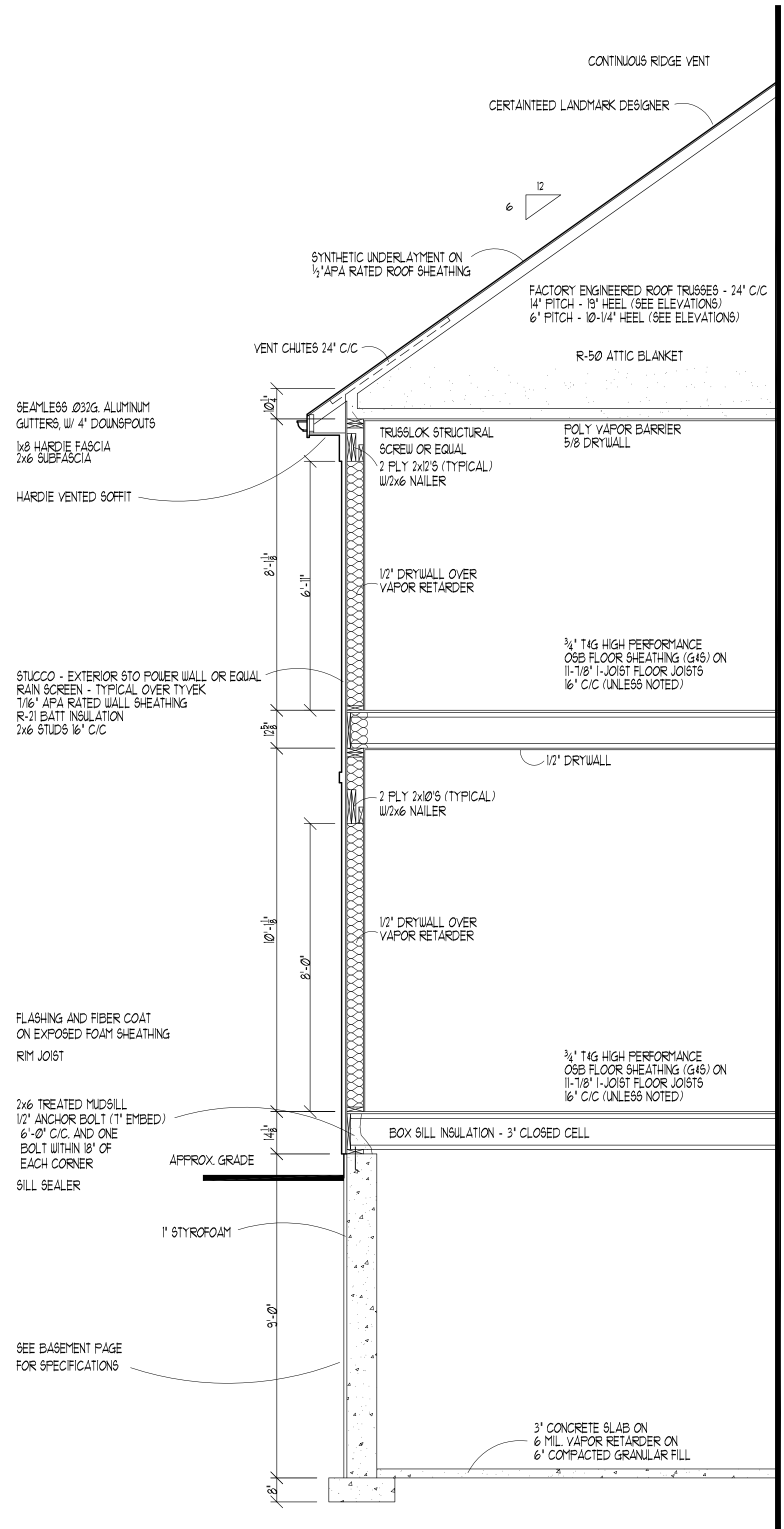


REAR ELEVATION

SCALE 1/4"=1'-0"

NOTE:
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TYPICAL SECTION "A"

SCALE 1/2"=1'-0"

7620 N BOYD WAY



Patio Door opening

Double top plate
Hence up tight on with possible meet
BIKS to meet floor

2x4 117/8 Micro-Lam

1 King Stud

2x4 Shoulder Studs

8 1/2" RO Hgt

2 Shoulder Studs

1 King Stud

Bot plate

2x4 wall with sheathing on exterior 1/2" - 3/4" thick

10' - 3/4" RO width

Drywall & panels on inside

Bot plate

